

# 2 ELIOT ST

## MILTON, MA

*the*  
**ELEVATED**  
*companies*  
X  
**STEEL & RYE**



CURRENT INTERSECTION VIEW

2 ELIOT ST



# PROPOSED INTERSECTION VIEW (OPTION #1)

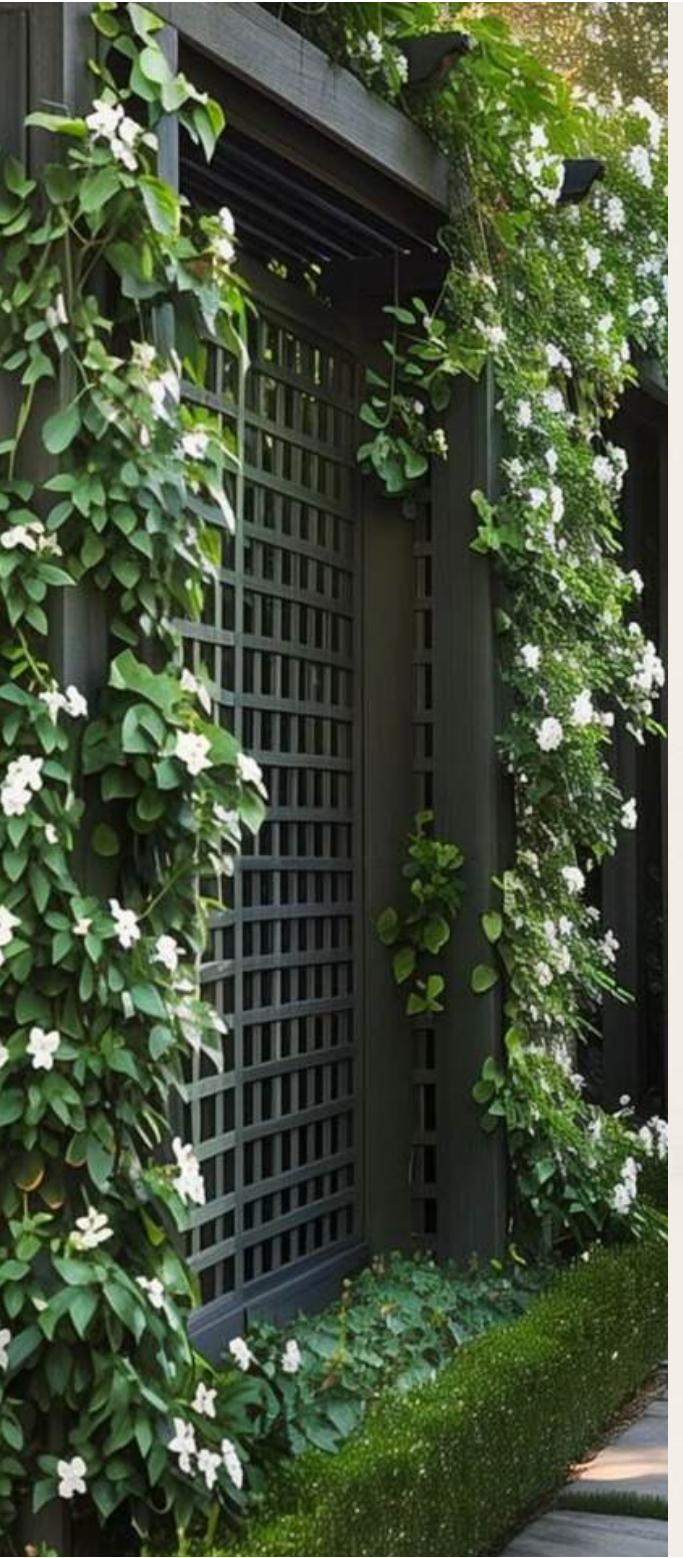
2 ELIOT ST



# PROPOSED INTERSECTION VIEW (OPTION #2)

2 ELIOT ST





## PLANTING GUIDE



Boxwood



Astilbe



Hosta



English Ivy



Silver Falls  
Dichondra



## PROPOSED EXTERIOR VIEW



**4x GAS LAMPS AT ENTRANCES  
MOUNTED AT CONSISTENT  
HEIGHT OF 74" AFF**

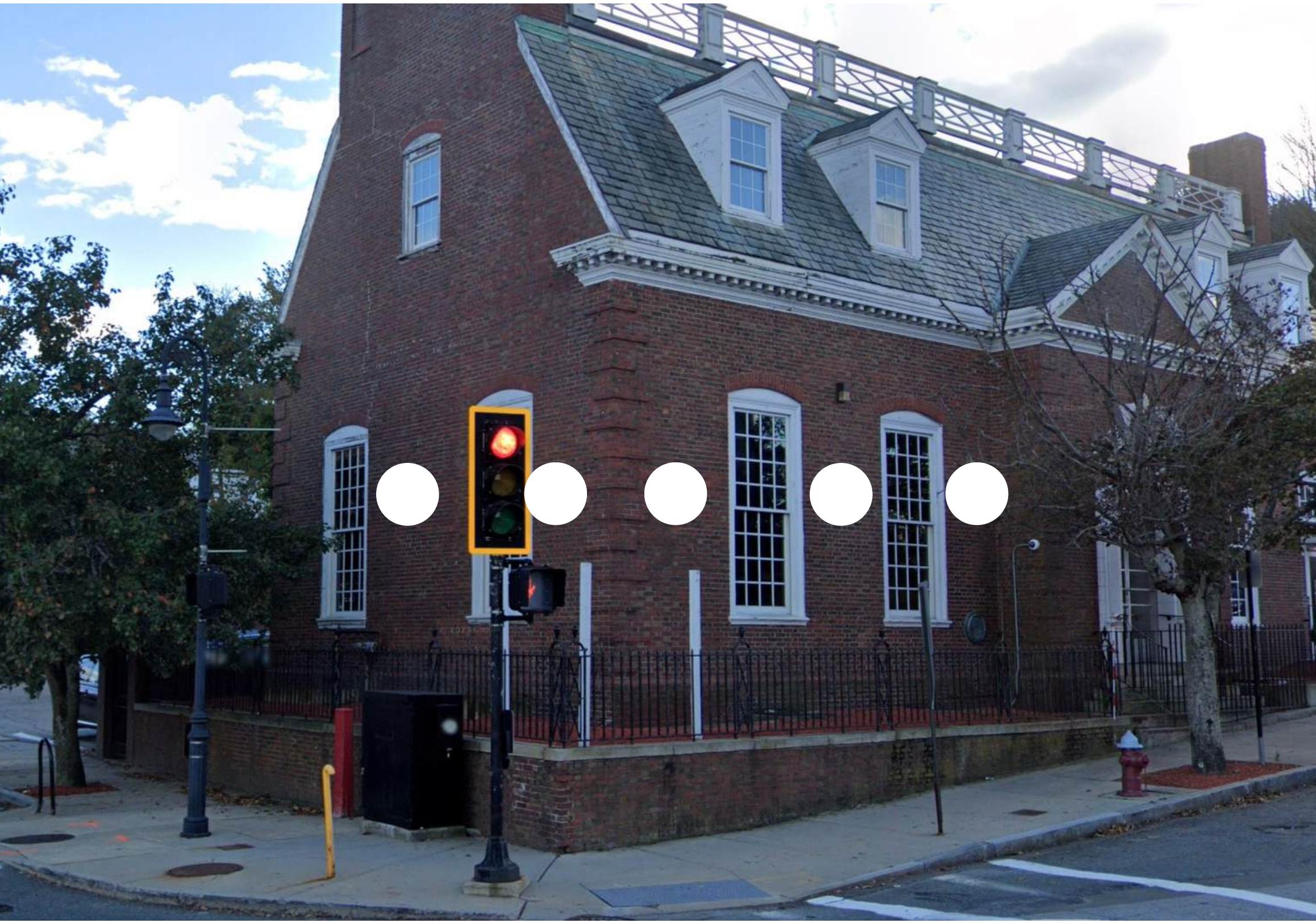
# PROPOSED INTERSECTION VIEW (OPTION #1)

2 ELIOT ST



CURRENT INTERSECTION VIEW

2 ELIOT ST



# ROOF PLAN & MECHANICAL SCREENING

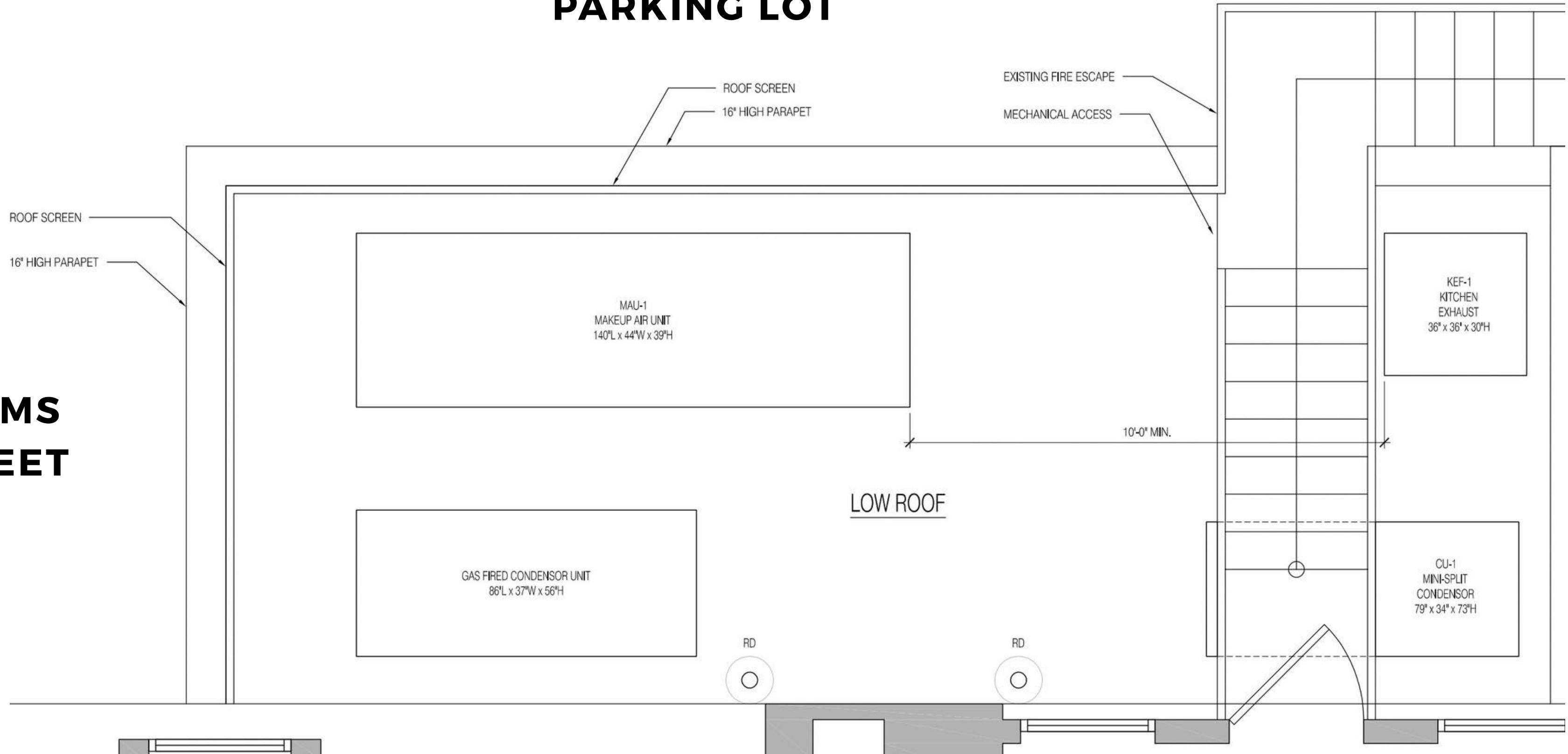
2 ELIOT ST



EXISTING CONDITIONS

STEEL & RYE x ELEVATED

## PARKING LOT

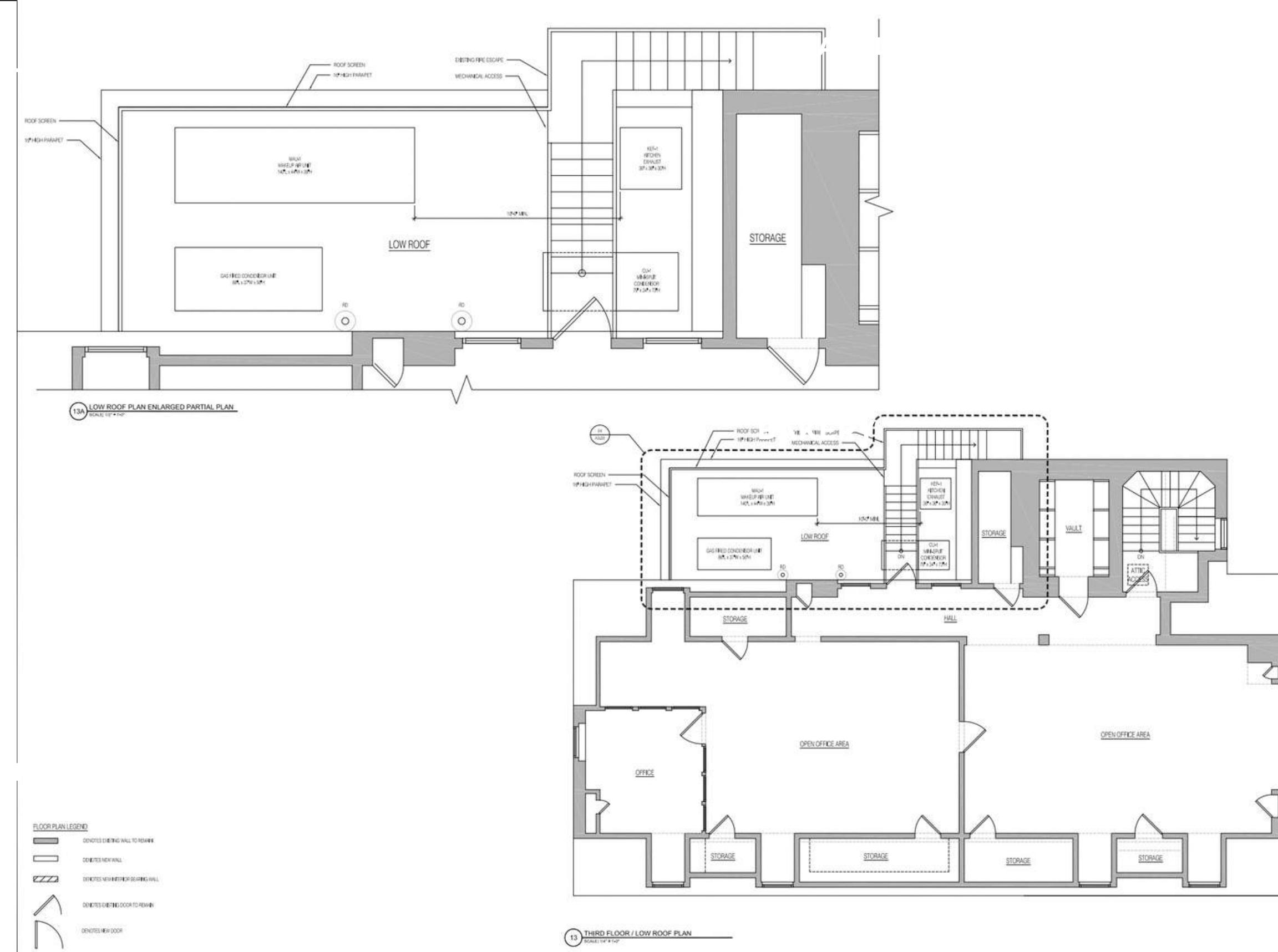


PROPOSED ROOF PLAN

STEEL &amp; RYE X ELEVATED

# ROOF PLAN & MECHANICAL SCREENING

2 ELIOT ST



PROPOSED ROOF PLAN

X ELEVATED

# ROOF PLAN & MECHANICAL SCREENING

2 ELIOT ST



EXISTING CONDITIONS

STEEL & RYE x ELEVATED

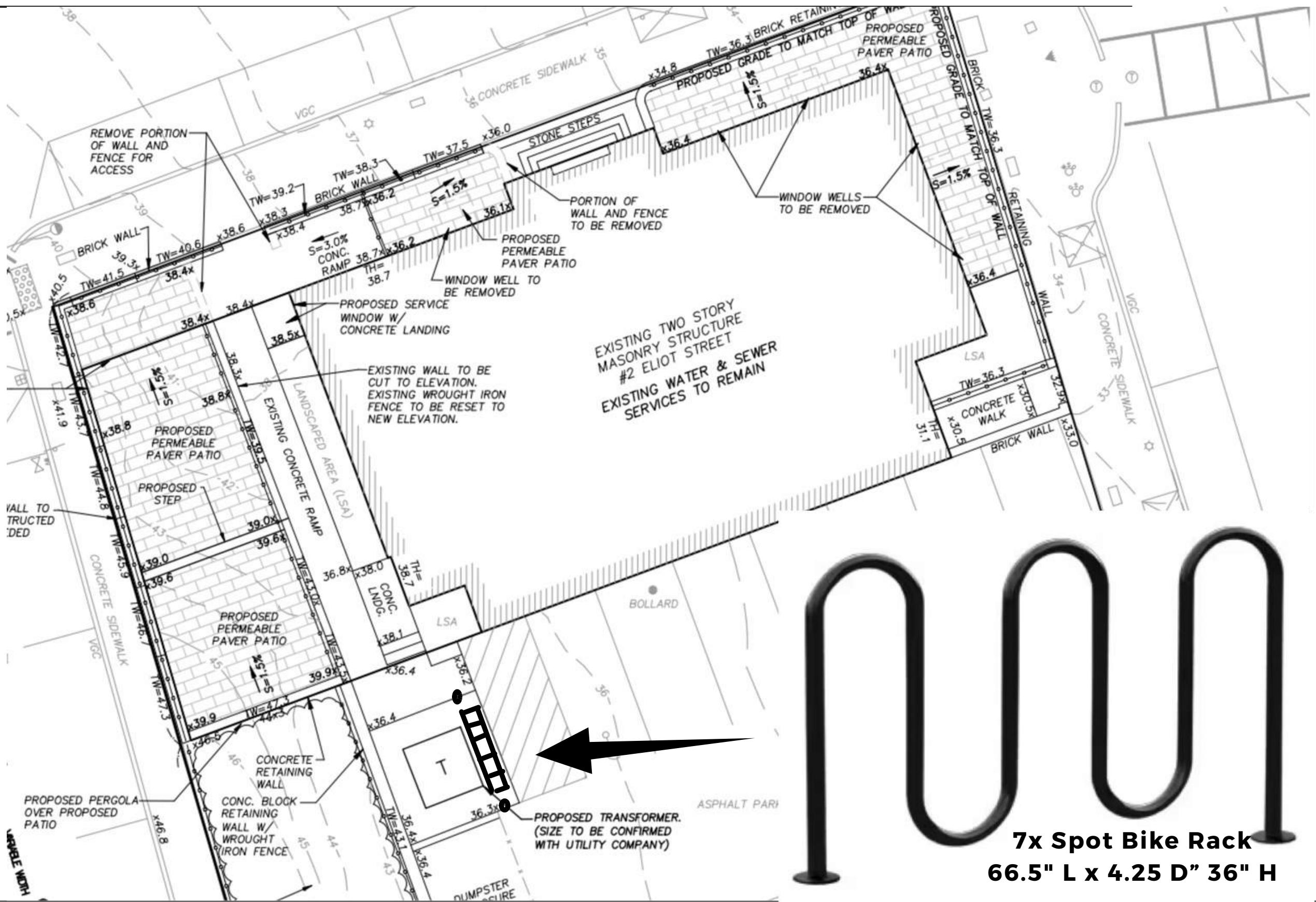


PROPOSED SCREENING

STEEL & RYE x ELEVATED

# BIKE RACK LOCATION

2 ELIOT ST



# PROPOSED BIKE RACK

# STEEL & RYE

X ELEVATED

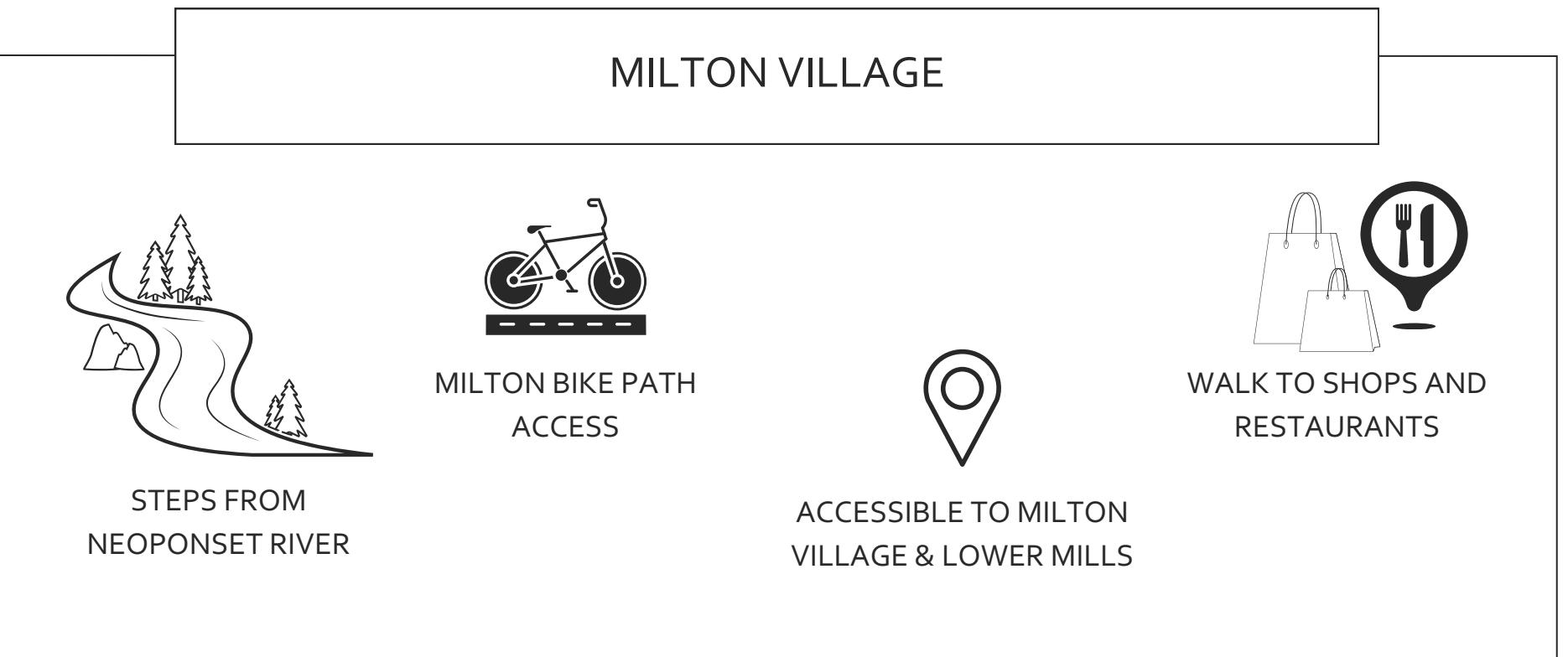
# 2 ELIOT ST

## THE LOCATION



Milton Village stands as a charming, walkable enclave nestled along the Neponset River, blending small-town warmth with urban convenience. With direct access to Boston via the MBTA trolley, public highways, and the bike path, Milton Village offers a unique blend of tranquility and connectivity.

A notable landmark, the building at 2 Eliot Street, contributes to the village's character and vitality, anchoring its role as both a historic and evolving hub. Our vision mixes this heritage with forward-thinking development to make Milton Village a standout destination for residents and visitors alike.



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2 ELIOT ST

# MARKET PROPOSAL

STEEL & RYE x ELEVATED

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## TWO PENCE MARKET

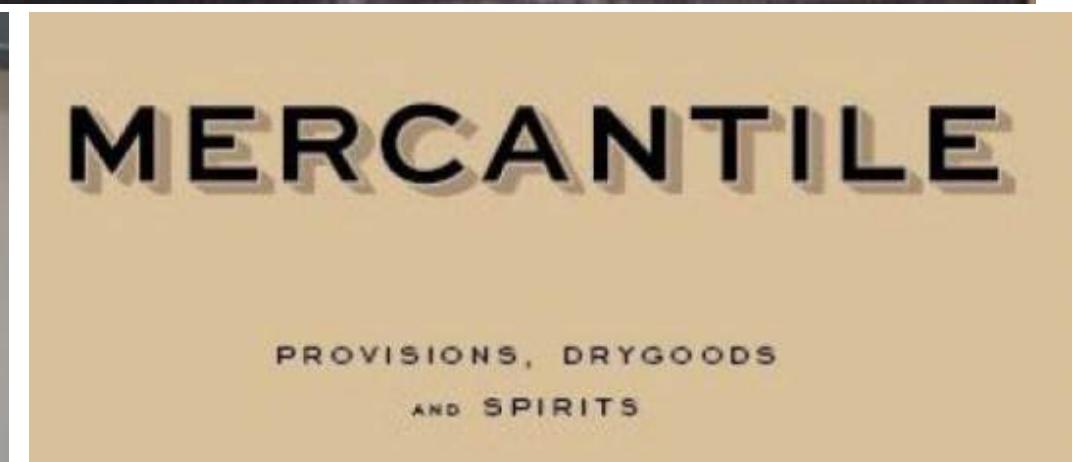
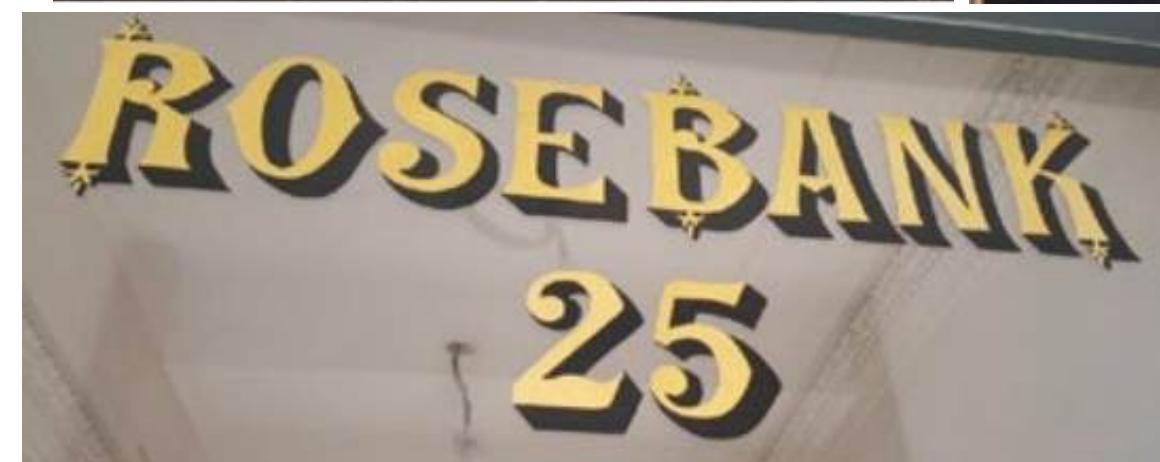
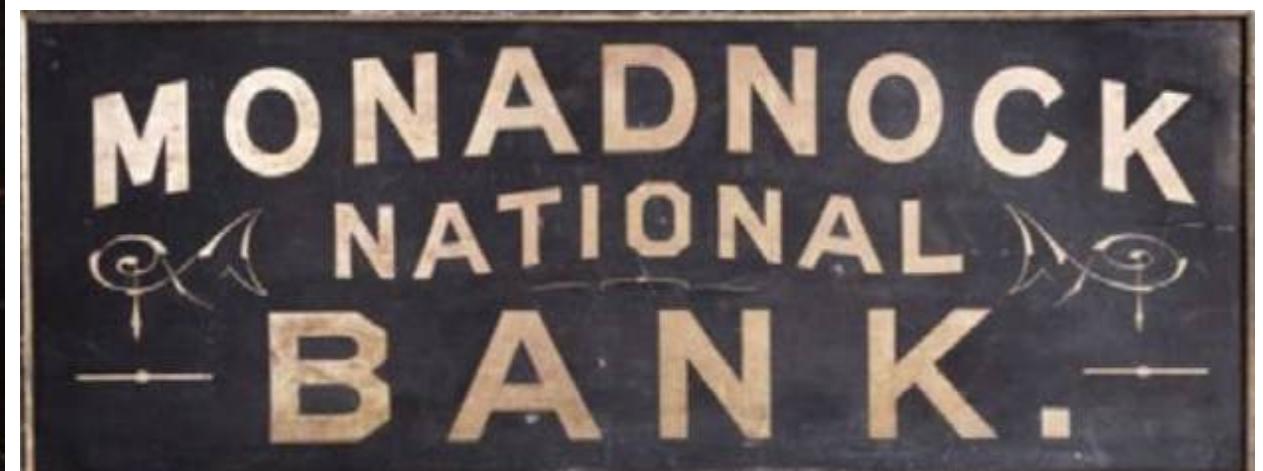
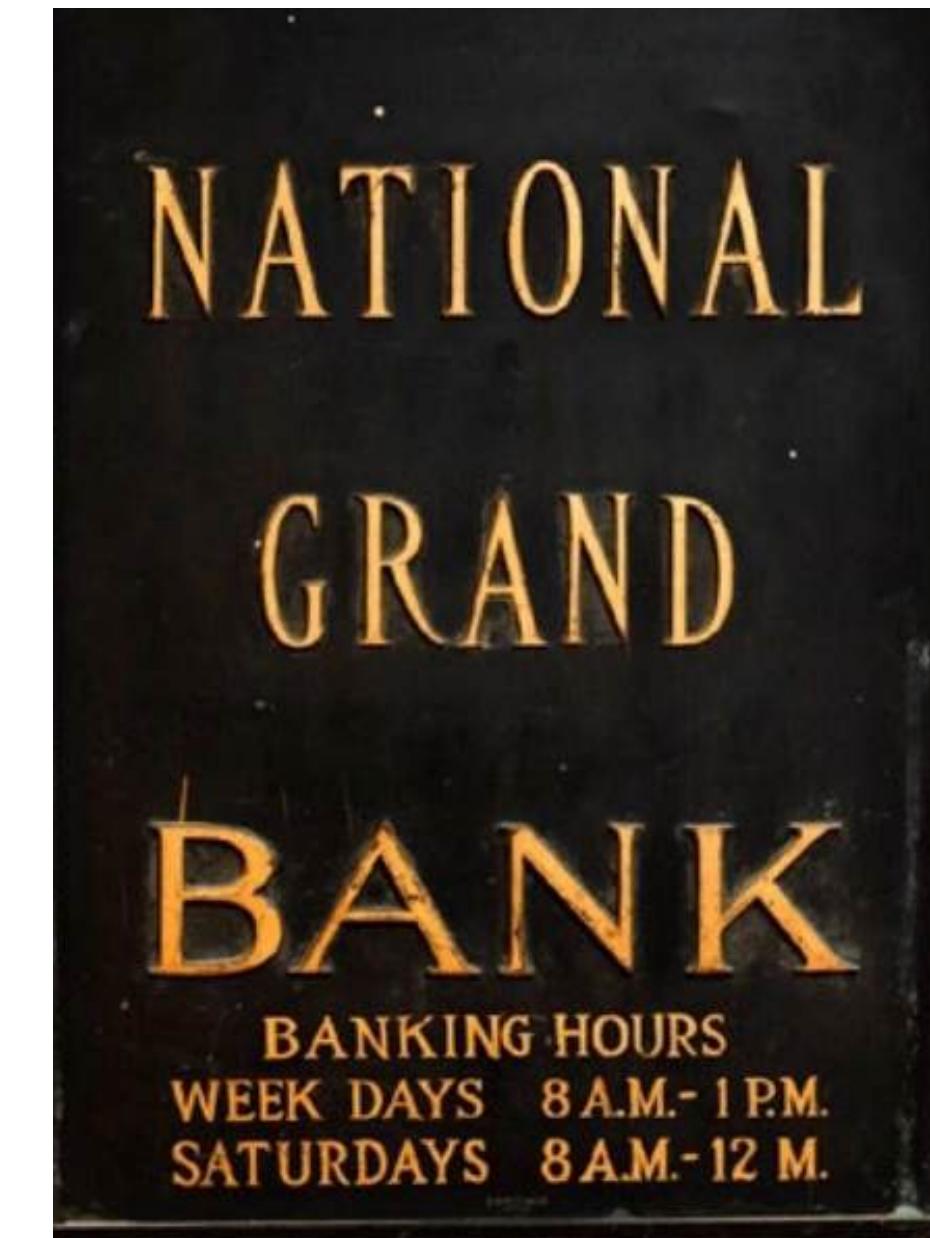
The old bank at 2 Eliot Street has been brought back to life with purpose and pride as Two Pence Market. It once again serves as a cornerstone of the Milton community – as a coffee shop, a neighborhood grocery, and a daily hangout.

Walk through our doors and you'll feel it immediately – everything here is thoughtfully made and worth coming back for.

Your first visit feels like a discovery. Your second, like a welcome return. And every visit after that, like home.

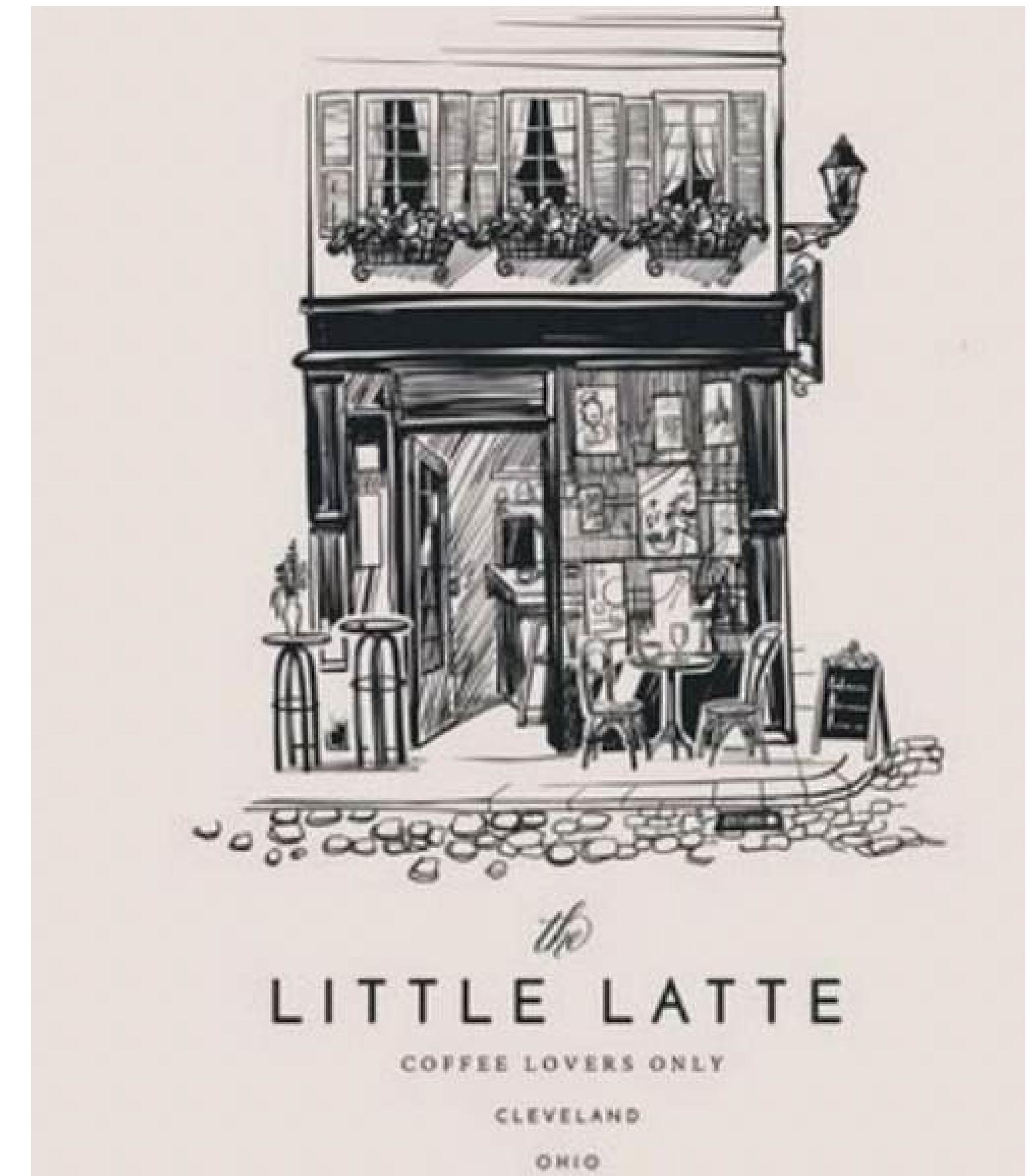
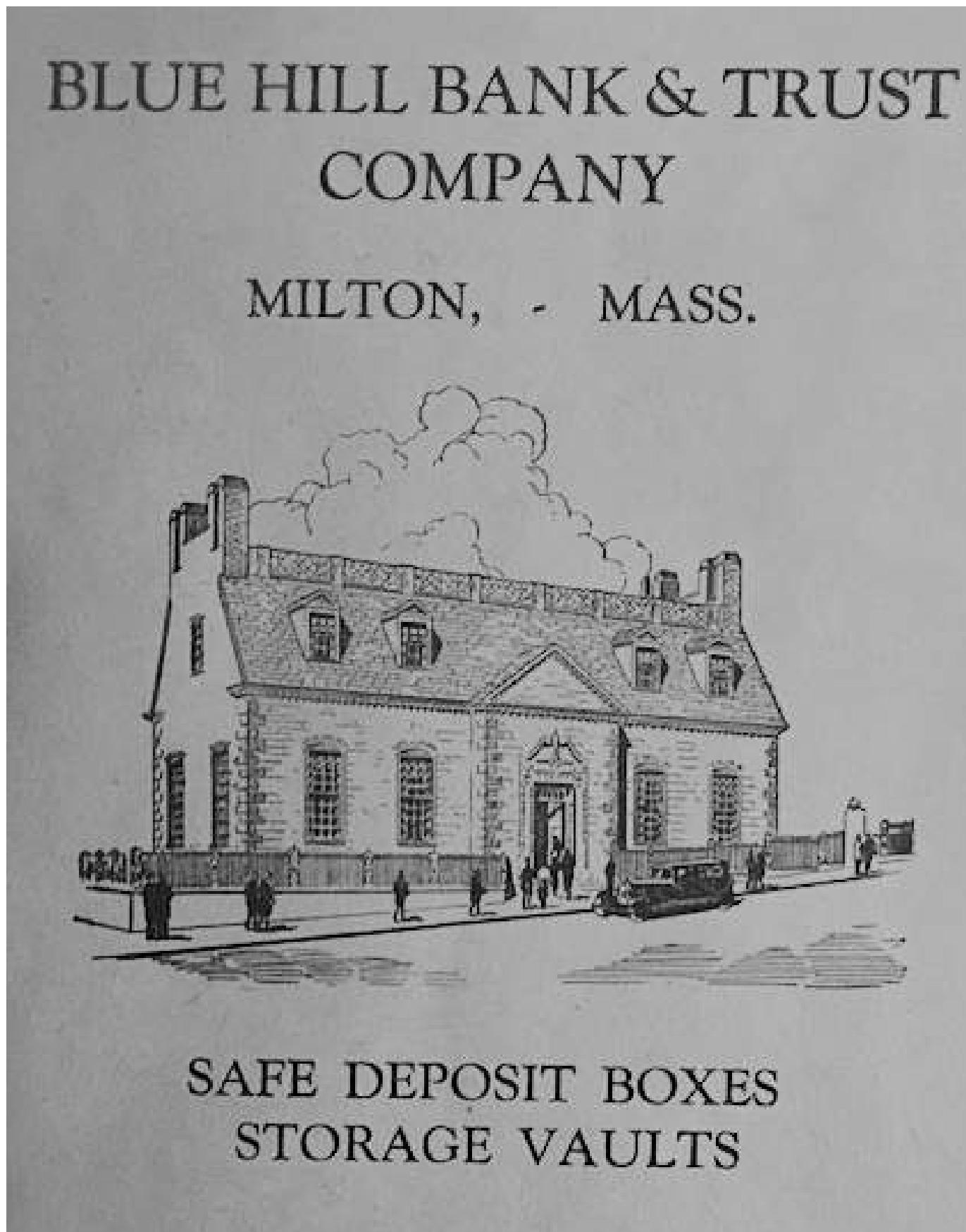
At Two Pence Market, you're not a customer – you're a neighbor. We're not here to sell you more, we're here to serve you better.

### MEETING THE MOMENT



HISTORIC INSPIRATION IN BRANDING

2 ELIOT ST



# PRODUCTS

2 ELIOT ST



LOCAL PANTRY



FRESH JUICE



FARM TO TABLE



SALADS  
SOUPS  
SANDWICHES



CURATED BOOK SELECTION



BAKERY



ORGANIC PRODUCE



FLOWER DISPLAY

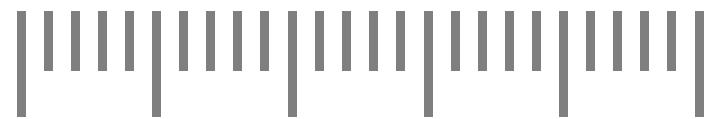


TO GO BEVERAGES

2 ELIOT ST

FLOOR PLAN

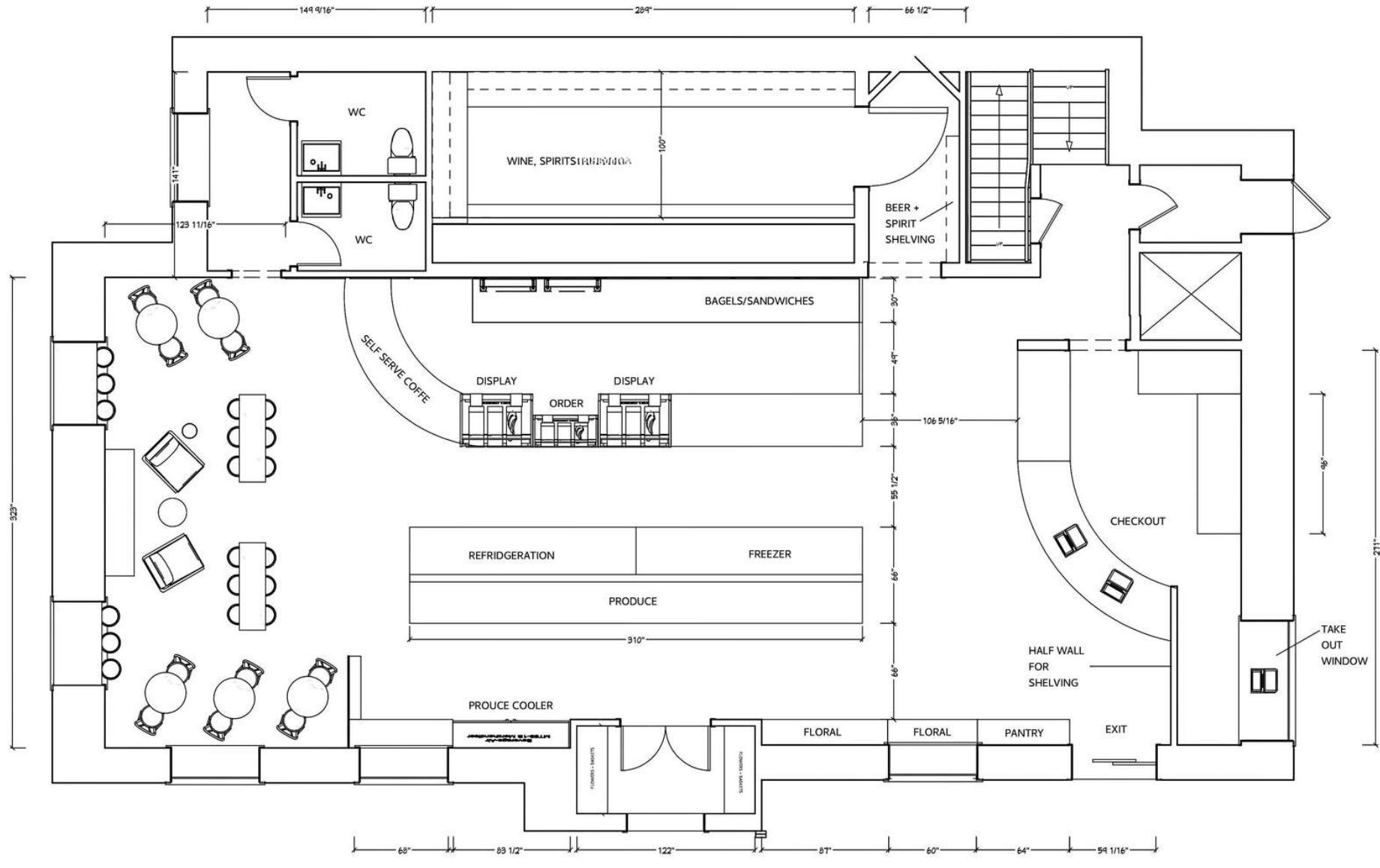
FIRST  
FLOOR



**TOTAL SQUARE  
FOOTAGE**

2,970 sq ft

— ADAMS ST



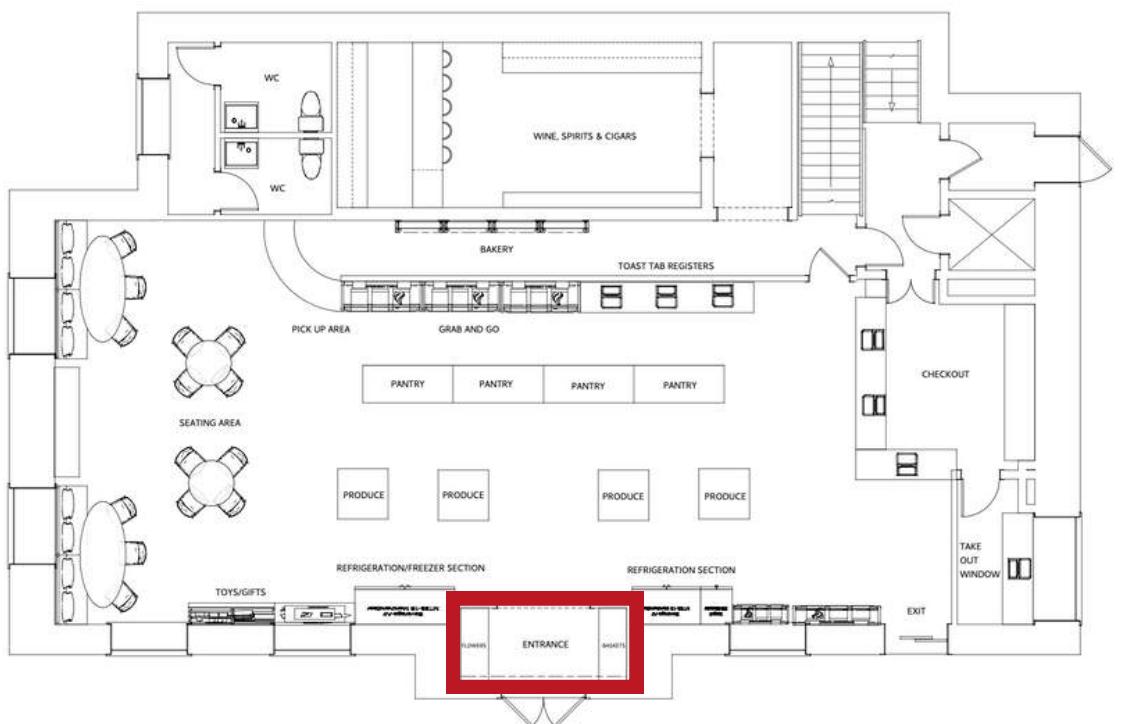
DISCLAIMER: ALL DIMENSIONS, DESIGNATIONS, & EXTENTS ARE SUBJECT TO SITE VERIFICATION PRIOR TO CONTRACTOR COMMENCEMENT OF WORK	PROJECT: 2 ELIOT STREET MILTON, MA 02186	SHEET TITLE: 2 ELIOT 1ST FLOOR	JOB ID: 2 Eliot	REV: 00	DWG NO:
			DWN BY: ELEVATED CONSTRUCTION	CHK BY: xxx	
			DATE: January 28, 2025		
			SCALE: NTS		KD07

**STEEL & RYE** x **ELEVATED**

ELIOT ST

# ENTRY FLORAL DISPLAYS

2 ELIOT ST



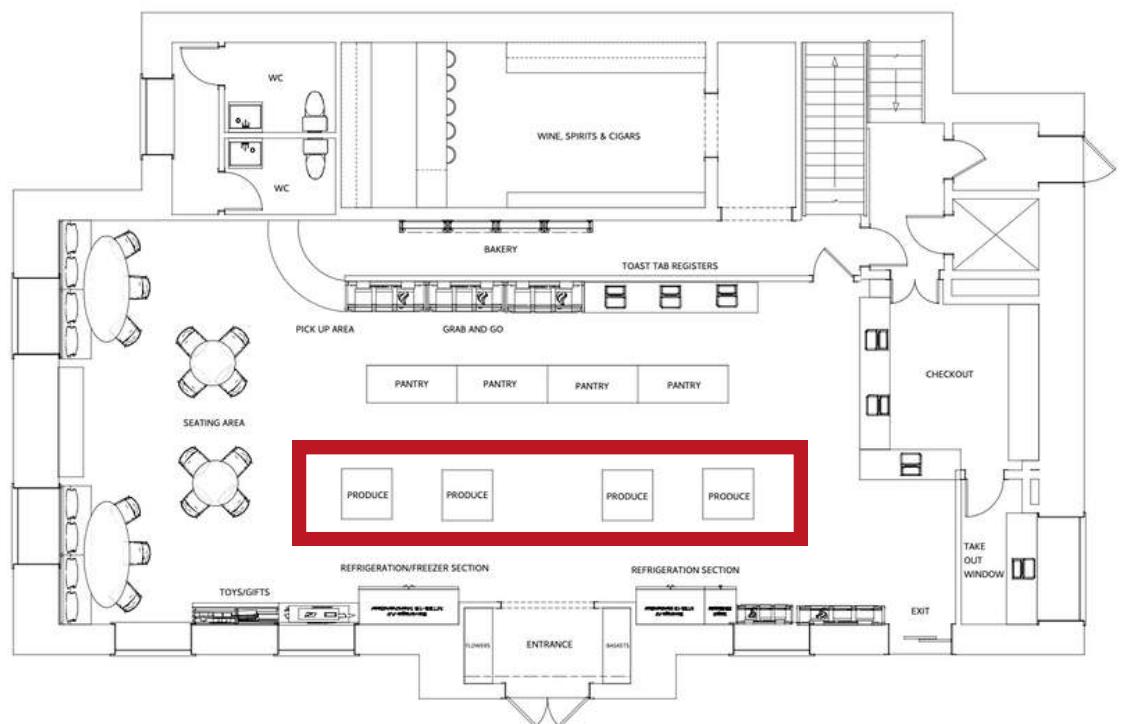
**TIERED FLOWER DISPLAY - OPPORTUNITY FOR A  
CUSTOM BUILT IN DISPLAY OR METAL BUCKET TIER.  
WOVEN BASKET STACK ON OPPOSITE SIDE FOR  
SHOPPING**

# PRODUCE STANDS

2 ELIOT ST

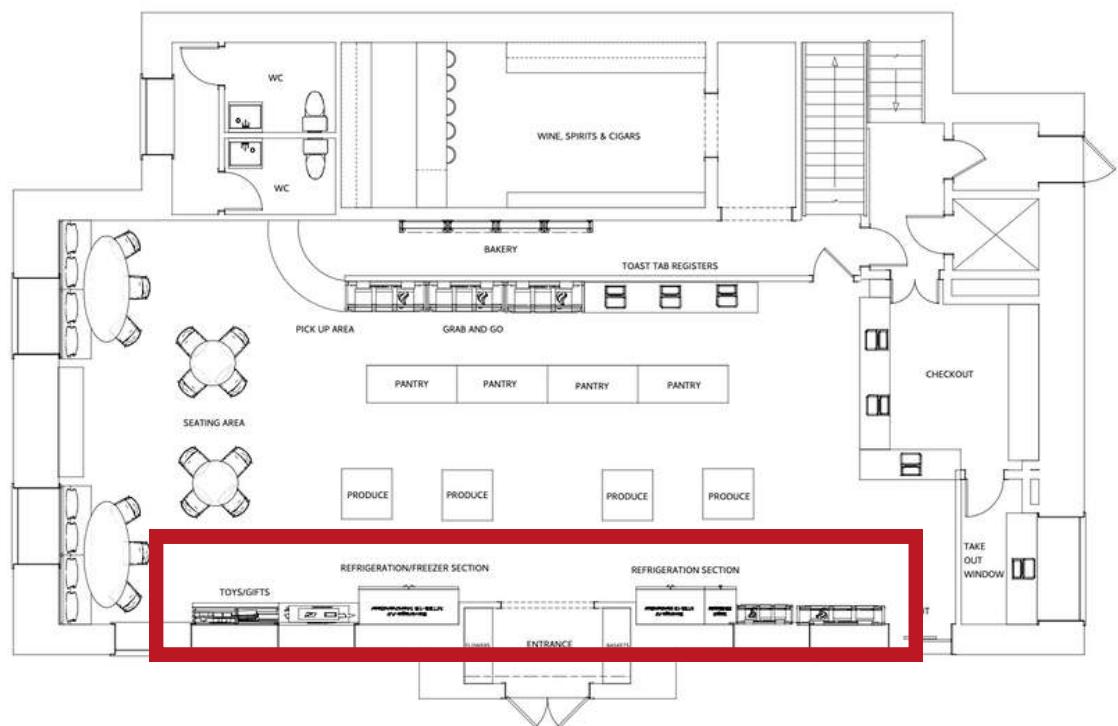


CENTRAL, TIERED PRODUCE STANDS - REPURPOSE EXISTING STANDS IN BASEMENT



# REFRIGERATOR SECTION

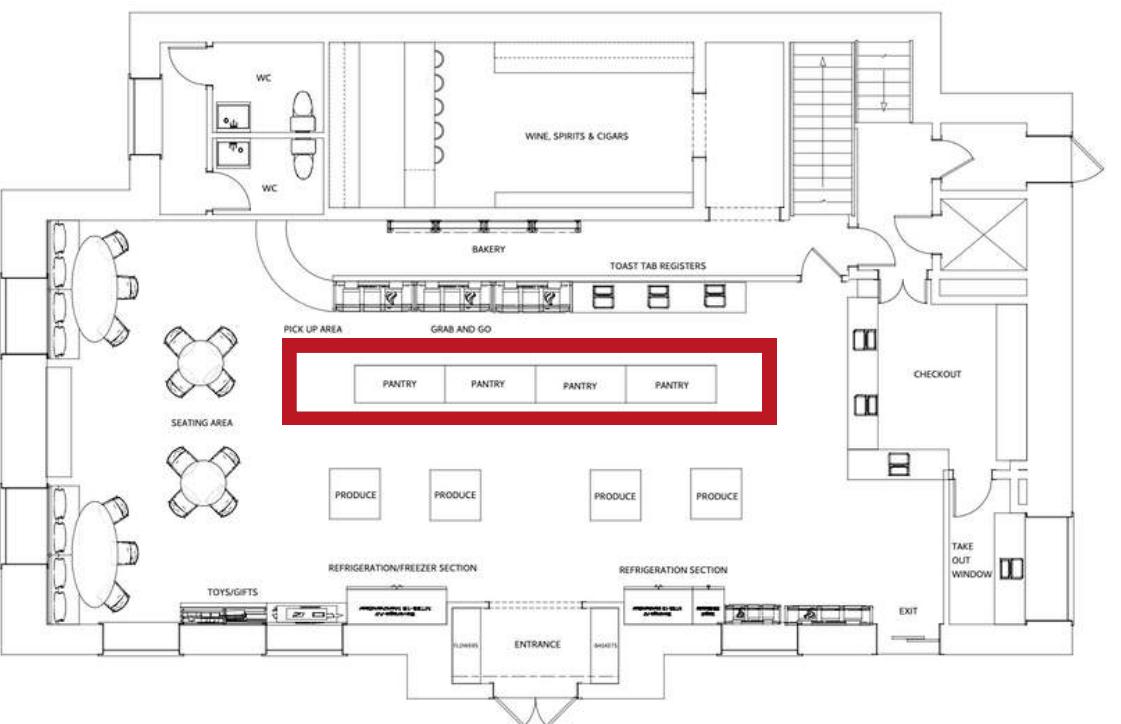
2 ELIOT ST



REFRIGERATION INSPIRATION

# PANTRY SECTION

2 ELIOT ST

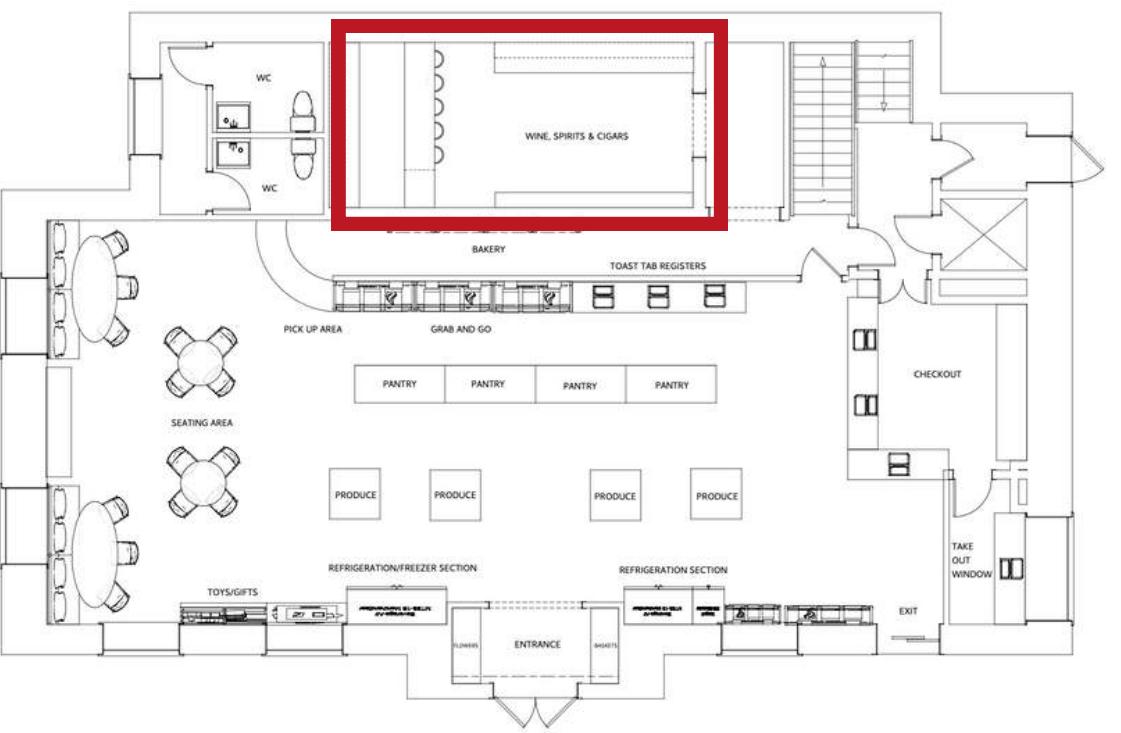


TIERED, LINEAR DIVIDERS WITH PANTRY ITEMS



# THE VAULT'S CURATED COLLECTION

2 ELIOT ST



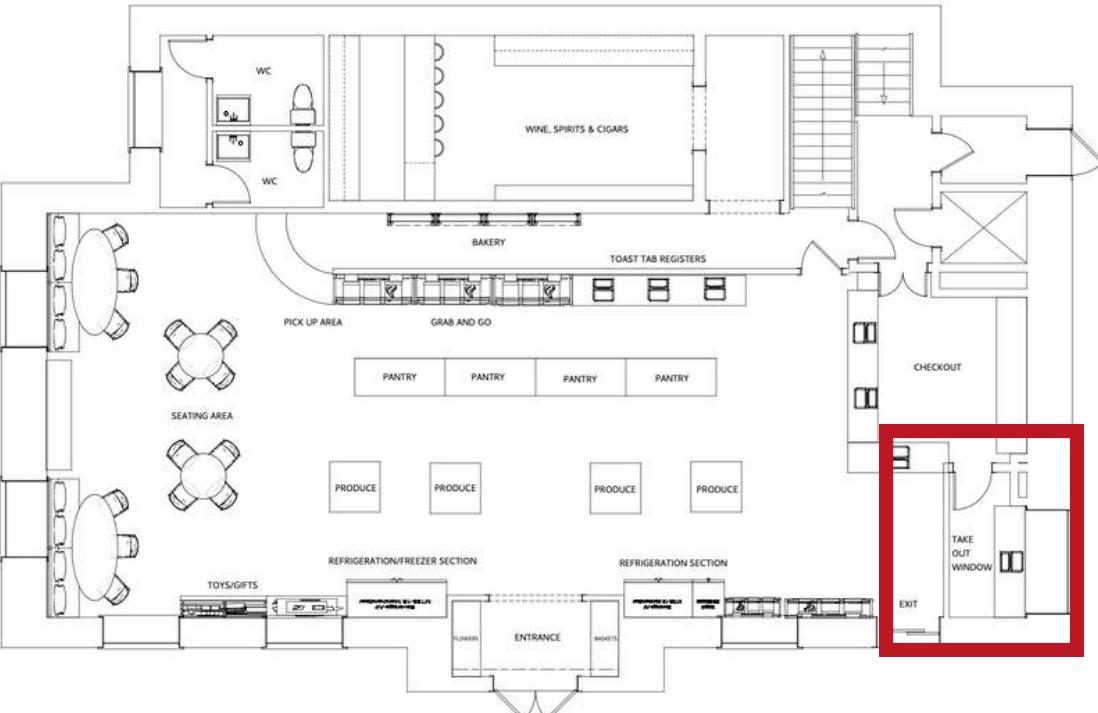
VAULT TO SERVE AS A SECTION FOR CURATED GIFTS  
INCLUDING WINE AND SPIRITS.



# OUTDOOR ORDERING WINDOW

2 ELIOT ST

SLIDING WINDOW TO SERVICE  
OUTDOOR SEATING AND DELIVERY  
SERVICES.

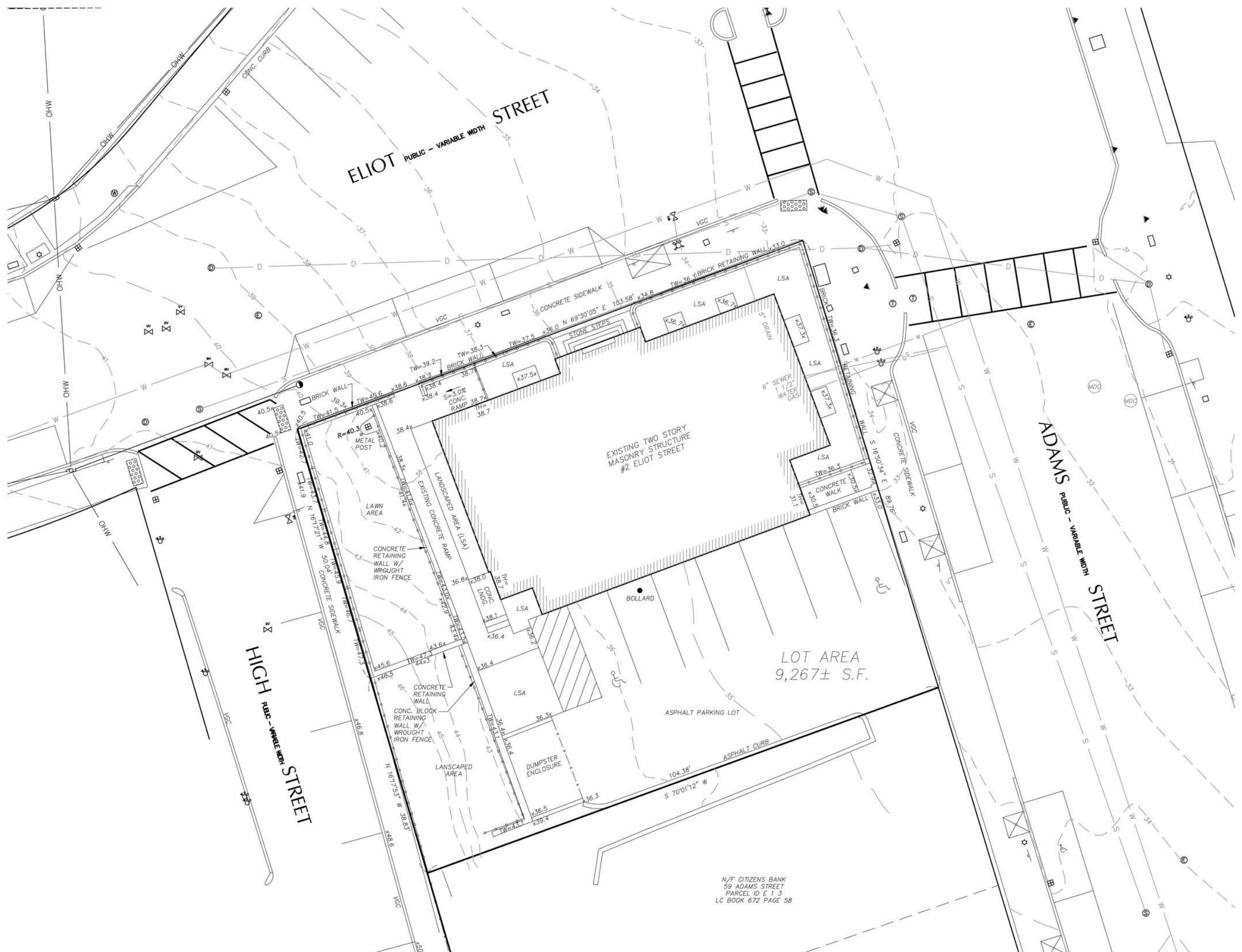


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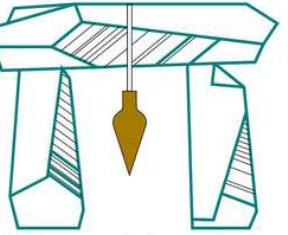
# EXTERIOR DESIGN PROPOSAL

STEEL & RYE x ELEVATED

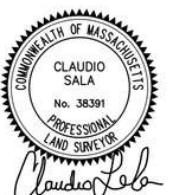
# SITE CONTEXT - EXISTING CONDITIONS



DeCelle-Burke-Sala



& Associates, Inc.  
1266 Furnace Brook Parkway #401  
Quincy, MA 02169  
617-405-5100 (o) 617-405-5101 (f)  
www.decelle-burke-sala.com



Claudio Sala, PLS

GENERAL NOTES:

- LOCUS:**  
ASSESSORS ID: E 1 1  
RECORD OWNER: 2 ELIOT STREET, LLC  
DEED REFERENCE: CERTIFICATE #209866  
BOOK 41281 PAGE 557  
PLAN REFERENCE: LC PLAN #256628
- DATE OF SURVEY:** SEPTEMBER, 2024
- VERTICAL DATUM:** NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON DATUM).

4. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

5. PARCEL IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM 25021C0064F, EFFECTIVE 06/09/2014, AS DELINEATED ON FEMA FLOOD MAP SERVICE CENTER ONLINE PORTAL.

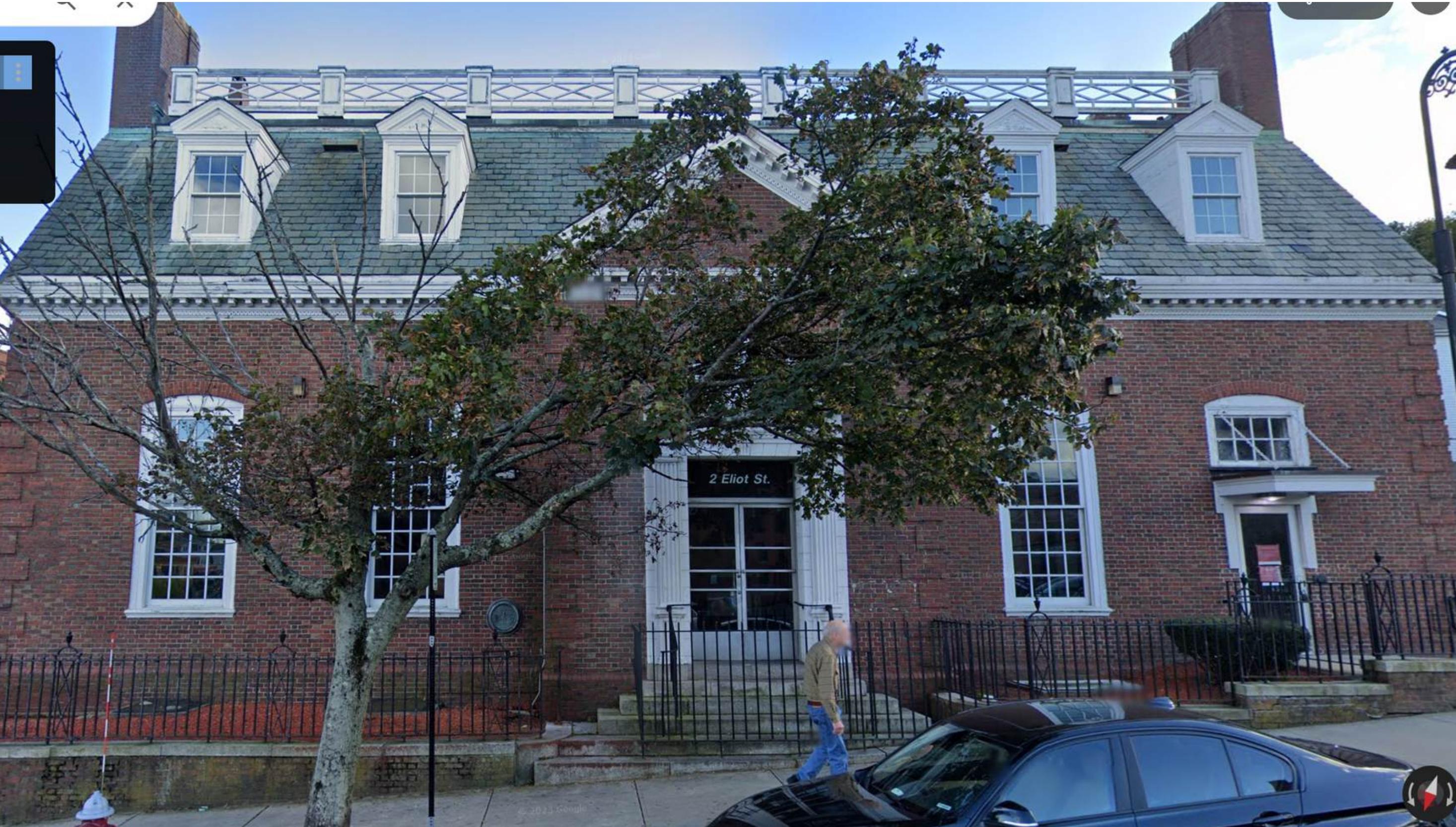
6. PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

## LEGEND:

- LOCUS PROPERTY LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- COMMUNICATIONS MANHOLE (TMH)
- ELECTRIC MANHOLE (EMH)
- CATCH BASIN (CB)
- GAS VALVE/SERVICE
- WATER VALVE/SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN-LINK/WIRE FENCE
- WROUGHT IRON DECORATIVE FENCE

# EXISTING EXTERIOR VIEW

2 ELIOT ST





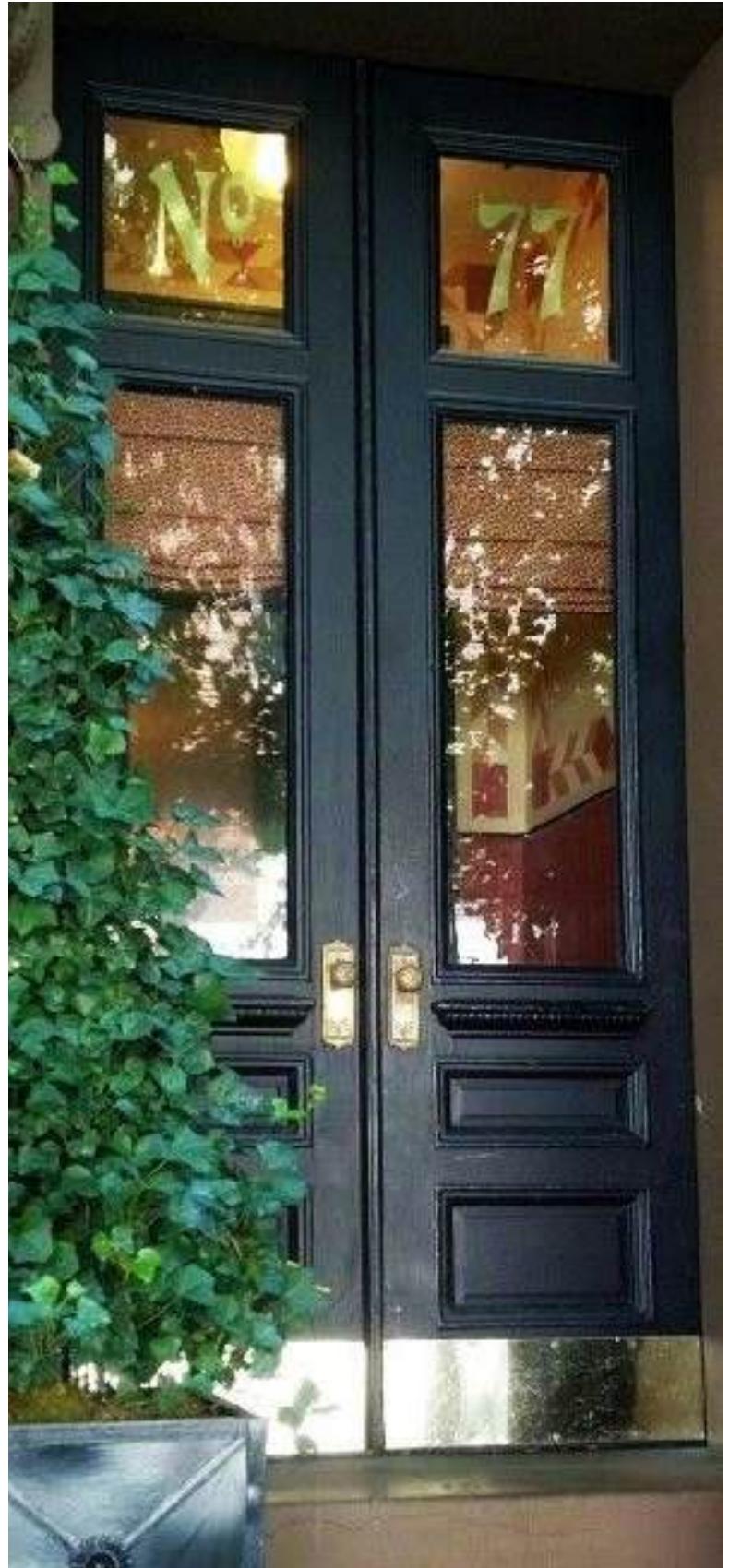
# PROPOSED EXTERIOR VIEW

2 ELIOT ST



# EXTERIOR DOOR PROPOSAL

2 ELIOT ST



HISTORICAL BLACK DOOR WITH  
GLASS PANELS



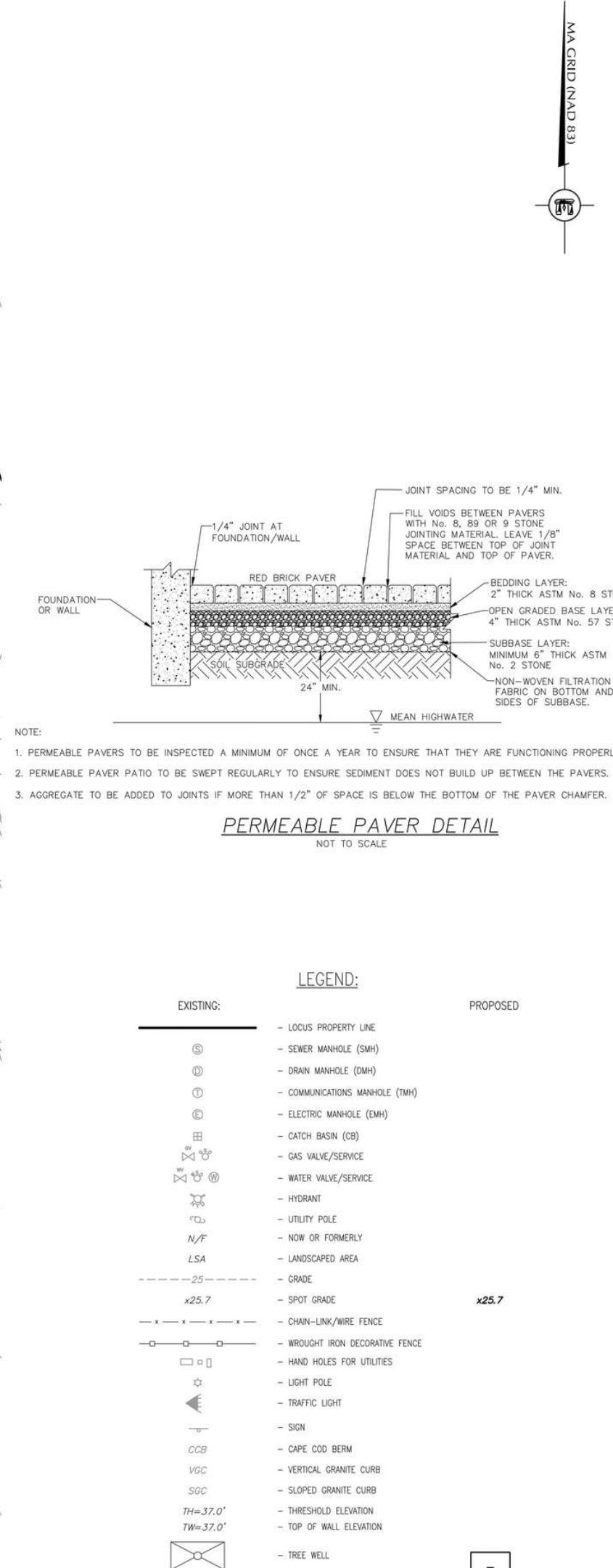
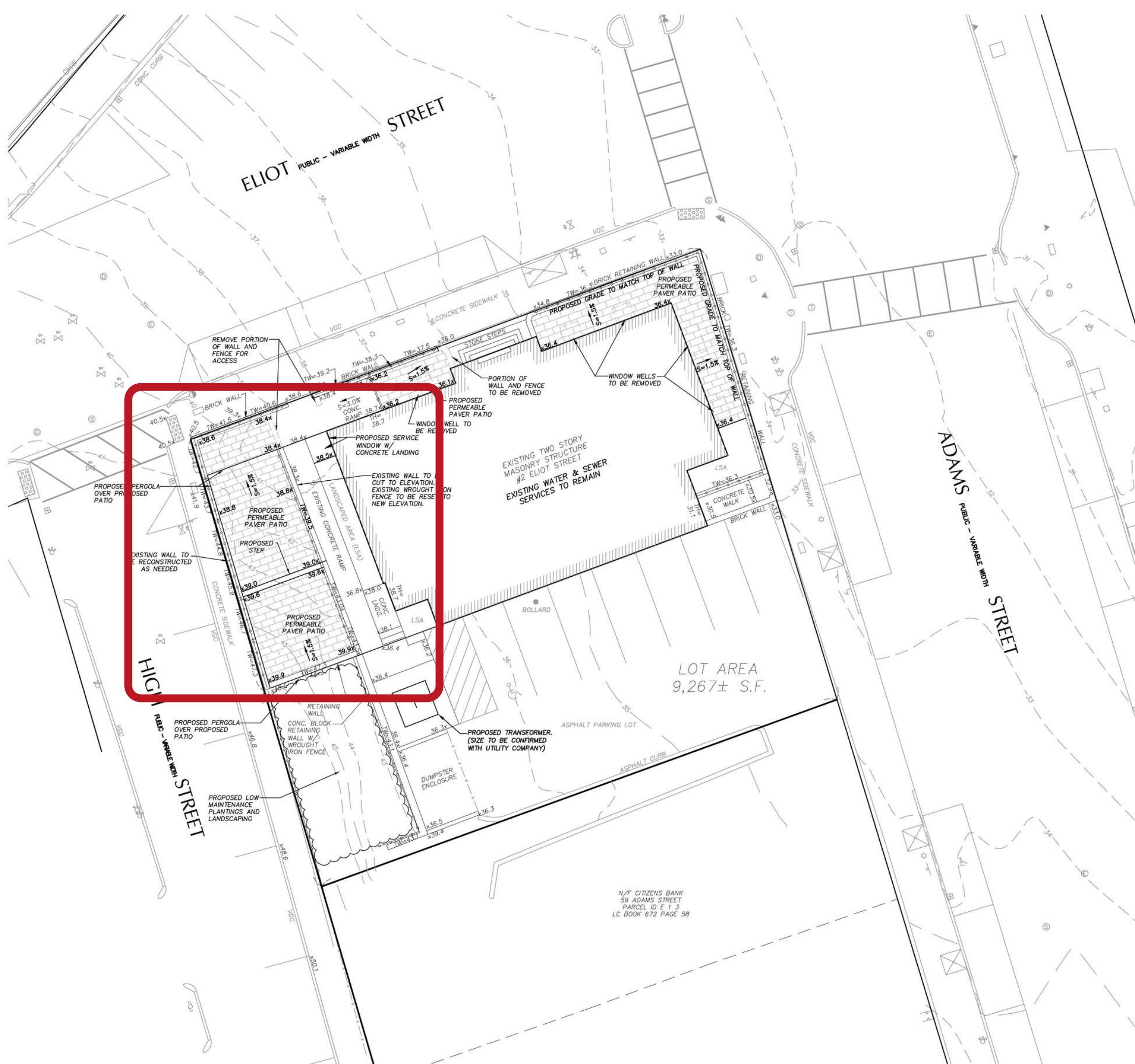
BRANDING ON GLASS TRANSOME  
ABOVE DOORS



BLACK DOORS AND MULLIONS



EXISTING WHITE MOLDINGS TO  
REMAIN SURROUNDING THE DOOR



**GENERAL NOTES:**

1. LOCUS: ASSESSORS ID: E 1 1  
RECORD OWNER: 2 ELIOT STREET, LLC  
DEED REFERENCE: CERTIFICATE #209866  
PLAN REFERENCE: LC PLAN #256628
2. DATE OF SURVEY: SEPTEMBER, 2024
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**PROJECT TITLE & LOCATION:**  
PROPOSED PATIO  
AT  
2 ELIOT STREET  
MILTON, MASS.

**PLAN TITLE:**  
PROPOSED CONDITIONS

**PREPARED FOR:**  
JOSHUA D WILD  
2 ELIOT STREET, LLC  
174 DORCHESTER ST  
BOSTON, MA 02127

**DATE:** MARCH 5, 2025

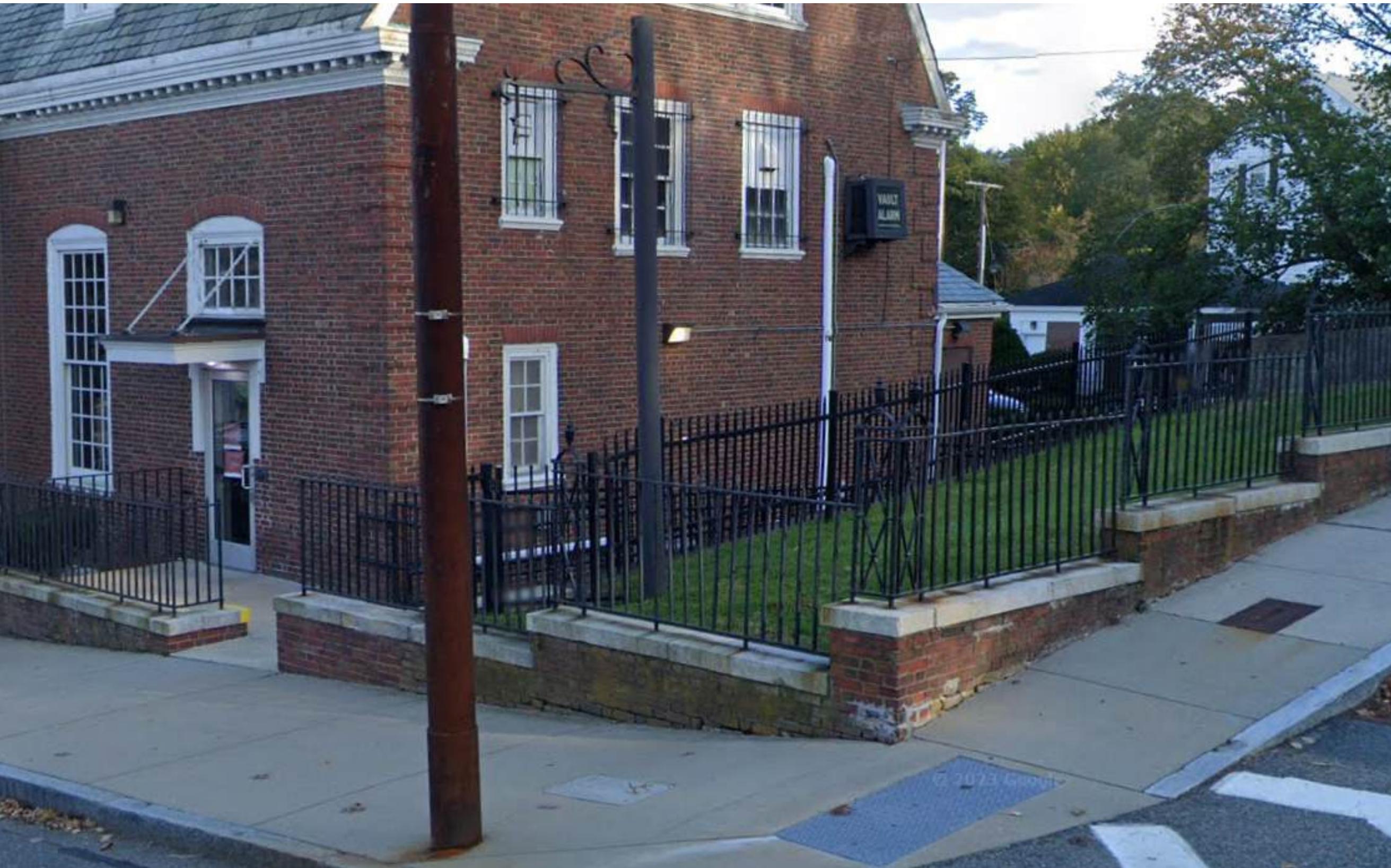
**LEGEND:**

EXISTING:	PROPOSED
●	- LOCUS PROPERTY LINE
●	- SEWER MANHOLE (SMH)
●	- DRAIN MANHOLE (DMH)
●	- COMMUNICATIONS MANHOLE (TMH)
●	- ELECTRIC MANHOLE (EMH)
●	- CATCH BASIN (CB)
●	- GAS VALVE/SERVICE
●	- WATER VALVE/SERVICE
●	- HYDRANT
●	- UTILITY POLE
●	- NOW OR FORMERLY
●	- LANDSCAPED AREA
—	- GRADE
—	- SPOT GRADE
—	- CHAIN-LINK/WIRE FENCE
—	- WROUGHT IRON DECORATIVE FENCE
—	- HAND HOLES FOR UTILITIES
—	- LIGHT POLE
—	- TRAFFIC LIGHT
—	- SIGN
—	- CAPE COD BERM
—	- VERTICAL GRANITE CURB
—	- SLOPED GRANITE CURB
—	- THRESHOLD ELEVATION
—	- TOP OF WALL ELEVATION
—	- TREE WELL



CURRENT OUTDOOR SEATING AREA

2 ELIOT ST



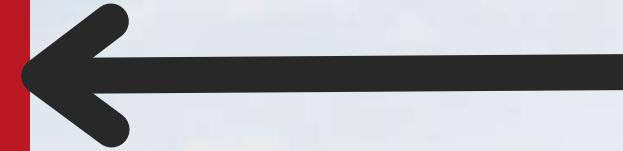
# PROPOSED OUTDOOR SEATING AREA

2 ELIOT ST





DESIGN INTENT



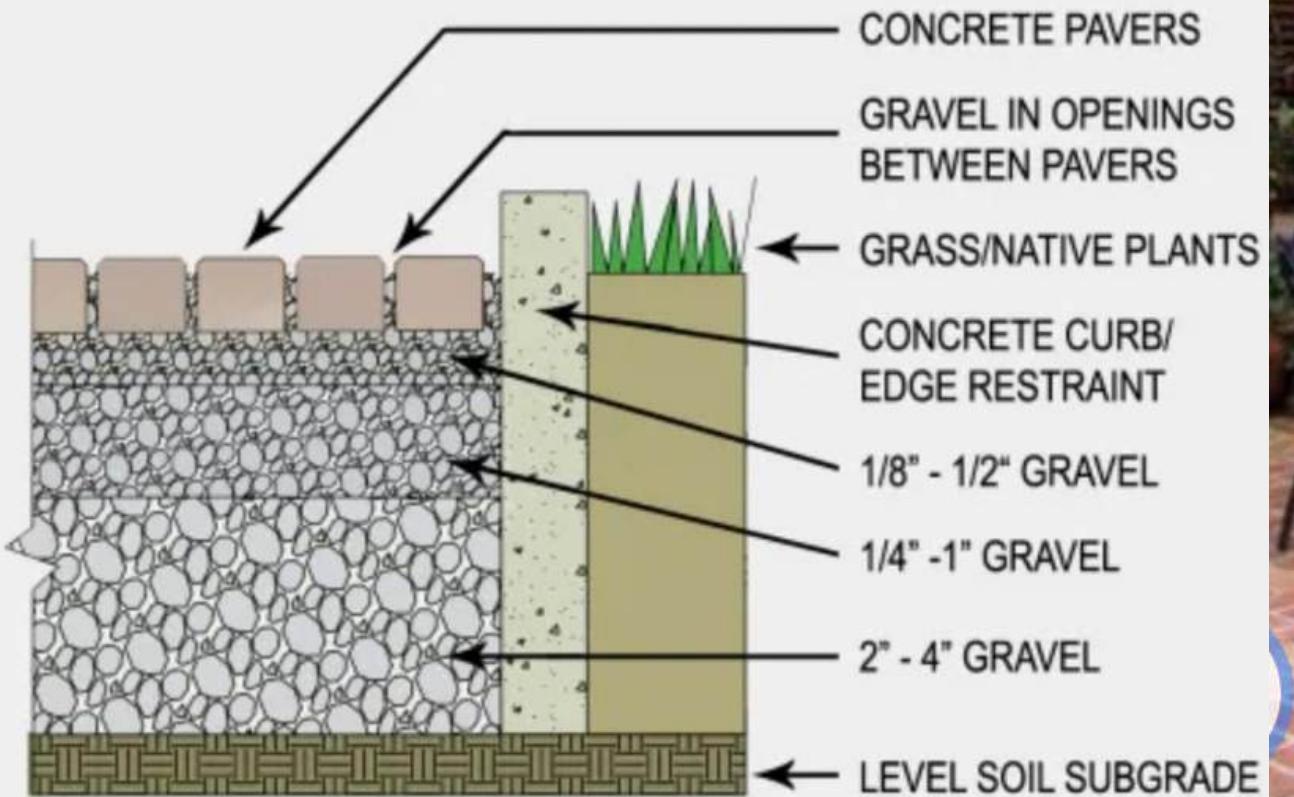
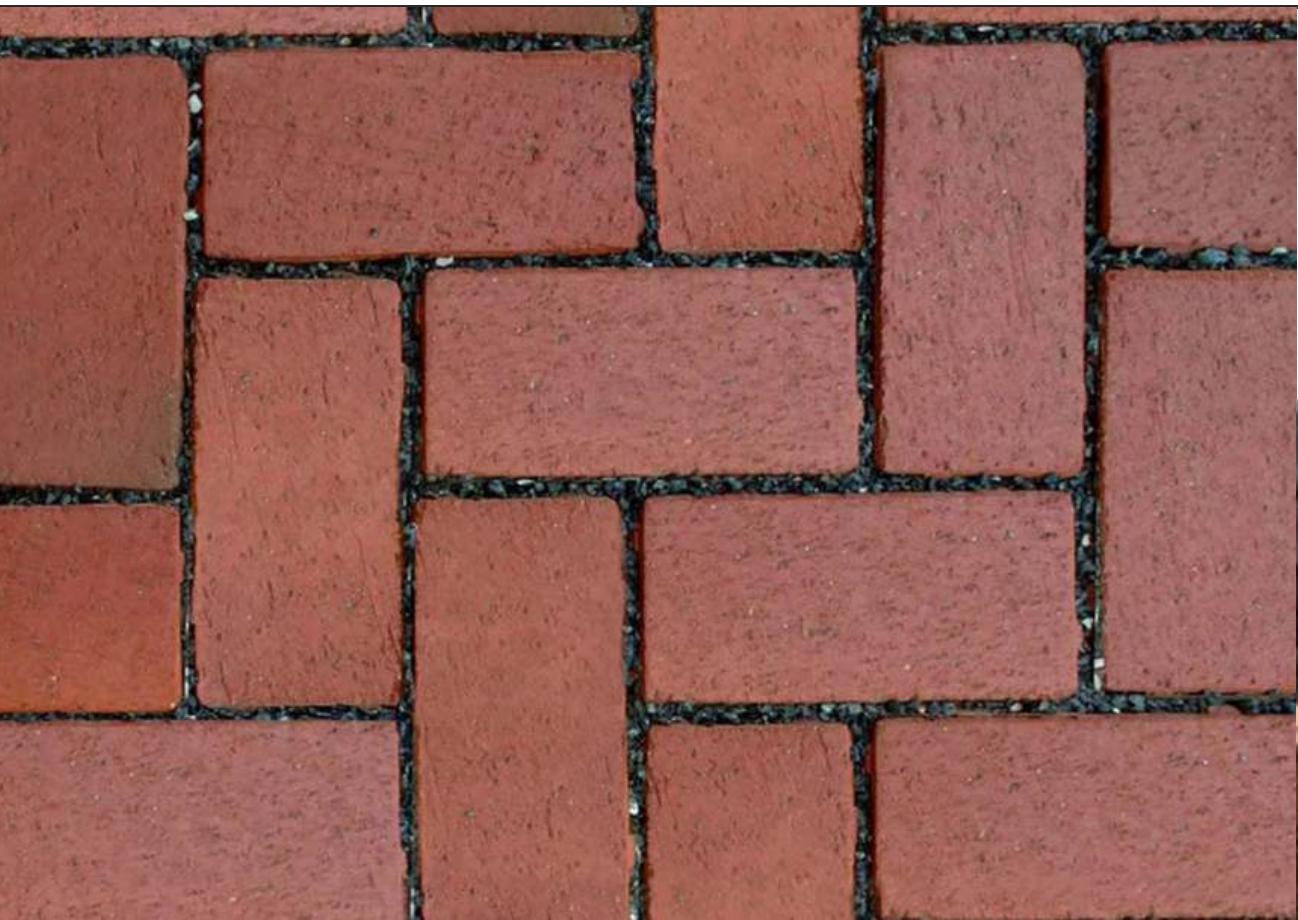
TRANSPARENT SCREENS





# RED PERMEABLE PATIO PAVERS

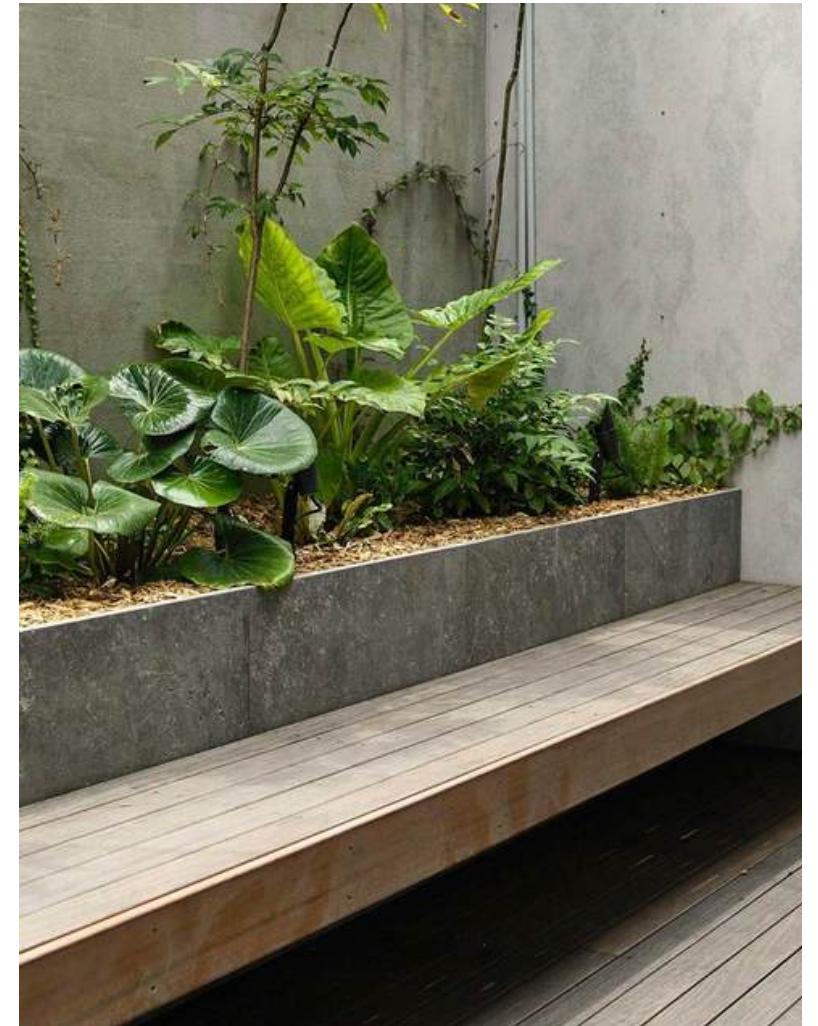
2 ELIOT ST





# EXTERIOR DETAILS

2 ELIOT ST



INTEGRATED CONCRETE PLANTERS



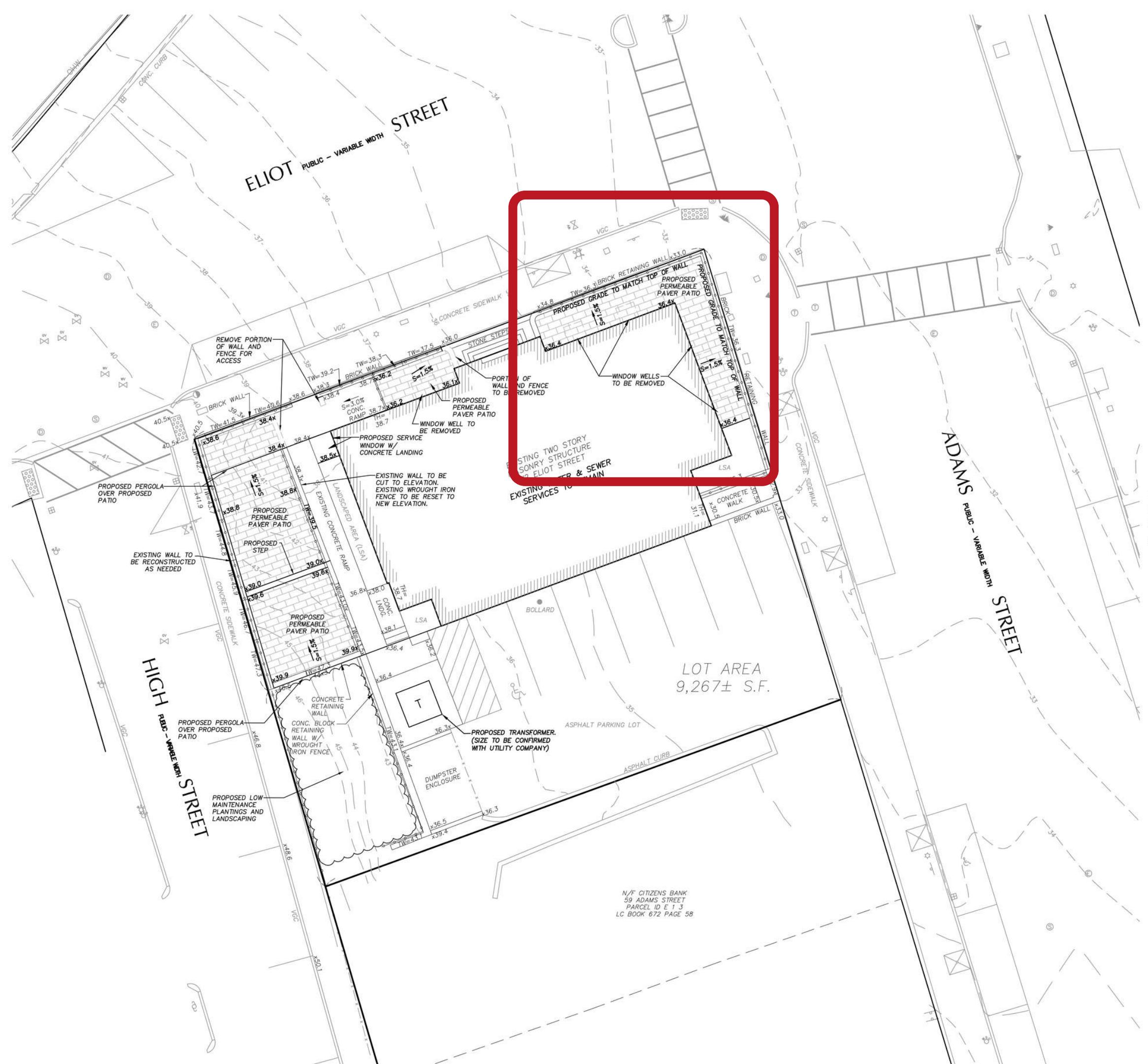
HANING PLANTS + VINES FROM PERGOLA



PERGOLA STRUCTURE



COPPER FLASHING/ROOF DETAILS



#### NOTES.

ID: E 1.1  
NER: 2 ELIOT STREET, LLC  
ENCE: CERTIFICATE #209866  
ENCE: LC PLAN #256628  
  
SURVEY: SEPTEMBER, 2024  
  
DATUM: NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON  
  
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S ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING  
MAY 7, 2018.

PERMEABLE PAVER DETAIL

TO SCALE

**LEGEND:**

EXISTING:	
⑤	- LOCUS PROPERTY LINE
⑩	- SEWER MANHOLE (SMH)
⑪	- DRAIN MANHOLE (DMH)
⑫	- COMMUNICATIONS MANHOLE (TMH)
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田	- CATCH BASIN (CB)
xy zy	- GAS VALVE/SERVICE
w yz w	- WATER VALVE/SERVICE
○○○	- HYDRANT
○○	- UTILITY POLE
N/F	- NOW OR FORMERLY
LSA	- LANDSCAPED AREA
-----25-----	- GRADE
x25.7	- SPOT GRADE
— x — x — x — x —	- CHAIN-LINK/WIRE FENCE
— □ — □ — □ —	- WROUGHT IRON DECORATIVE FENCE
□ □ □	- HAND HOLES FOR UTILITIES
○	- LIGHT POLE
◀▶	- TRAFFIC LIGHT
— —	- SIGN
CCB	- CAPE COD BERM
VGC	- VERTICAL GRANITE CURB
SGC	- SLOPED GRANITE CURB
TH=37.0'	- THRESHOLD ELEVATION
TW=37.0'	- TOP OF WALL ELEVATION
	- TREE WELL

CT TITLE & LOCATION:  
  
PROPOSED PATIO  
AT  
2 ELIOT STREET  
MILTON, MASS.

#### PROPOSED CONDITIONS

Page 1 of 1

JOSHUA D WILD  
2 ELIOT STREET, LLC  
174 DORCHESTER ST  
BOSTON, MA 02127

MARCH 5, 2025

CURRENT INTERSECTION VIEW

2 ELIOT ST



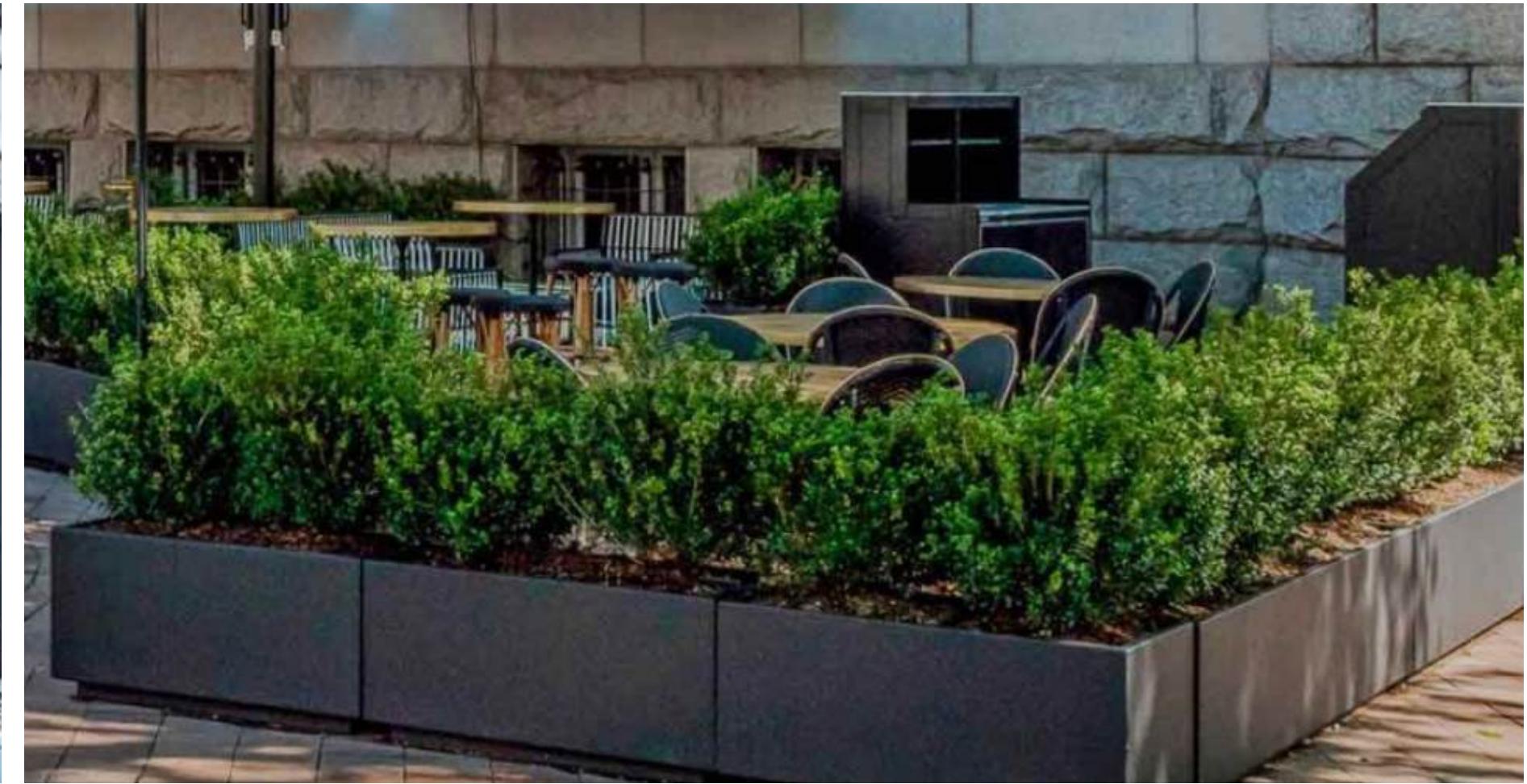
# PROPOSED INTERSECTION VIEW

2 ELIOT ST



# PLANTERS AND PLANTINGS

2 ELIOT ST



## PLANTING SCHEDULE FOR 2 PENCE MARKET

MILTON, MA

PLANT NAME	BOTANICAL NAME	TYPE	BLOOM TIME / FEATURE
	Inkberry Holly <i>Ilex glabra</i>	Evergreen shrub	Evergreen foliage
	Sweetfern <i>Comptonia peregrina</i>	Deciduous shrub	Fragrant foliage
	Eastern Red columbine <i>Aquilegia canadensis</i>	Perennial flower	Spring red/yellow blooms
	New England aster <i>Symphotrichum</i>	Perennial flower	Late summer/fall purple blooms
	Little Bluestem <i>Schizachyrium scoparium</i>	Ornamental grass	Silvery-blue foliage
	Switchgrass 'Heavy Metal' <i>Panicum virgatum</i>	Ornamental grass	Spring pink bloom
	Purple Coneflower <i>Echinacea purpurea</i>	Perennial flower	Spring pink/purple
	Creeping Phlox <i>Phlox subulata</i>	Groundcover	Spring pink/purple berries
	Lowbush blueberry <i>Vaccinium angustifolium</i>	Deciduous shrub	Year-round green, red berries
	Bearberry <i>Arcostaphylos uva-ursi</i>	Evergreen groundcover	Year-round green, red berries

## PLANTING SCHEDULE

**Design Focus: Native, seasonal interest, pollinator-friendly, low-maintenance**

**Design Notes:**

- Winter interest: Inkberry, Bearberry, and Switchgrass provide structure and evergreen appeal in colder months.
- Pollinator support: Coneflowers, asters, and columbine offer seasonal blooms for bees and butterflies.
- Planter-friendly: All selected species are suitable for container planting, with adjustments for soil drainage and root space.
- Layering approach: Taller grasses and shrubs in the center or back, with cascading plants like creeping phlox and bearberry at the edges.

# REAR ACTIVATION IMAGES

2 ELIOT ST



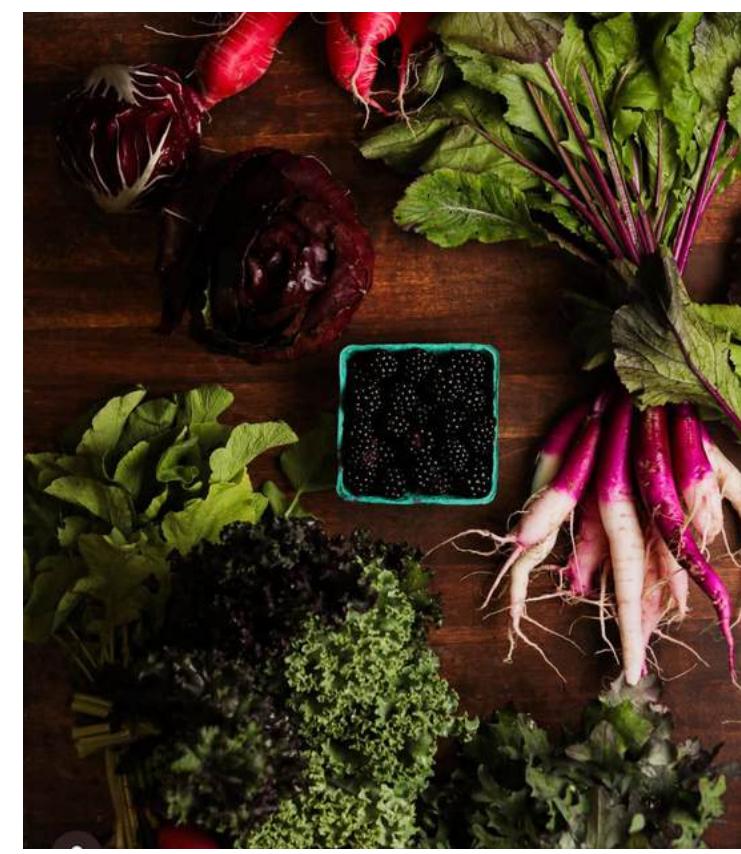
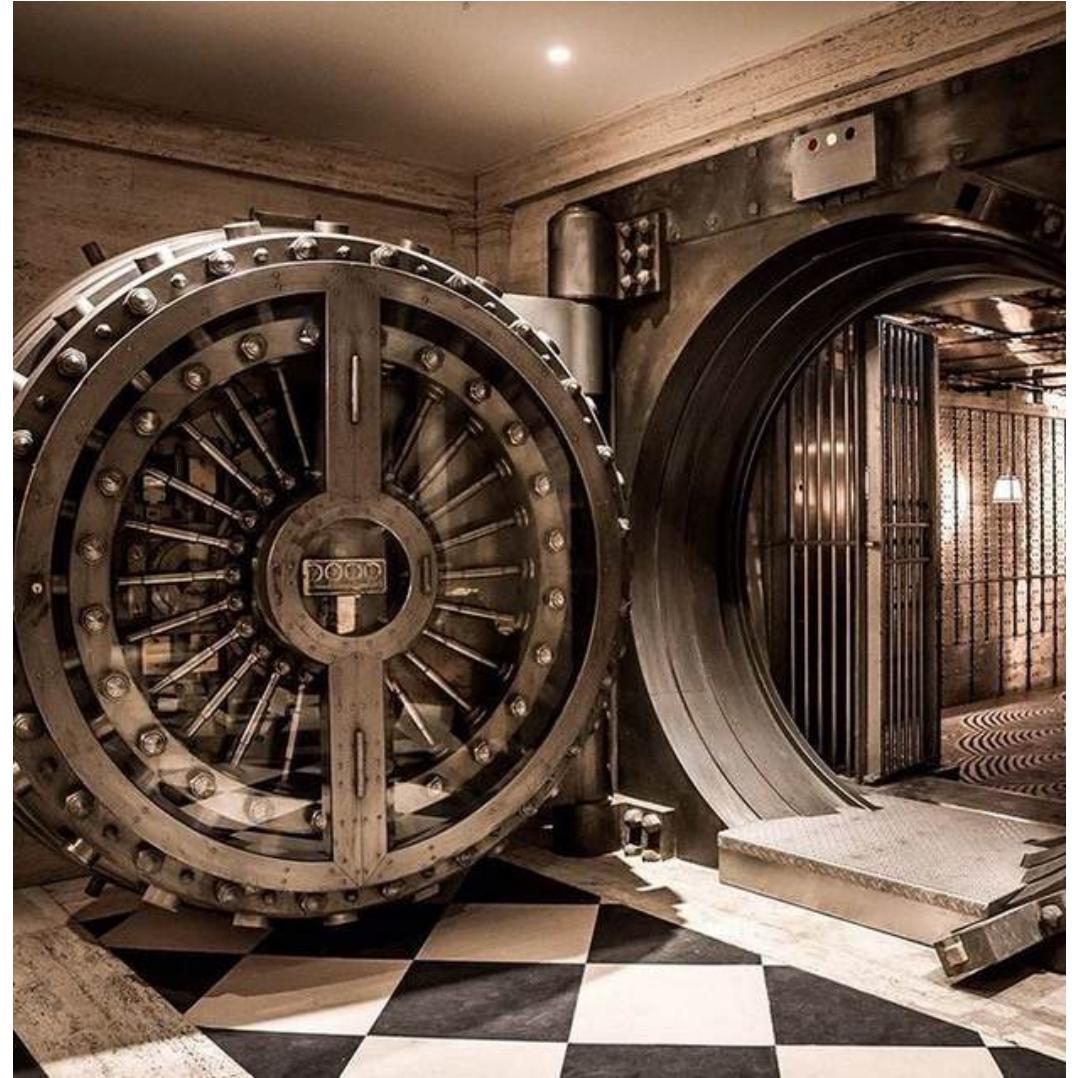
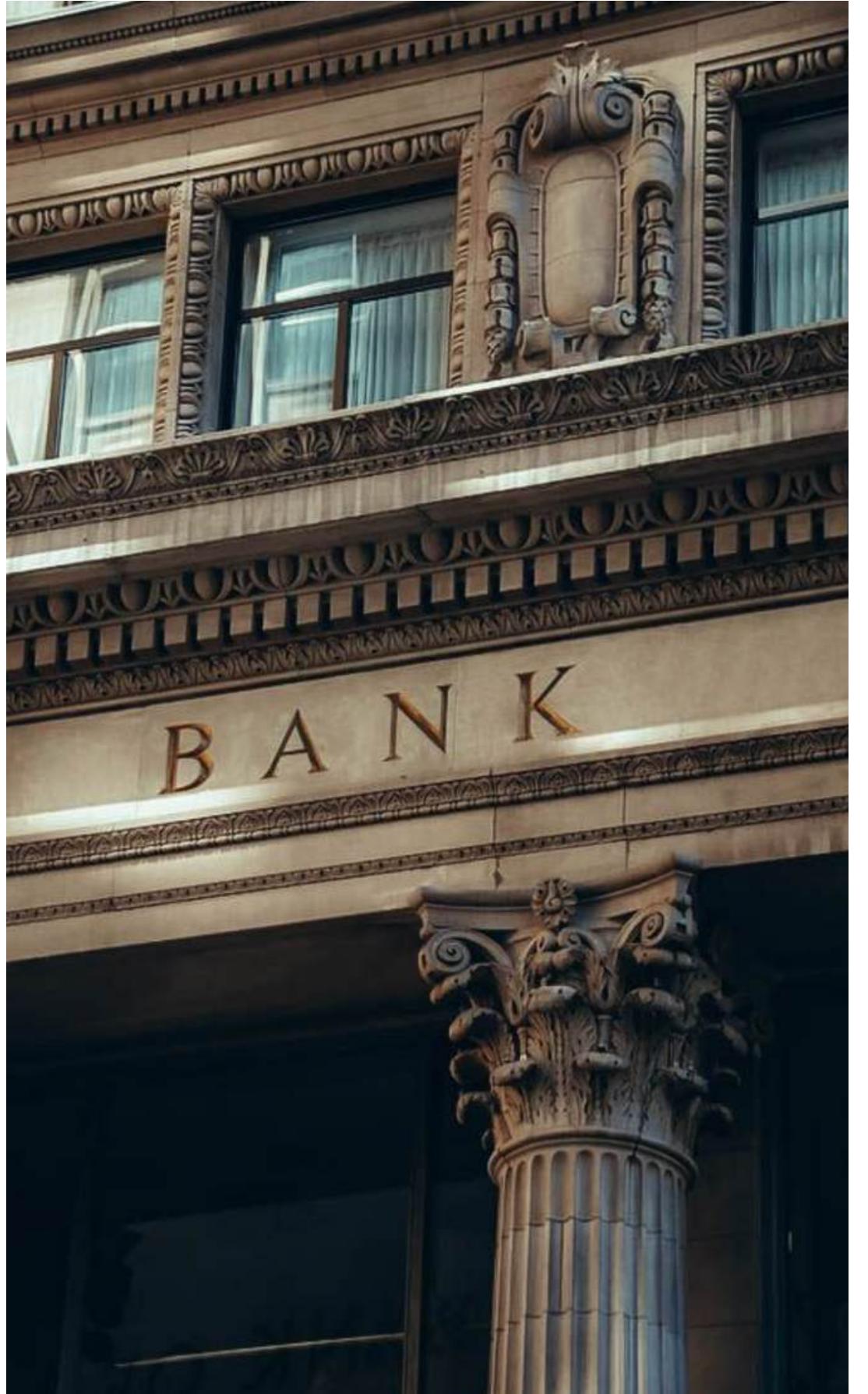
2 ELIOT ST

# INTERIOR DESIGN PROPOSAL

STEEL & RYE x ELEVATED

# DESIGN THEME: REFURBISHED BANK

2 ELIOT ST



# INSPIRATION IMAGES

# 2 ELIOT ST

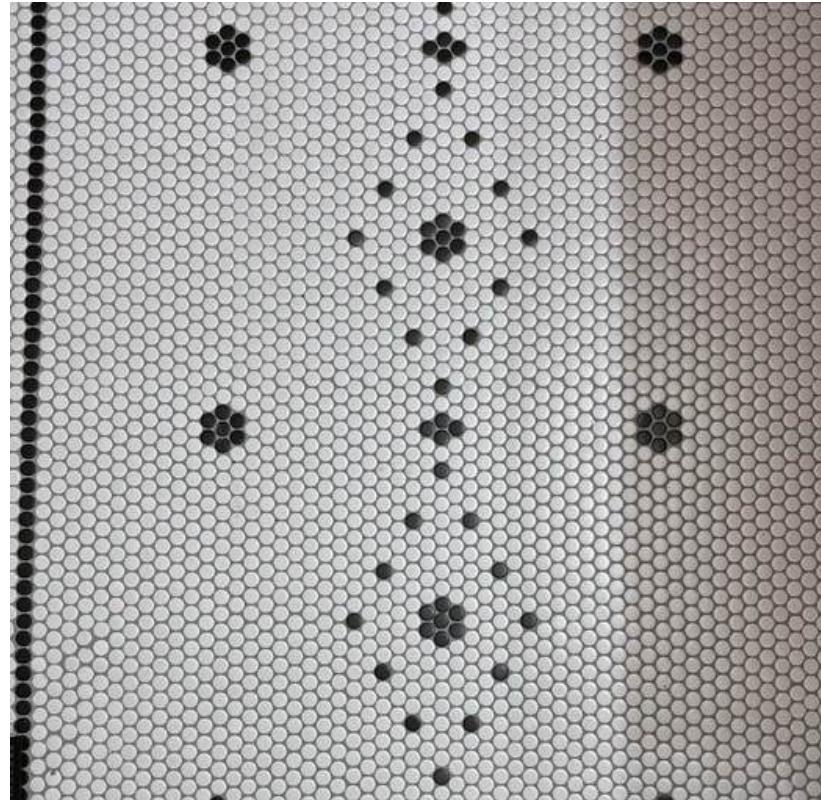


# LIGHTING AND MATERIAL PROPOSAL

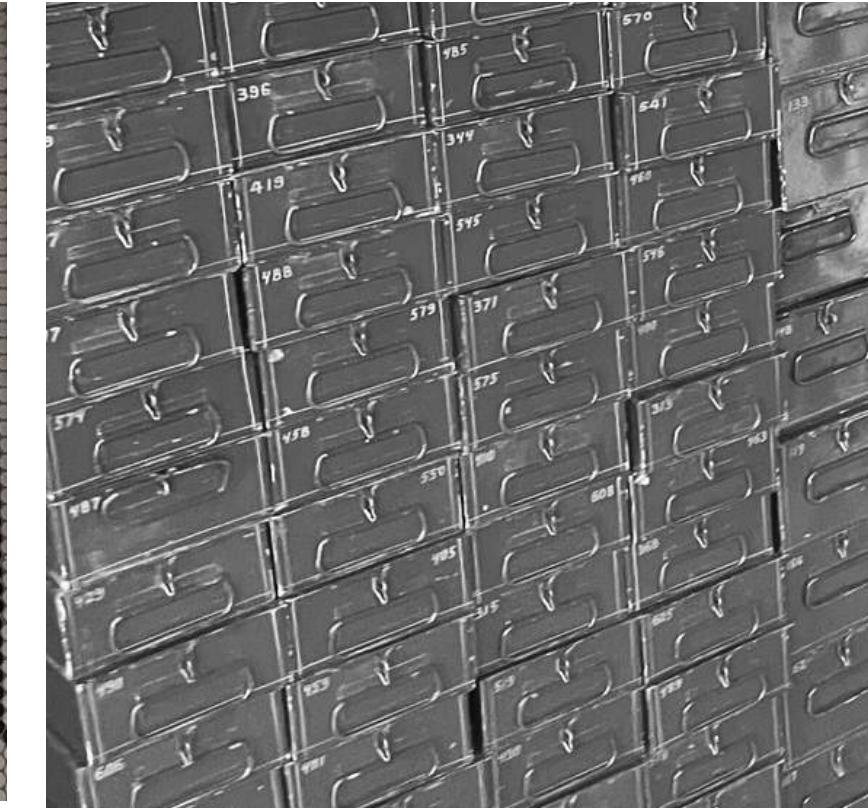
2 ELIOT ST



PAINT



TILE FLOORING



UPCYCLE DEPOSIT BOXES FOR  
SERVICE COUNTER



GREENERY



WOOD ACENTS  
AND BEAMS

MONT BLANC QUARTZITE  
LEATHER



CHANDELIER  
INSPIRATION



REFURBISH EXISTING  
CHANDELIERS



PICTURE LIGHTS

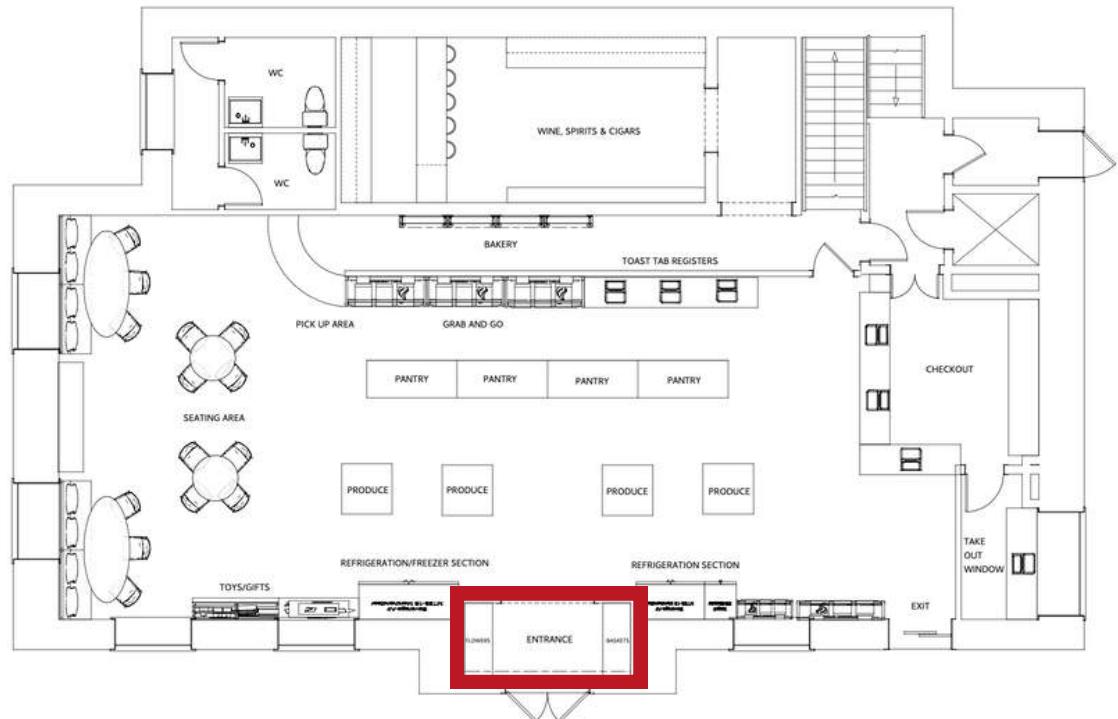


CHECKOUT  
COUNTER LIGHTING

# ENTRY

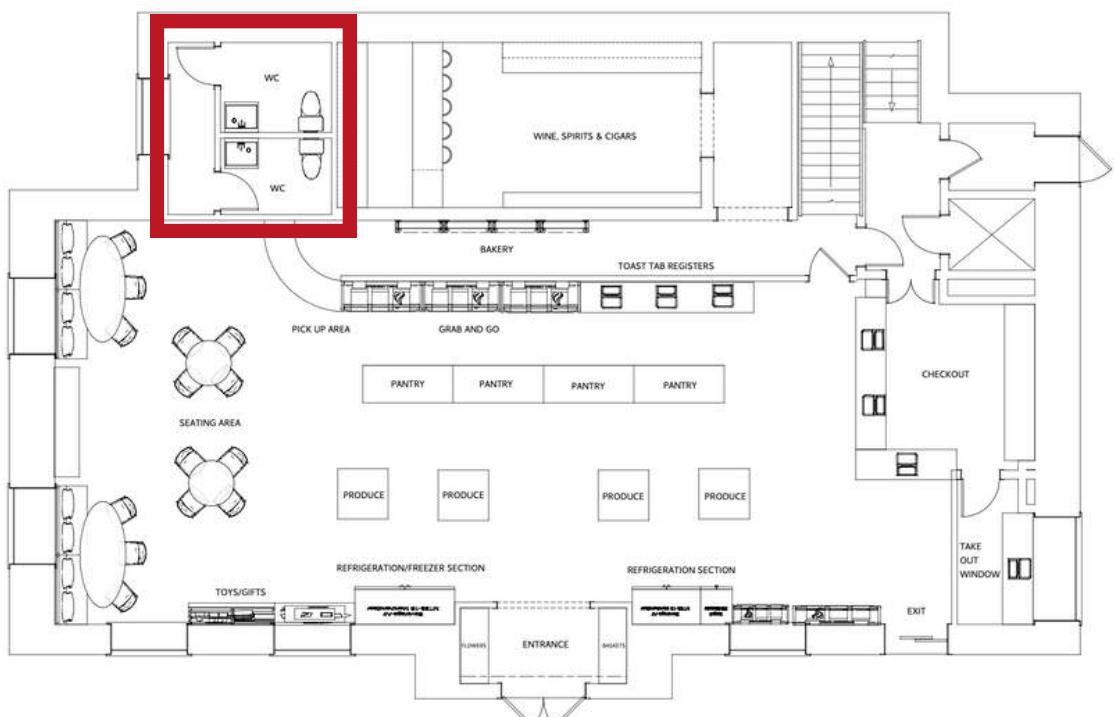
# 2 ELIOT ST

MOSAIC TILE INLAY FLOOR AT ENTRY WITH BORDER TO FRAME THE SPACE



# RESTROOMS

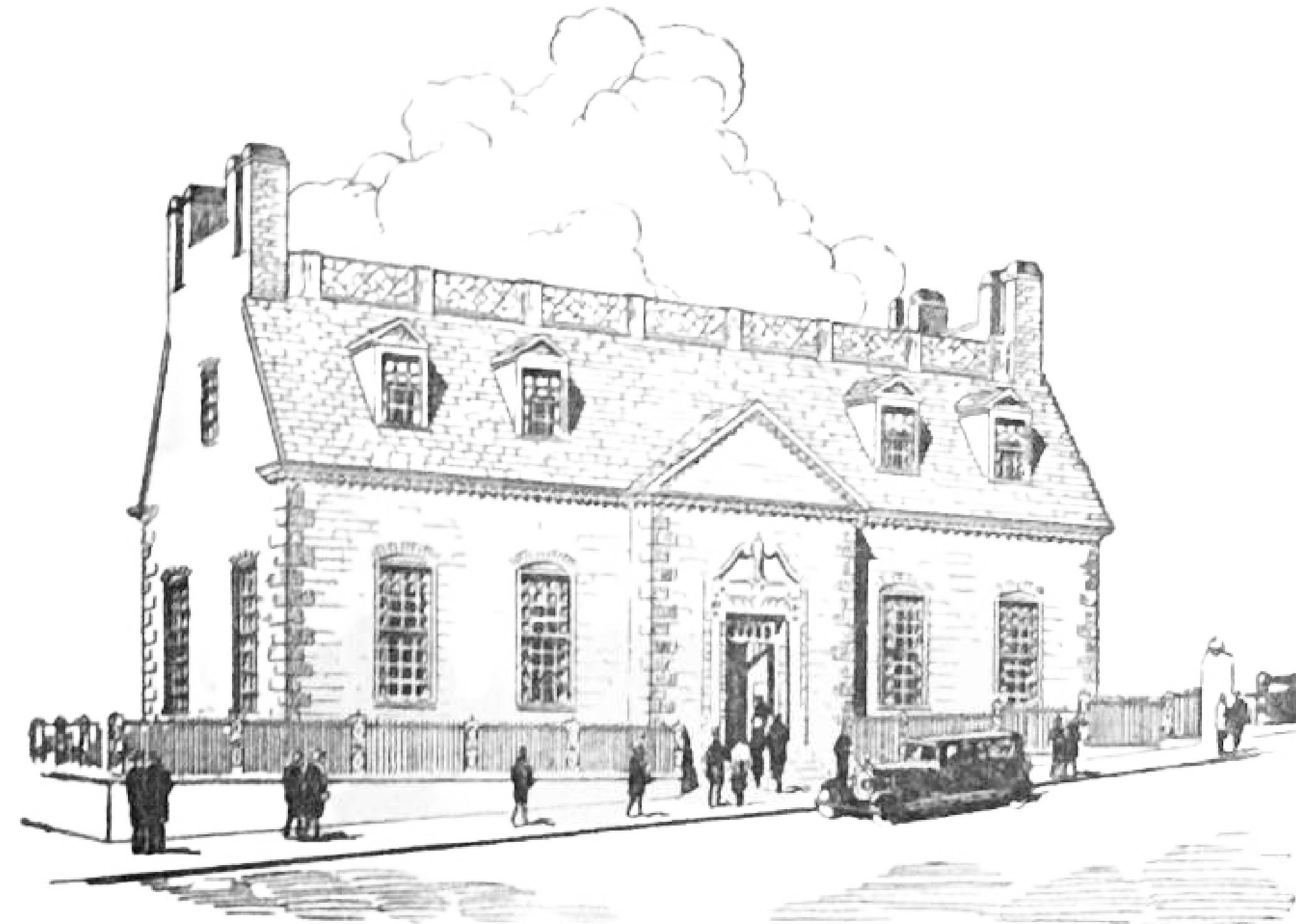
2 ELIOT ST



# 2 ELIOT ST

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**Our goal is to restore and enhance the original design intent of 2 Eliot Street:  
“to be reminiscent of the aristocratic New England structures built for public service in prosperous towns.”**



*the*  
**ELEVATED**  
*companies*

X

STEEL & RYE