

2 ELIOT ST

MILTON, MA

the
ELEVATED
companies

X

STEEL & RYE



CURRENT INTERSECTION VIEW

2 ELIOT ST





PROPOSED INTERSECTION VIEW (OPTION #2)

2 ELIOT ST



PLANTING GUIDE



Boxwood



Astilbe



Hosta



English Ivy



Silver Falls
Dichondra

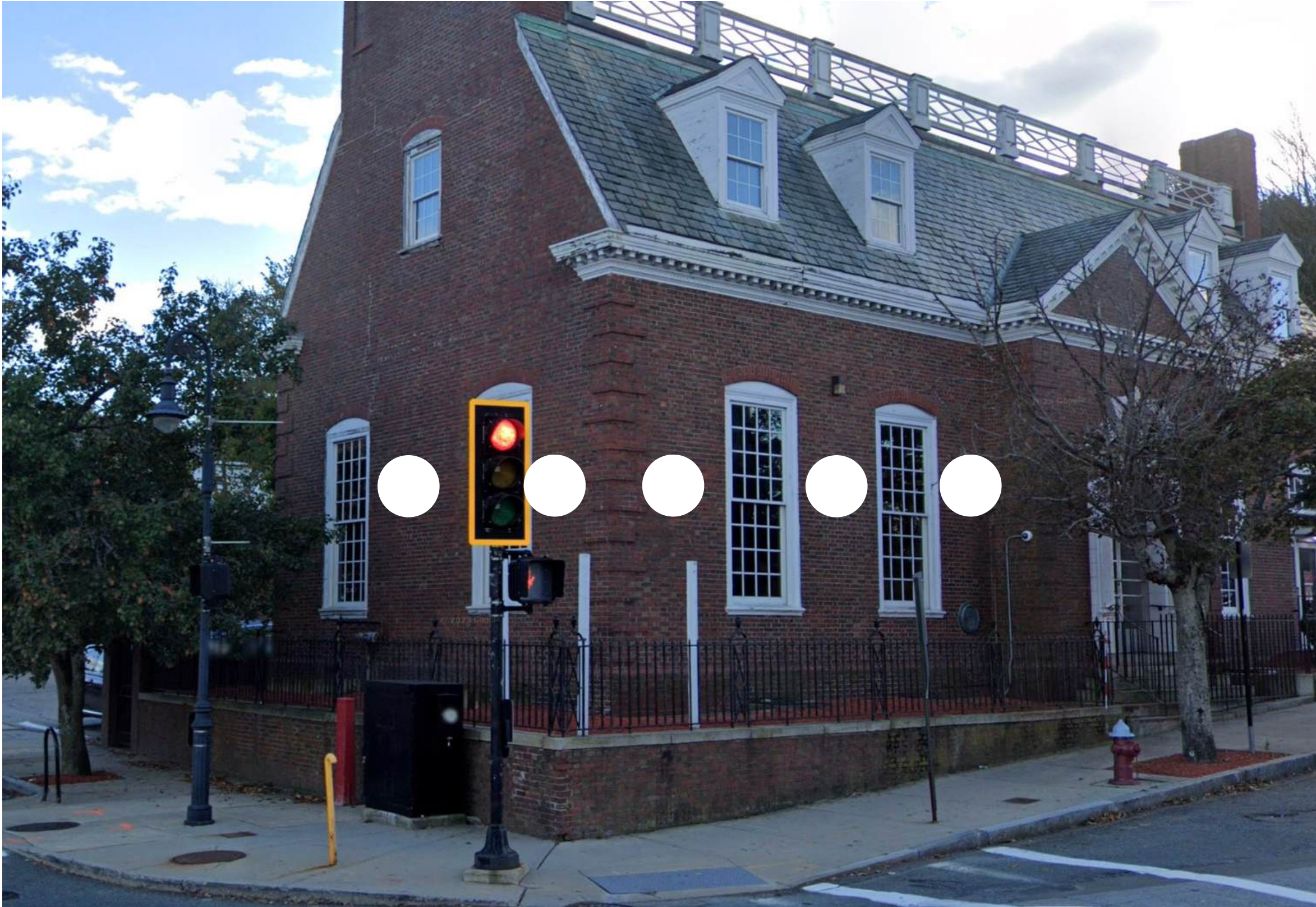


PROPOSED EXTERIOR VIEW



4x GAS LAMPS AT ENTRANCES
MOUNTED AT CONSISTENT
HEIGHT OF 74" AFF



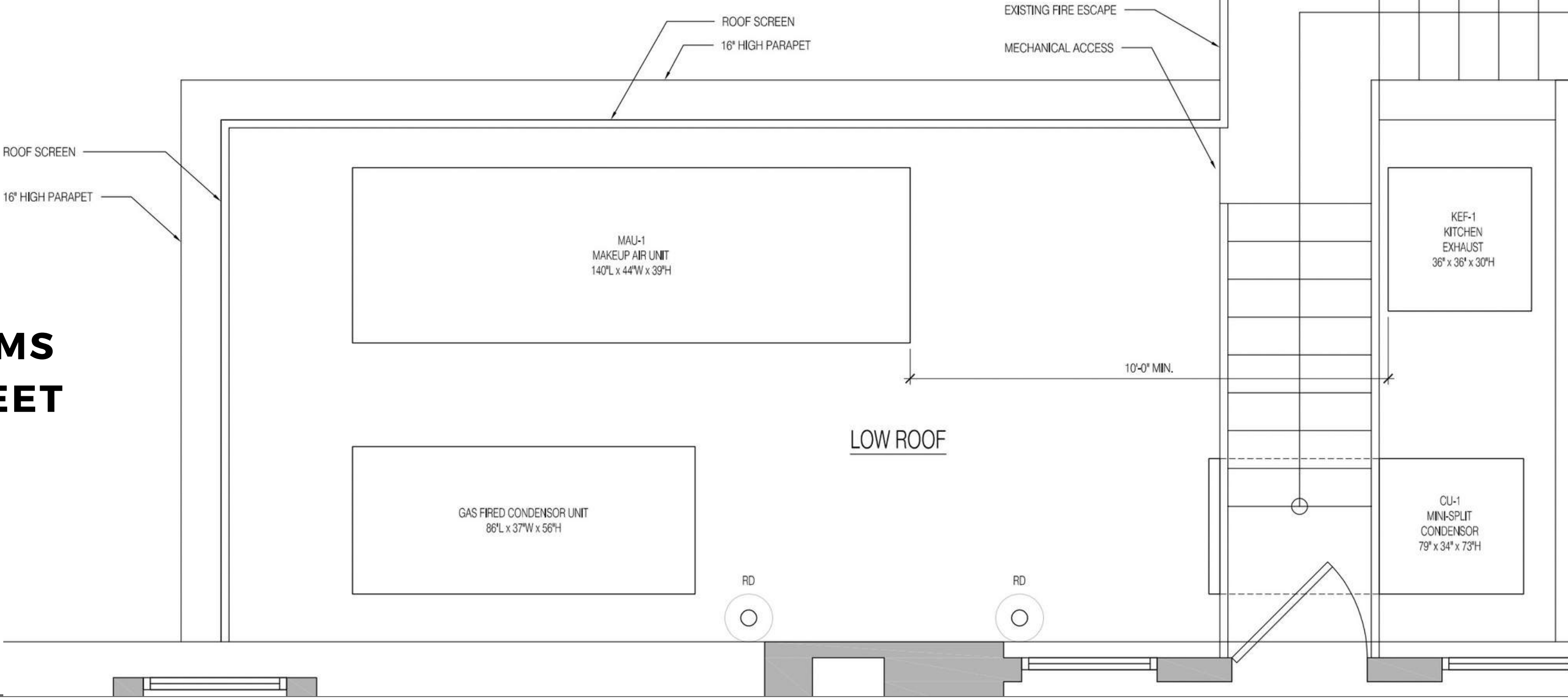




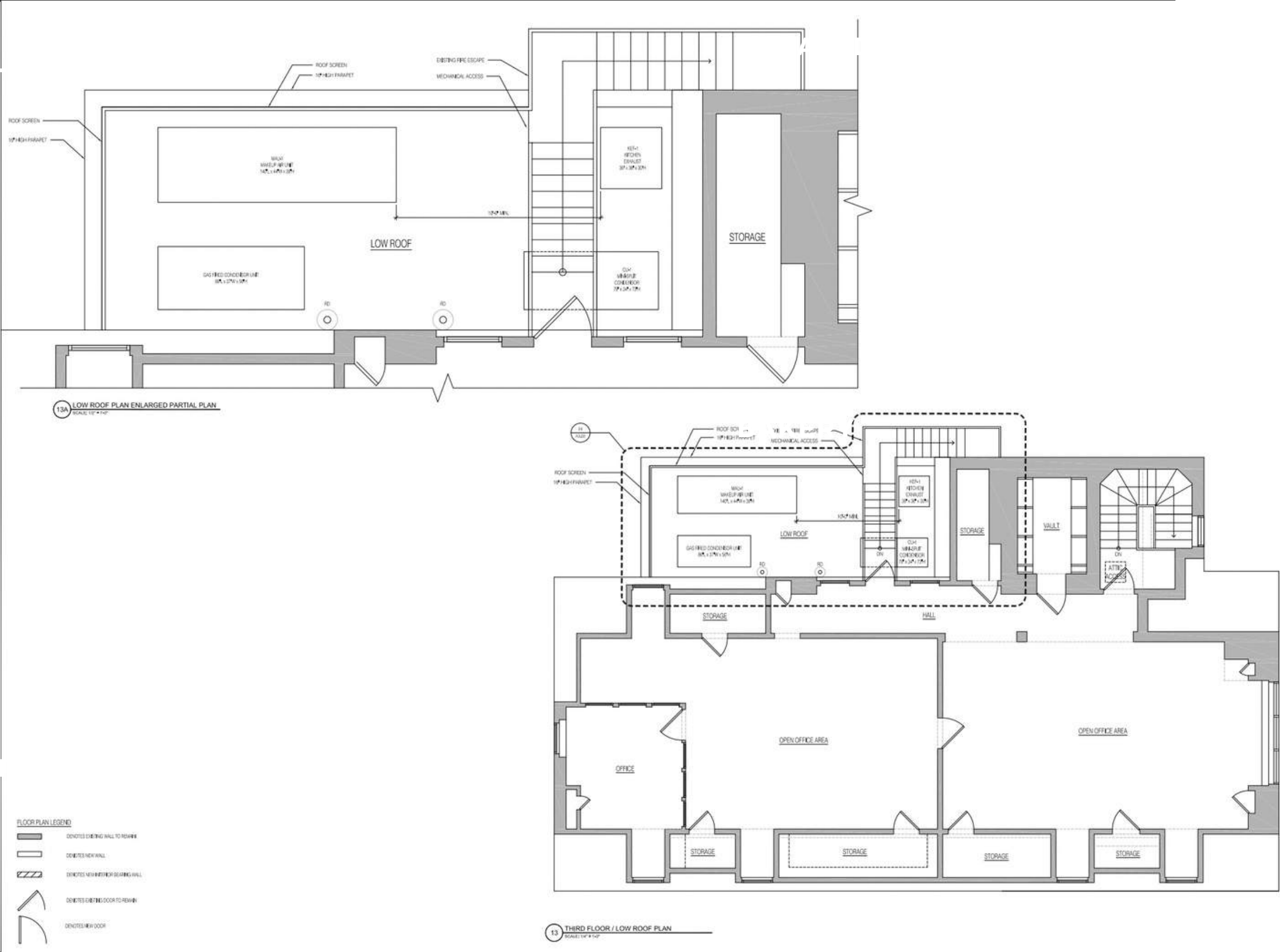
EXISTING CONDITIONS

PARKING LOT

ADAMS STREET



PROPOSED ROOF PLAN



PROPOSED ROOF PLAN

X ELEVATED



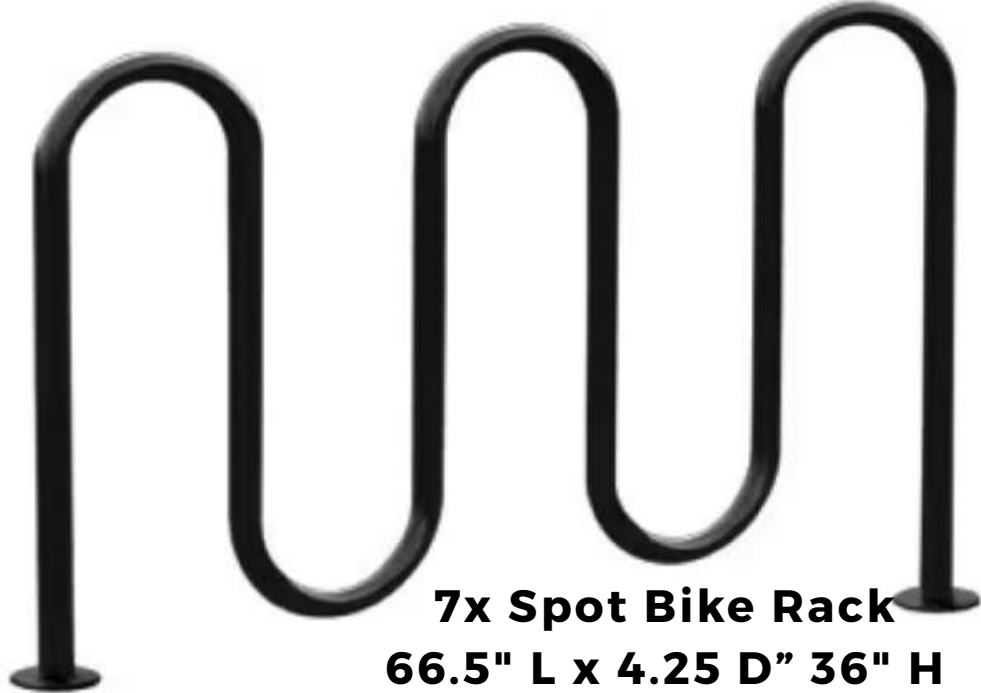
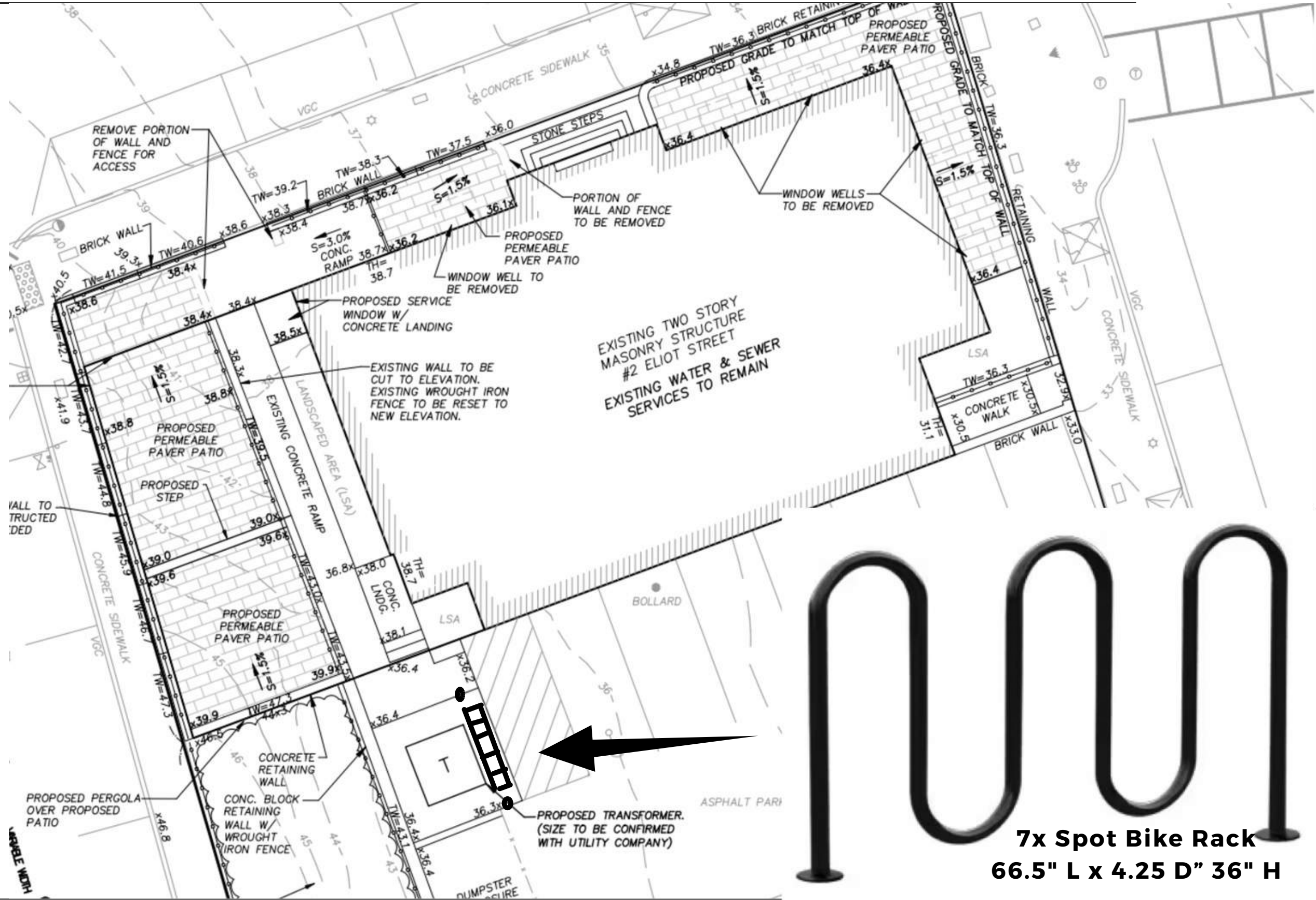
EXISTING CONDITIONS



PROPOSED SCREENING

BIKE RACK LOCATION

2 ELIOT ST



PROPOSED BIKE RACK



2 ELIOT ST THE LOCATION

Milton Village stands as a charming, walkable enclave nestled along the Neponset River, blending small-town warmth with urban convenience. With direct access to Boston via the MBTA trolley, public highways, and the bike path, Milton Village offers a unique blend of tranquility and connectivity.

A notable landmark, the building at 2 Eliot Street, contributes to the village's character and vitality, anchoring its role as both a historic and evolving hub. Our vision mixes this heritage with forward-thinking development to make Milton Village a standout destination for residents and visitors alike.



2 ELIOT ST

MARKET PROPOSAL

STEEL & RYE x ELEVATED

TWO PENCE MARKET

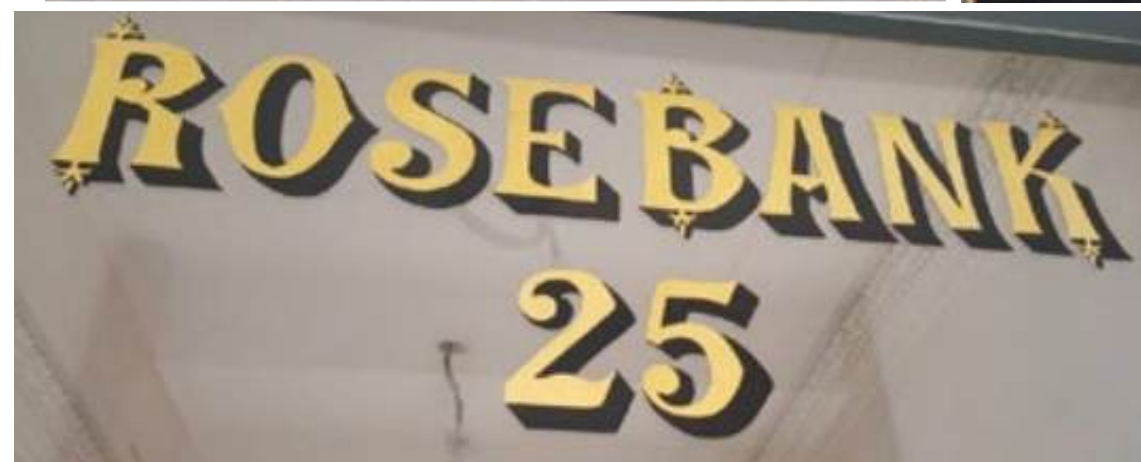
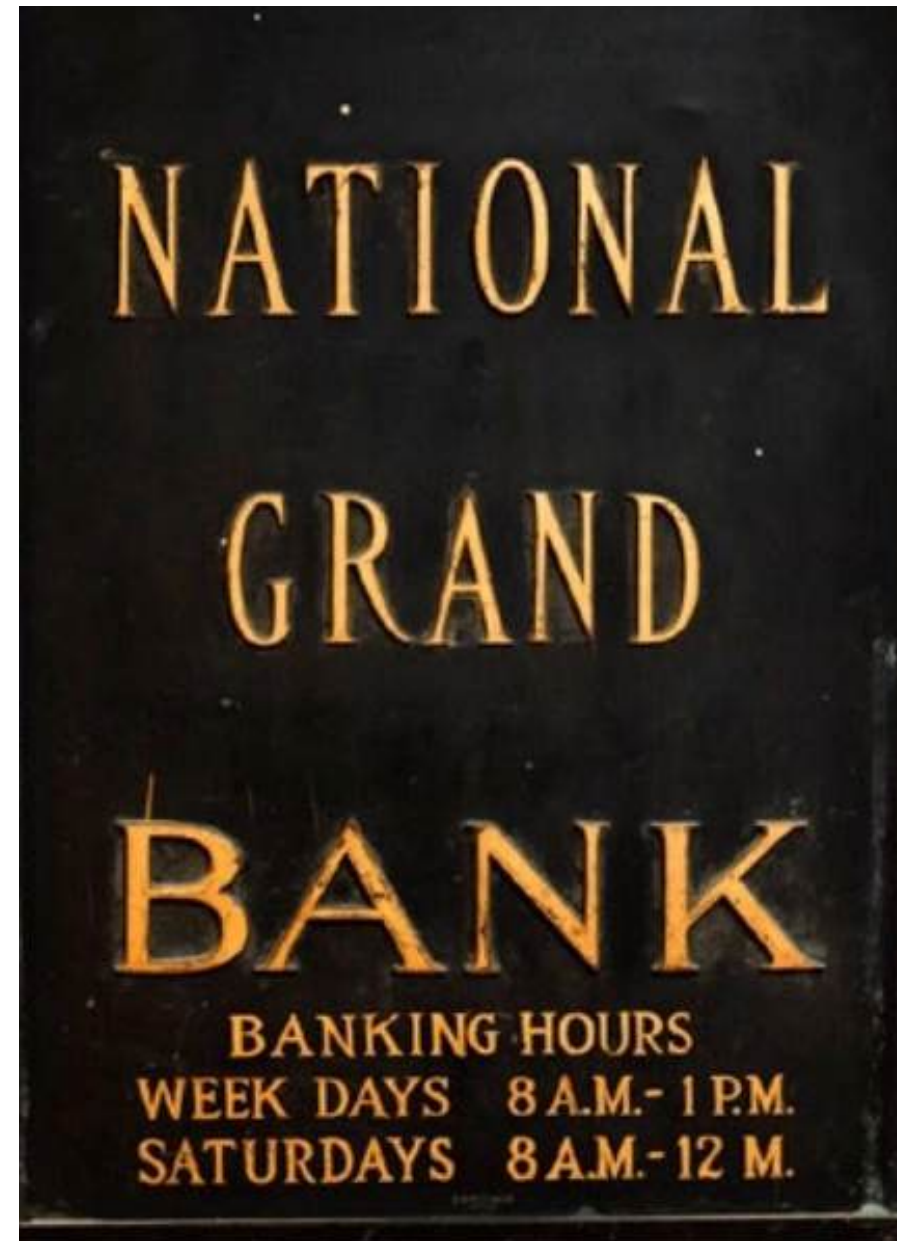
The old bank at 2 Eliot Street has been brought back to life with purpose and pride as Two Pence Market. It once again serves as a cornerstone of the Milton community – as a coffee shop, a neighborhood grocery, and a daily hangout.

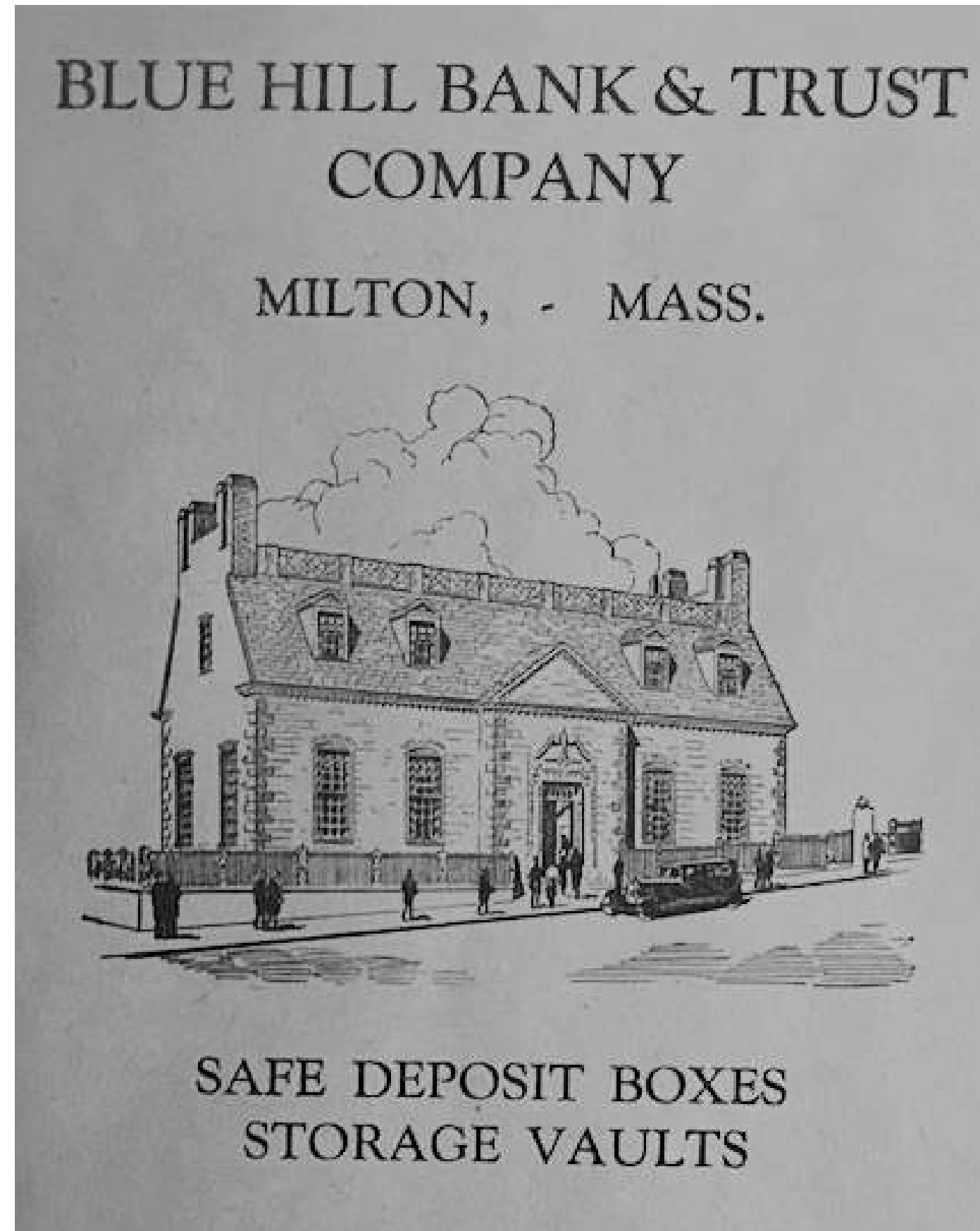
Walk through our doors and you'll feel it immediately – everything here is thoughtfully made and worth coming back for.

Your first visit feels like a discovery. Your second, like a welcome return. And every visit after that, like home.

At Two Pence Market, you're not a customer – you're a neighbor. We're not here to sell you more, we're here to serve you better.

MEETING THE MOMENT





PRODUCTS

2 ELIOT ST



LOCAL PANTRY



FRESH JUICE



FARM TO TABLE



SALADS
SOUPS
SANDWICHES



TO GO BEVERAGES



CURATED BOOK SELECTION



BAKERY



ORGANIC PRODUCE



FLOWER DISPLAY

2 ELIOT ST
FLOOR PLAN

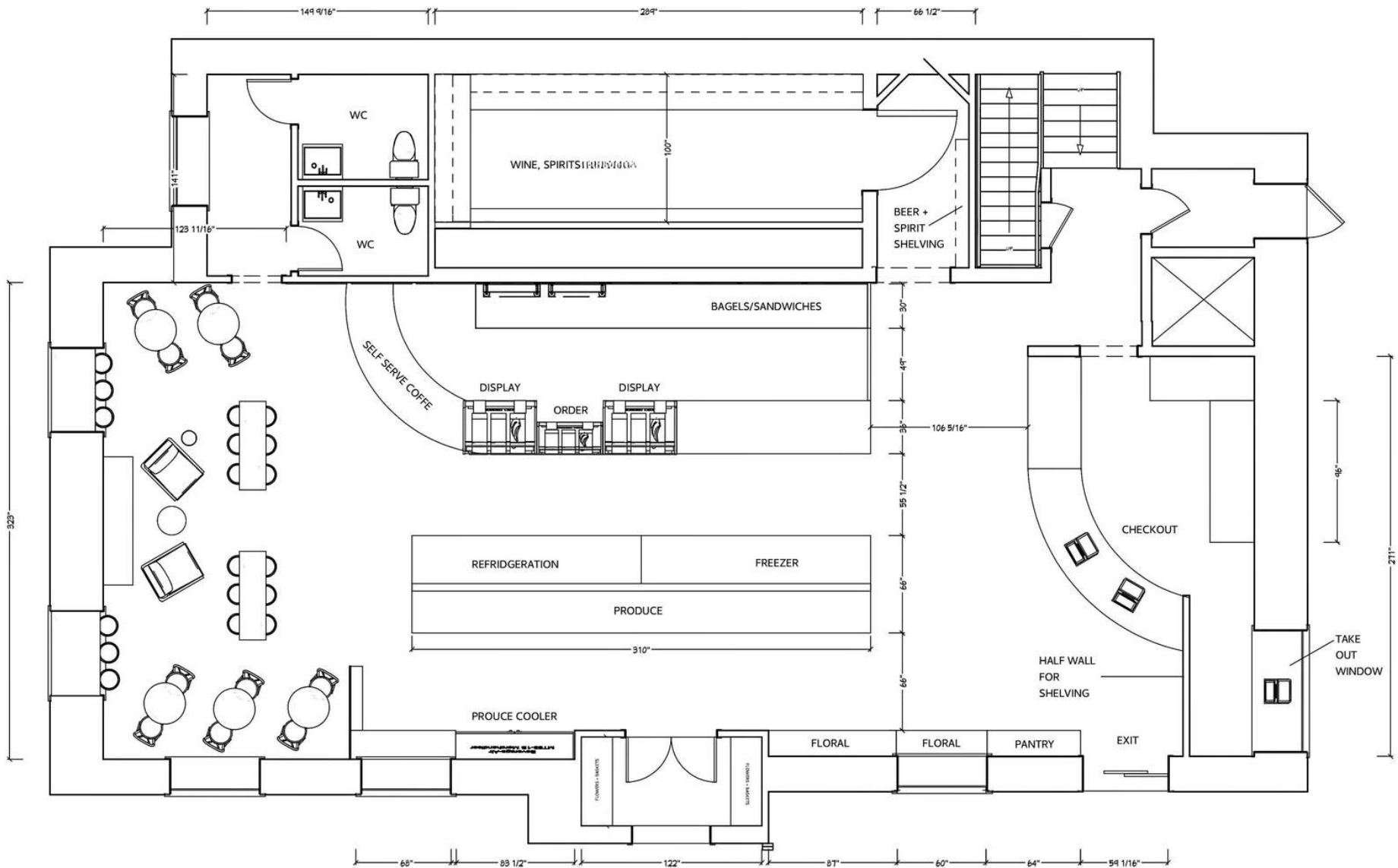
FIRST
FLOOR



TOTAL SQUARE
FOOTAGE

2,970 sq ft

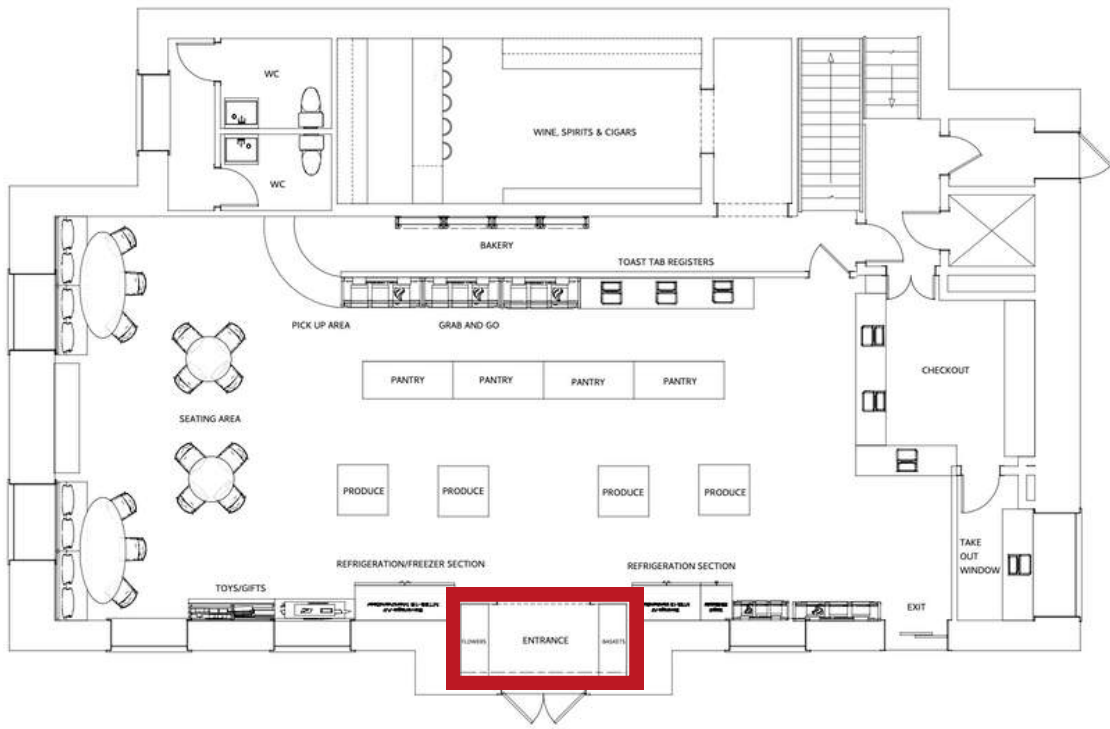
STEEL & RYE X ELEVATED



DISCLAIMER: ALL DIMENSIONS, DESIGNATIONS, & EXTENTS ARE SUBJECT TO SITE VERIFICATION PRIOR TO CONTRACTOR COMMENCEMENT OF WORK	PROJECT: 2 ELIOT STREET MILTON, MA 02186	SHEET TITLE: 2 ELIOT 1ST FLOOR	JOB ID: 2 Eliot	REV: 00	DWG NO: KD07
			DWN BY: ELEVATED CONSTRUCTION	CHK BY: xxx	
			DATE: January 28, 2025		
			SCALE: NTS		

ENTRY FLORAL DISPLAYS

2 ELIOT ST



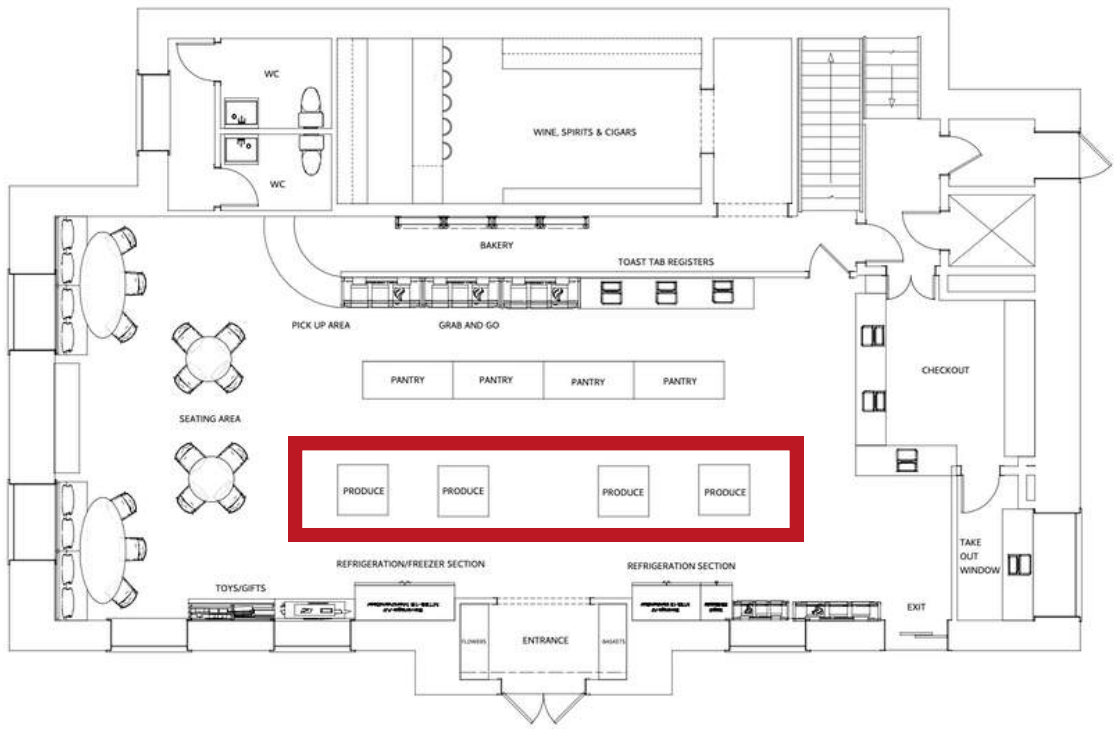
TIERED FLOWER DISPLAY - OPPORTUNITY FOR A
CUSTOM BUILT IN DISPLAY OR METAL BUCKET TIER.
WOVEN BASKET STACK ON OPPOSITE SIDE FOR
SHOPPING

PRODUCE STANDS



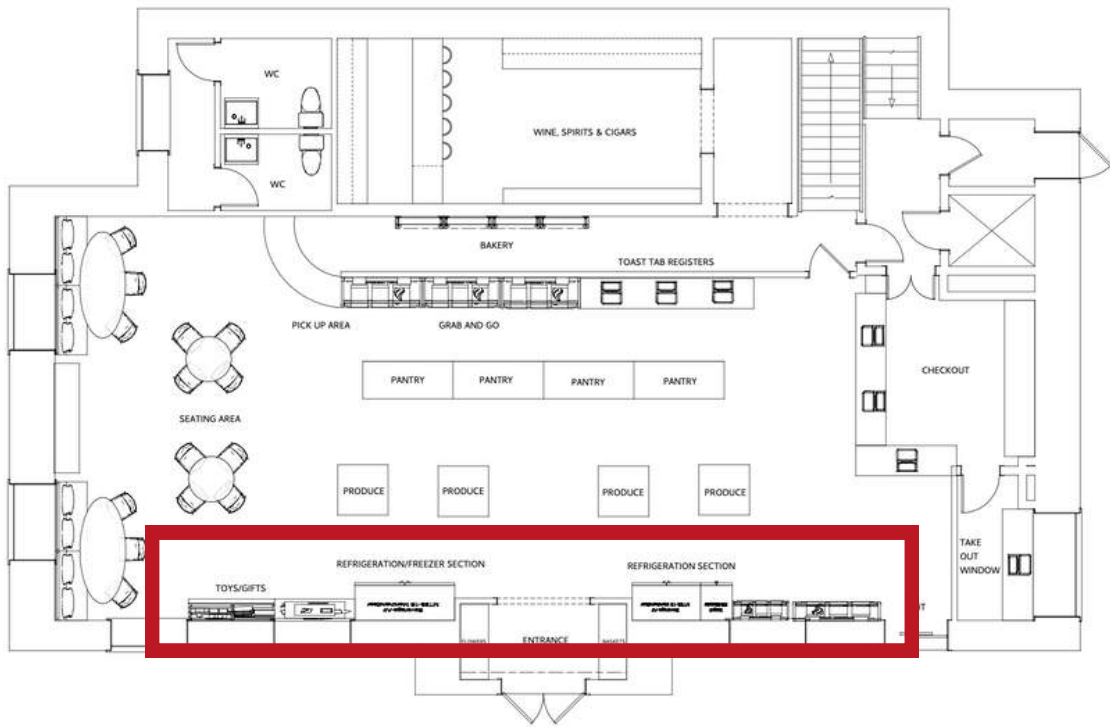
2 ELIOT ST

CENTRAL, TIERED PRODUCE STANDS - REPURPOSE EXISTING STANDS IN BASEMENT



REFRIGERATOR SECTION

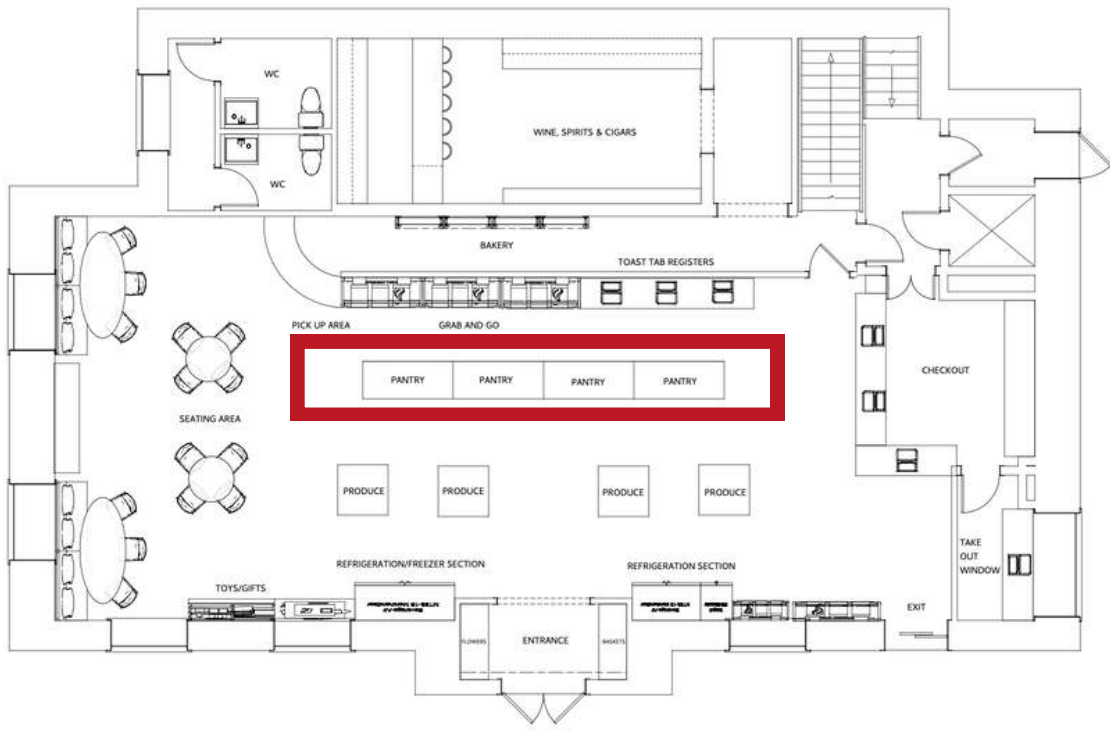
2 ELIOT ST



REFRIGERATION INSPIRATION

PANTRY SECTION

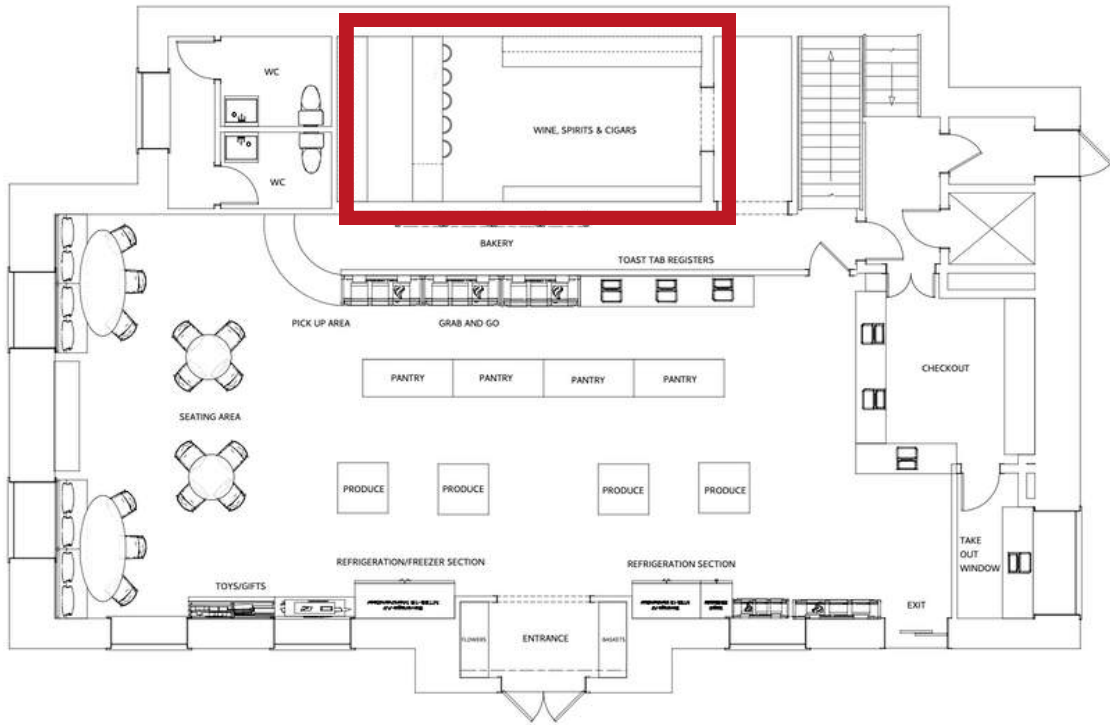
2 ELIOT ST



TIERED, LINEAR DIVIDERS WITH PANTRY ITEMS

THE VAULT'S CURATED COLLECTION

2 ELIOT ST

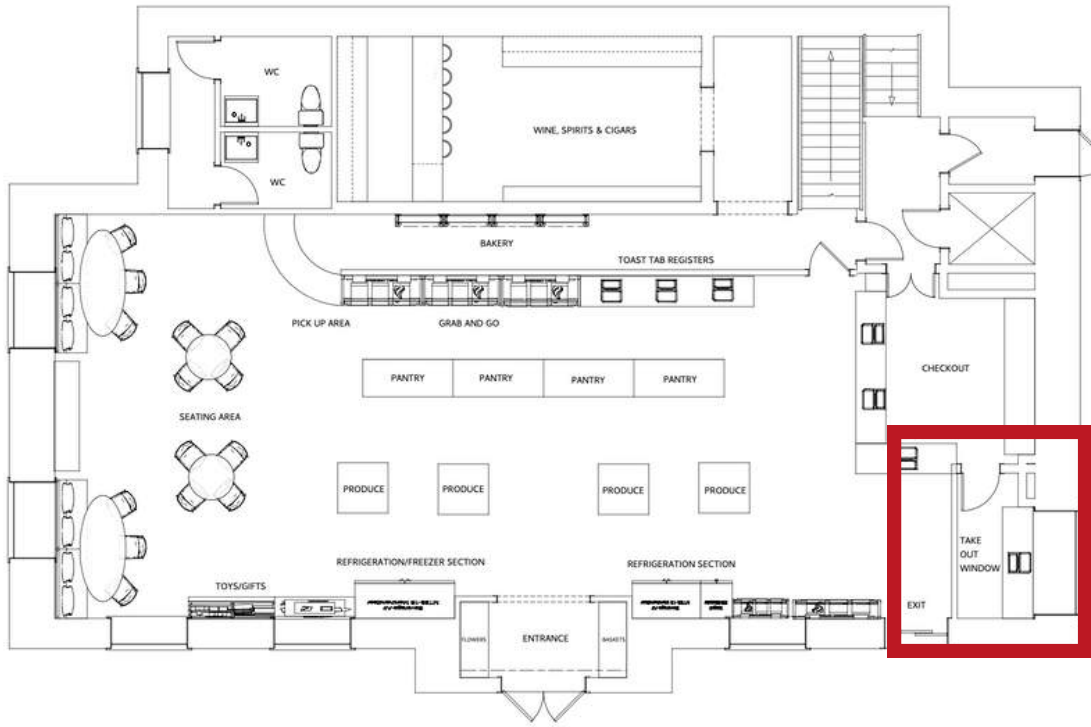


VAULT TO SERVE AS A SECTION FOR CURATED GIFTS INCLUDING WINE AND SPIRITS.

OUTDOOR ORDERING WINDOW

2 ELIOT ST

SLIDING WINDOW TO SERVICE
OUTDOOR SEATING AND DELIVERY
SERVICES.

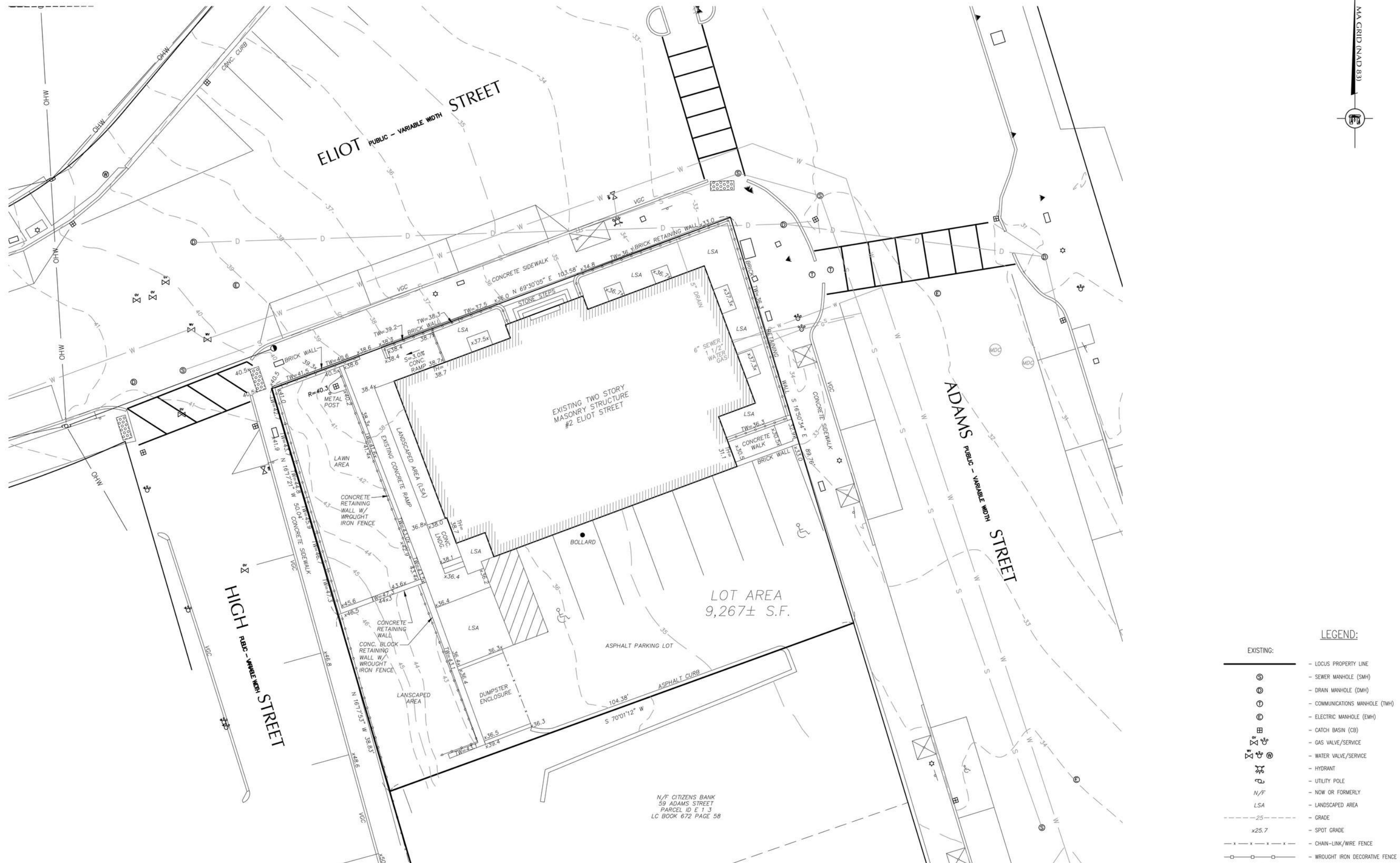


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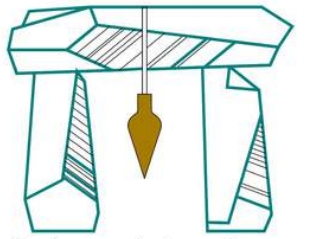
EXTERIOR DESIGN PROPOSAL

STEEL & RYE x ELEVATED

SITE CONTEXT - EXISTING CONDITIONS



DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com













CLAUDIO SALA, PLS

GENERAL NOTES:

1. LOCUS:
- ASSESSORS ID: E 1 1
RECORD OWNER: 2 ELIOT STREET, LLC
DEED REFERENCE: CERTIFICATE #209866
BOOK 41281 PAGE 557
PLAN REFERENCE: LC PLAN #25662B
2. DATE OF SURVEY: SEPTEMBER, 2024
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6. PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

LEGEND:

	EXISTING:		- LOCUS PROPERTY LINE
		- SEWER MANHOLE (SMH)	
		- DRAIN MANHOLE (DMH)	
		- COMMUNICATIONS MANHOLE (TMH)	
		- ELECTRIC MANHOLE (EMH)	
		- CATCH BASIN (CB)	
		- GAS VALVE/SERVICE	
		- WATER VALVE/SERVICE	
		- HYDRANT	
		- UTILITY POLE	
N/F		- NOW OR FORMERLY	
LSA		- LANDSCAPED AREA	
-----25-----		- GRADE	
x25.7		- SPOT GRADE	
— x — x — x — x —		- CHAIN-LINK/WIRE FENCE	
		- WROUGHT IRON DECORATIVE FENCE	

PROJECT TITLE & LOCATION:

PROPOSED PATIO
AT
2 ELIOT STREET
MILTON, MASS.

PLAN TITLE:

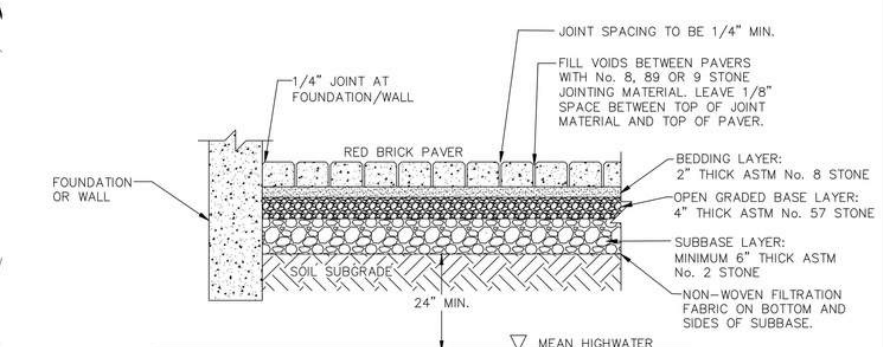
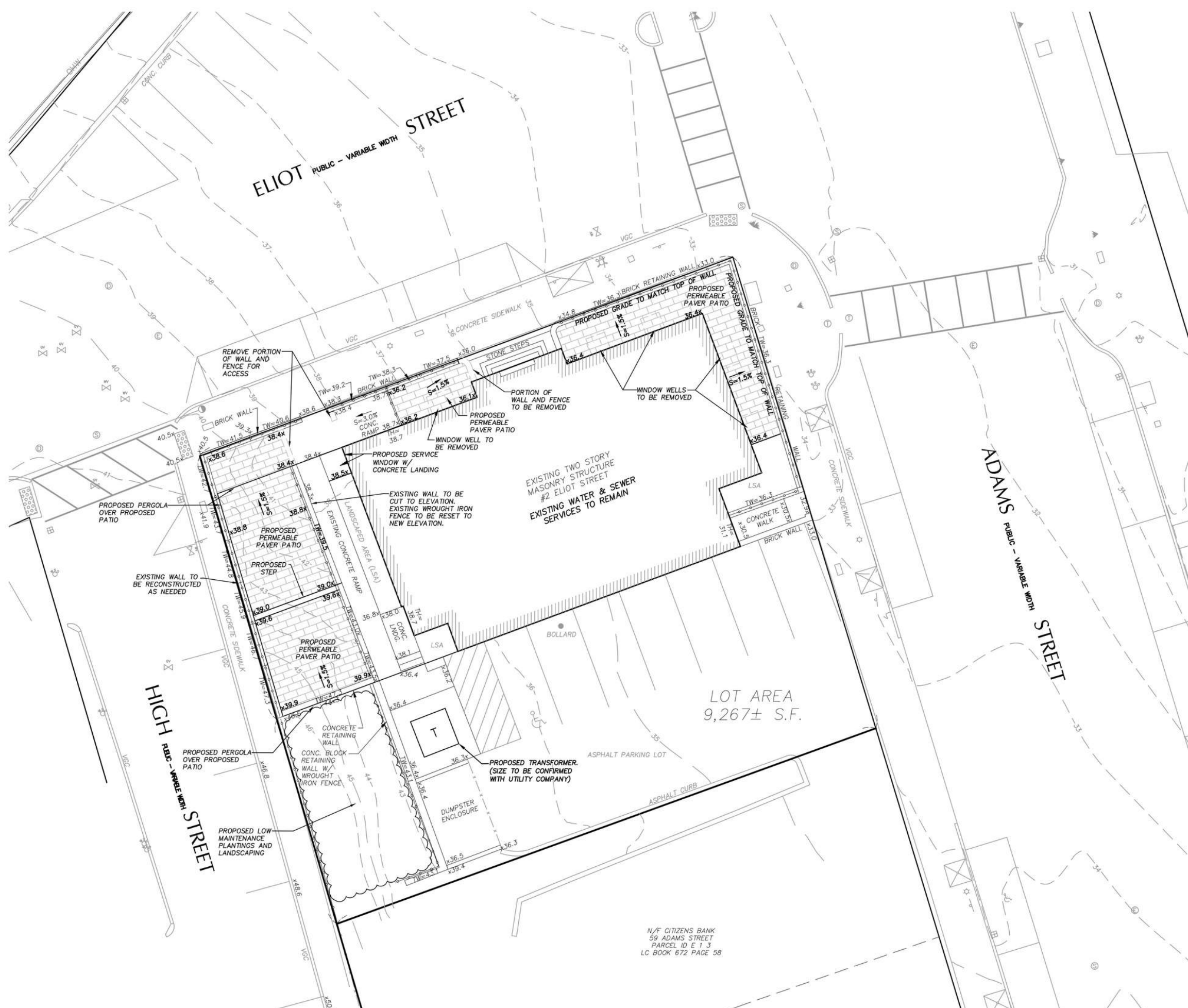
EXISTING CONDITIONS

PREPARED FOR:

JOSHUA D WILD
2 ELIOT STREET, LLC



SITE CONTEXT - PROPOSED CONDITIONS



- NOTE:
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 - AGGREGATE TO BE ADDED TO JOINTS IF MORE THAN 1/2\"/>

PERMEABLE PAVER DETAIL
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	- HAND HOLES FOR UTILITIES
	- LIGHT POLE
	- TRAFFIC LIGHT

DeCelle-Burke-Sala

& Associates, Inc.

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617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com

JAMES W. BURKE, P.E.

GENERAL NOTES:
1. LOCUS:
ASSESSORS ID: E 1 1
RECORD OWNER: 2 ELIOT STREET, LLC
DEED REFERENCE: CERTIFICATE #209866
PLAN REFERENCE: LC PLAN #256628
2. DATE OF SURVEY: SEPTEMBER, 2024
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PROJECT TITLE & LOCATION:

PROPOSED PATIO
AT
2 ELIOT STREET
MILTON, MASS.

PLAN TITLE:

PROPOSED CONDITIONS

PREPARED FOR:

JOSHUA D WILD
2 ELIOT STREET, LLC



EXTERIOR DOOR PROPOSAL

2 ELIOT ST



HISTORICAL BLACK DOOR WITH
GLASS PANELS



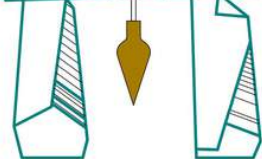
BRANDING ON GLASS TRANSOME
ABOVE DOORS



BLACK DOORS AND MULLIONS



EXISTING WHITE MOLDINGS TO
REMAIN SURROUNDING THE DOOR



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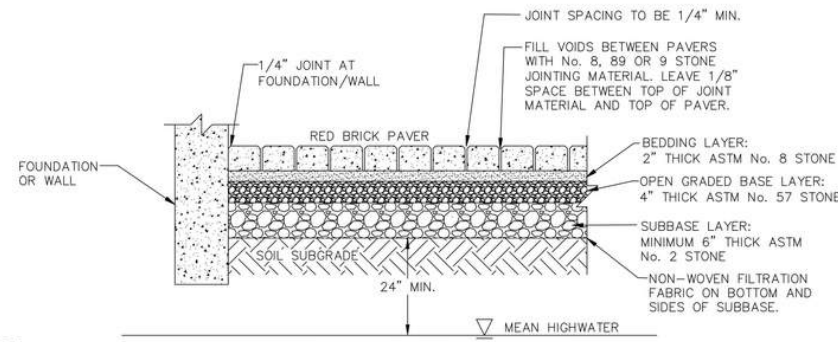
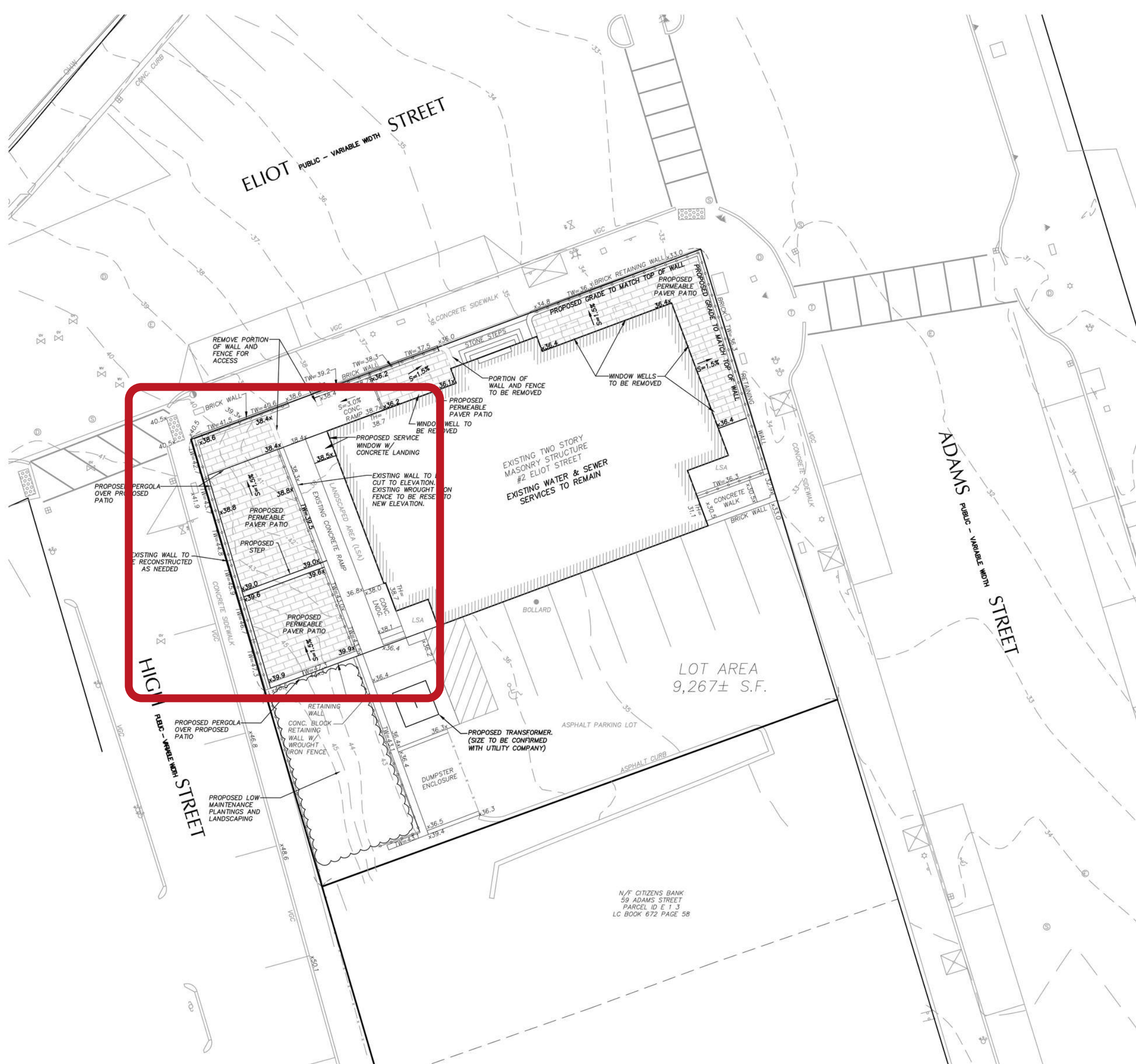
PLAN TITLE:

PROPOSED CONDITIONS

PREPARED FOR:

**JOSHUA D WILD
2 ELIOT STREET, LLC
174 DORCHESTER ST
BOSTON, MA 02127**

DATE: MARCH 5, 2025



NOTE:

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PERMEABLE PAVER DETAIL
NOT TO SCALE

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	- GRADE
	- SPOT GRADE
	- CHAIN-LINK/WIRE FENCE
	- WROUGHT IRON DECORATIVE FENCE
	- HAND HOLES FOR UTILITIES
	- LIGHT POLE
	- TRAFFIC LIGHT
	- SIGN
	- CAPE COD BERM
	- VERTICAL GRANITE CURB
	- SLOPED GRANITE CURB
	- THRESHOLD ELEVATION
	- TOP OF WALL ELEVATION
	- TREE WELL

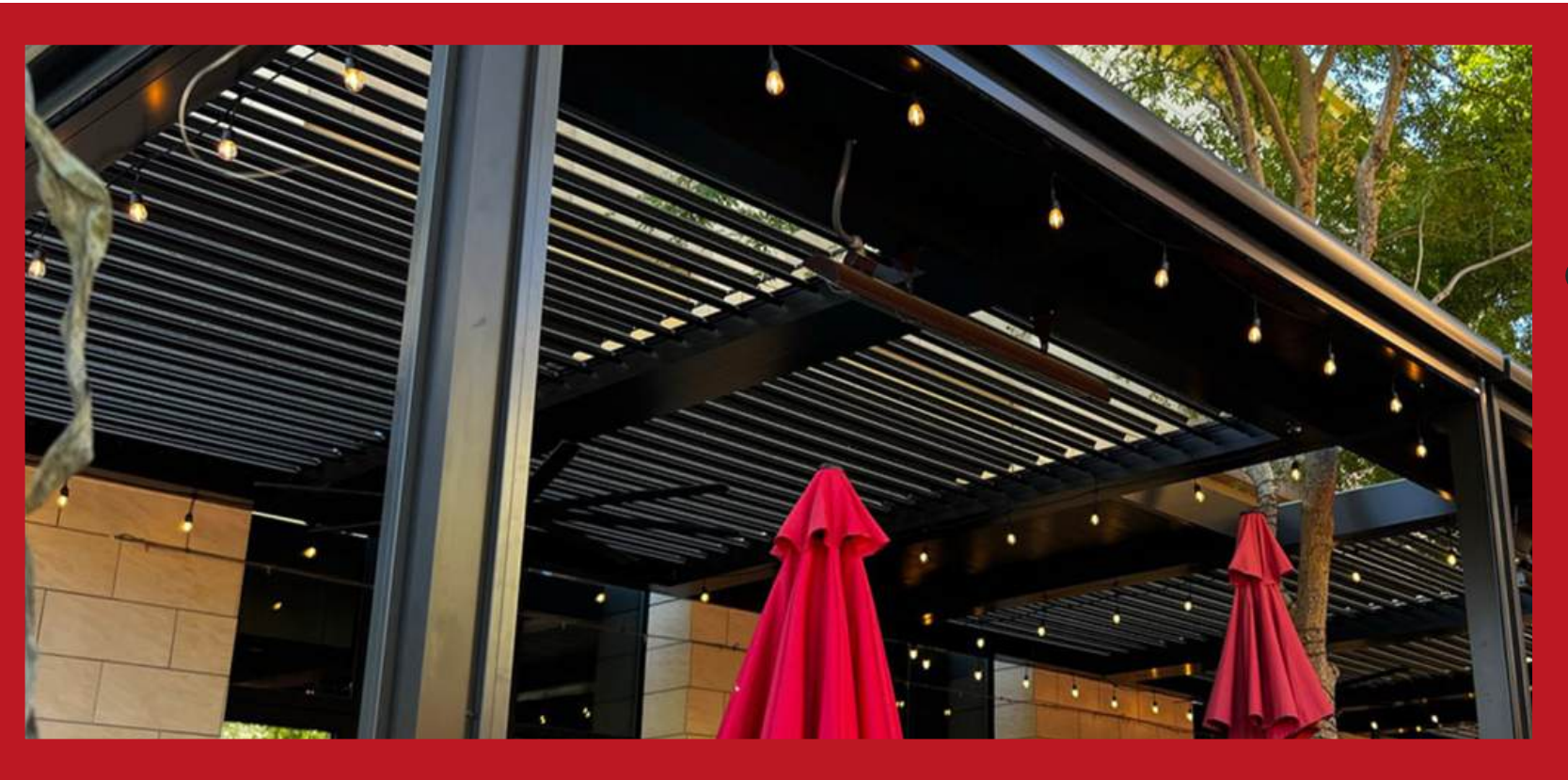
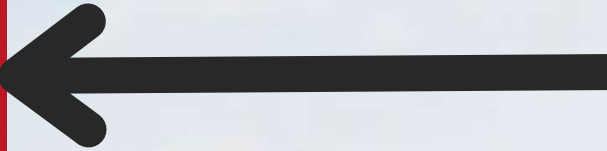
CURRENT OUTDOOR SEATING AREA

2 ELIOT ST





DESIGN INTENT



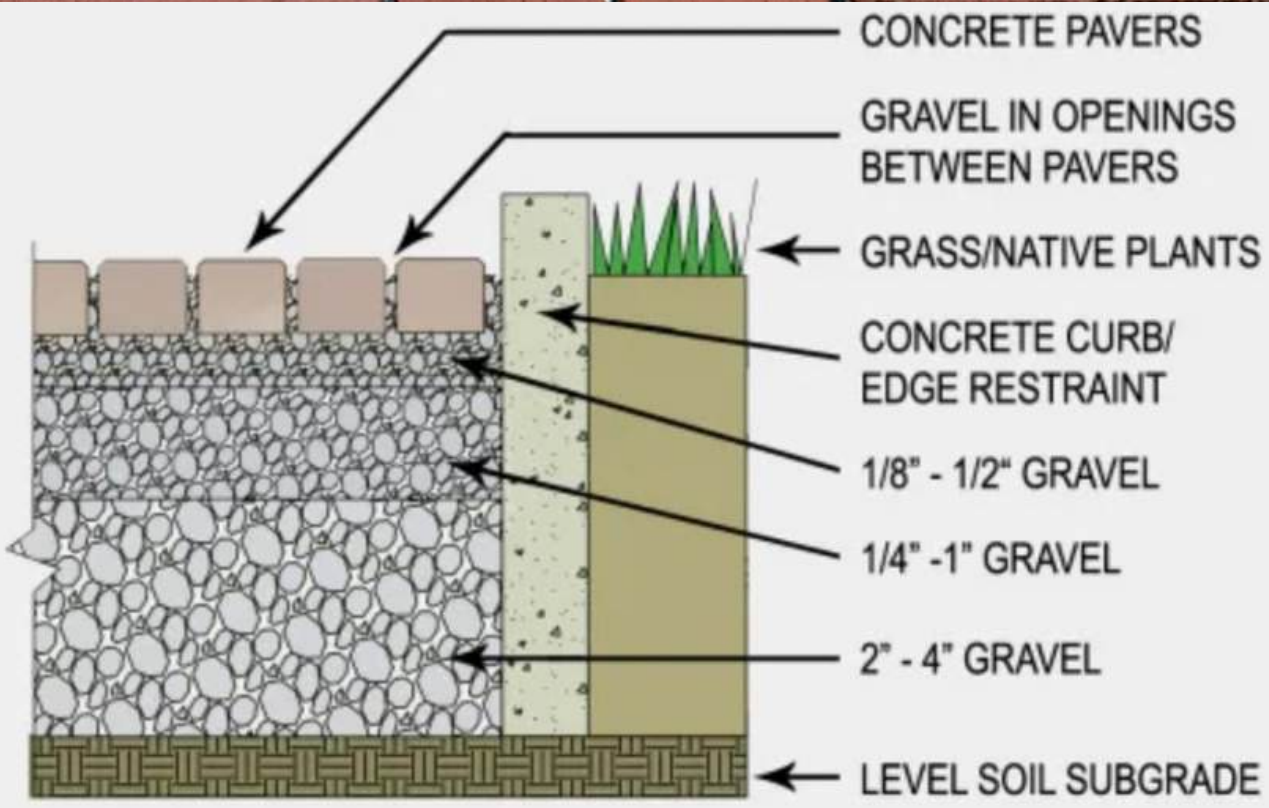
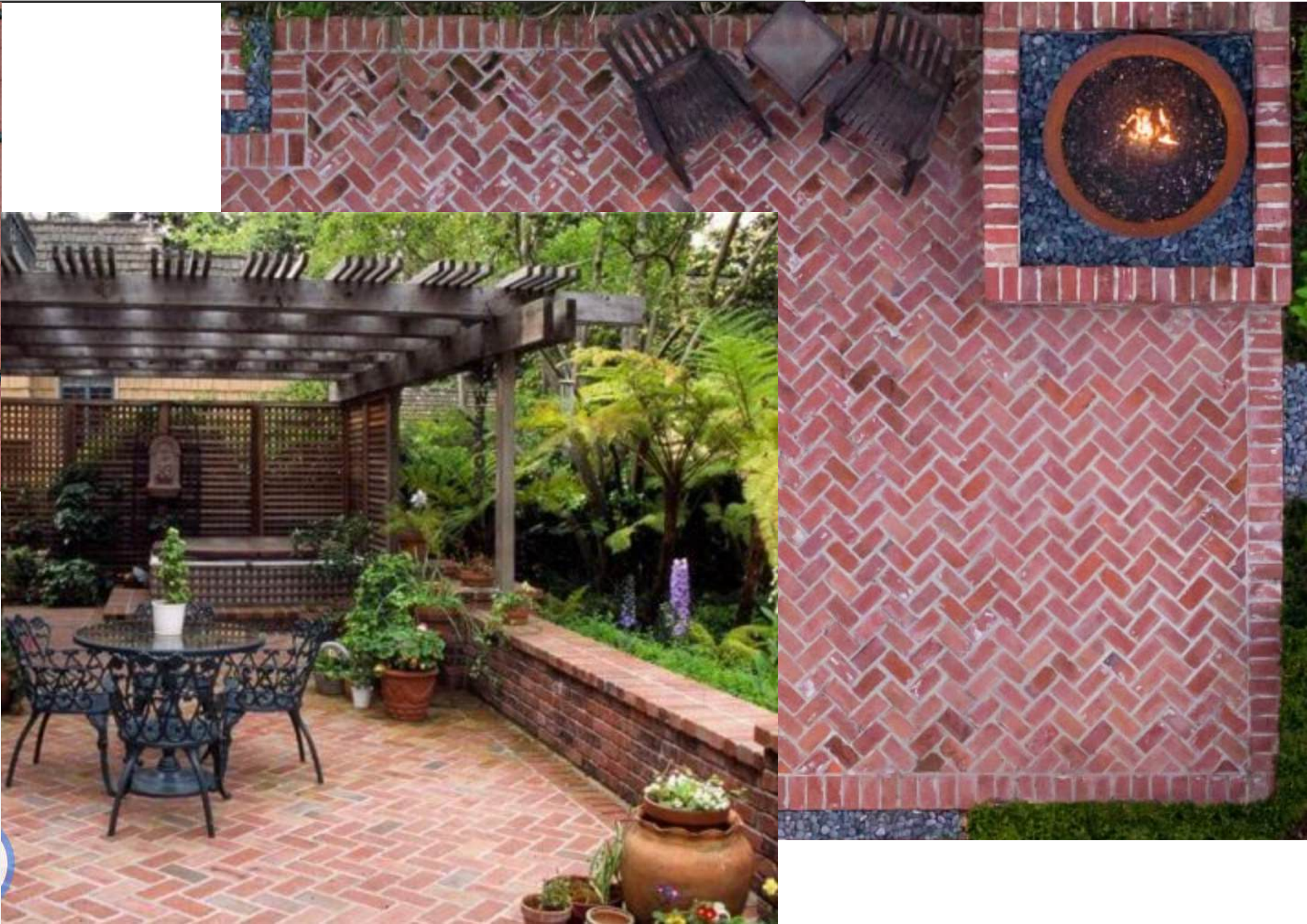
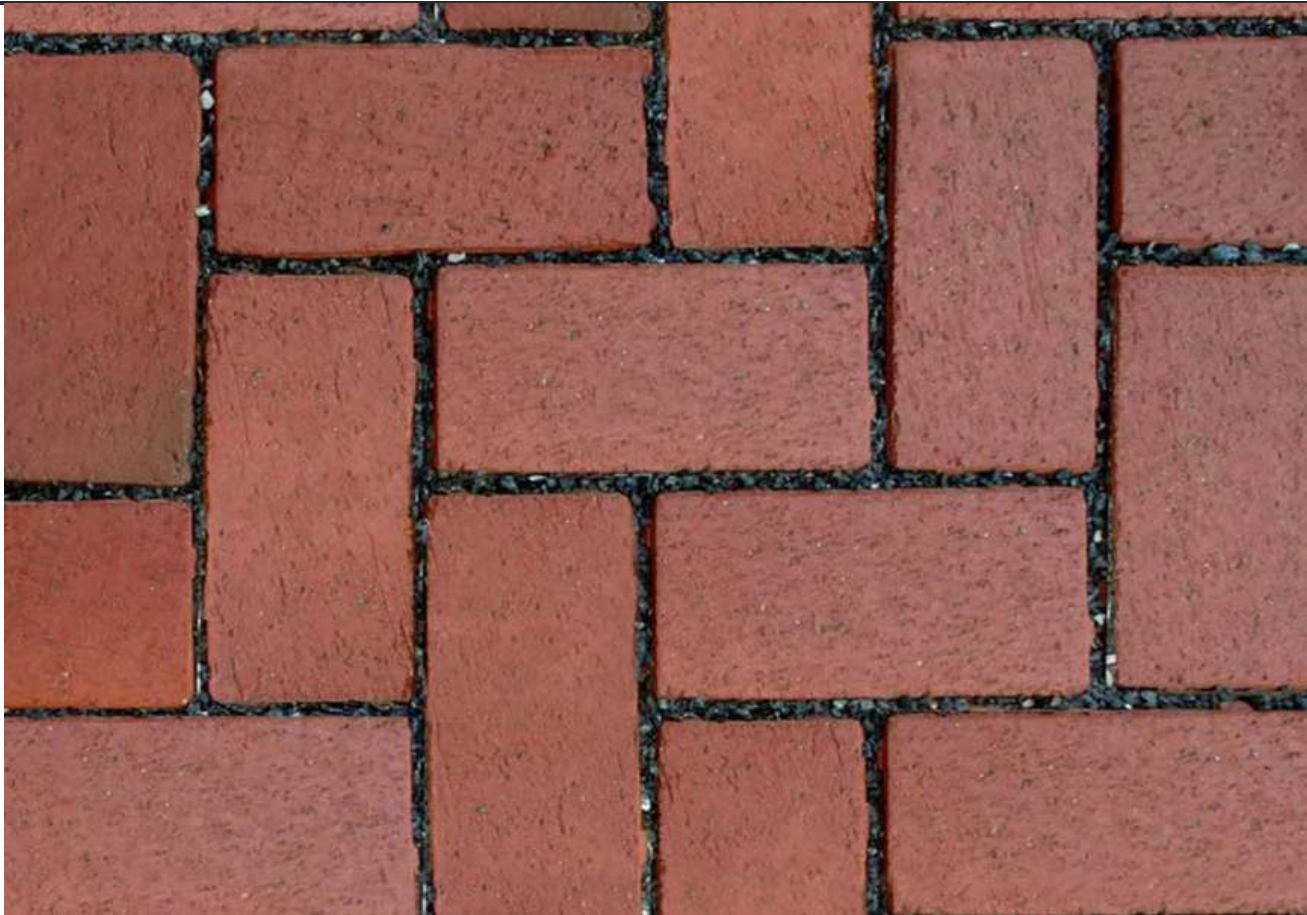
TRANSPARENT SCREENS





RED PERMEABLE PATIO PAVERS

2 ELIOT ST







INTEGRATED CONCRETE PLANTERS



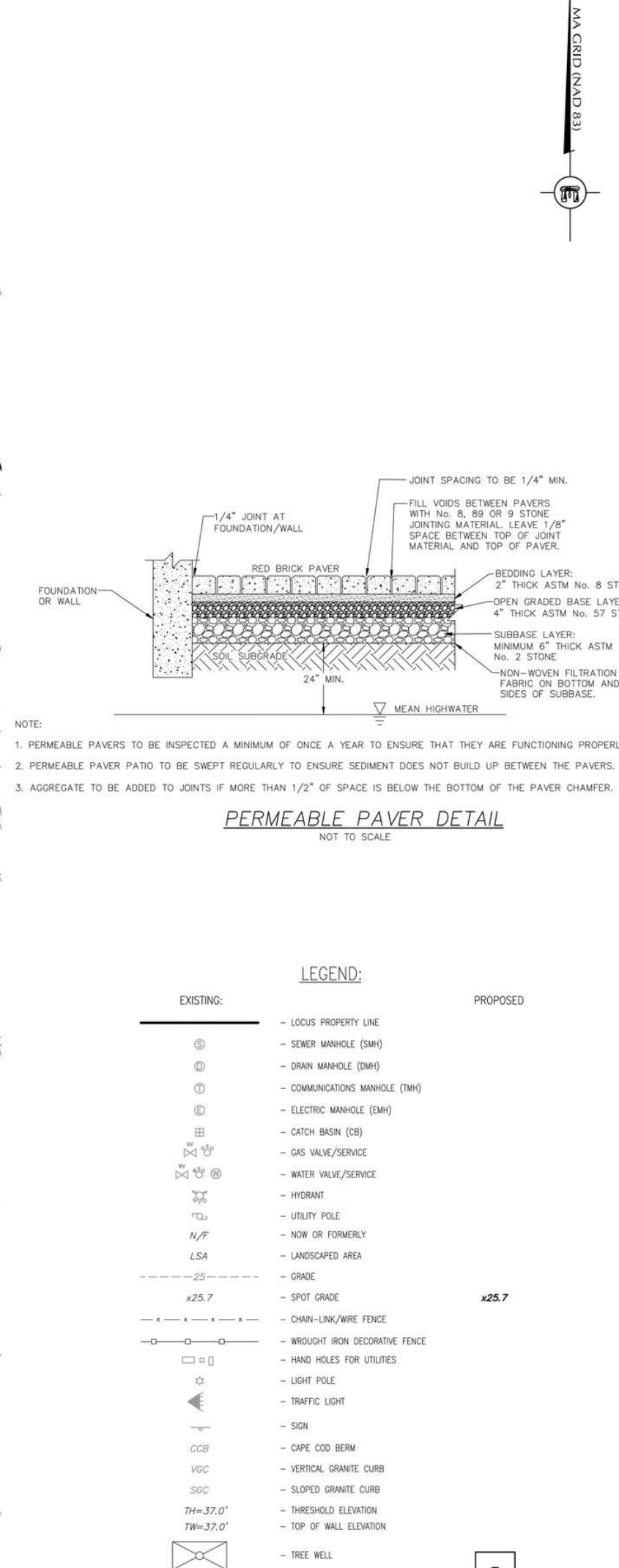
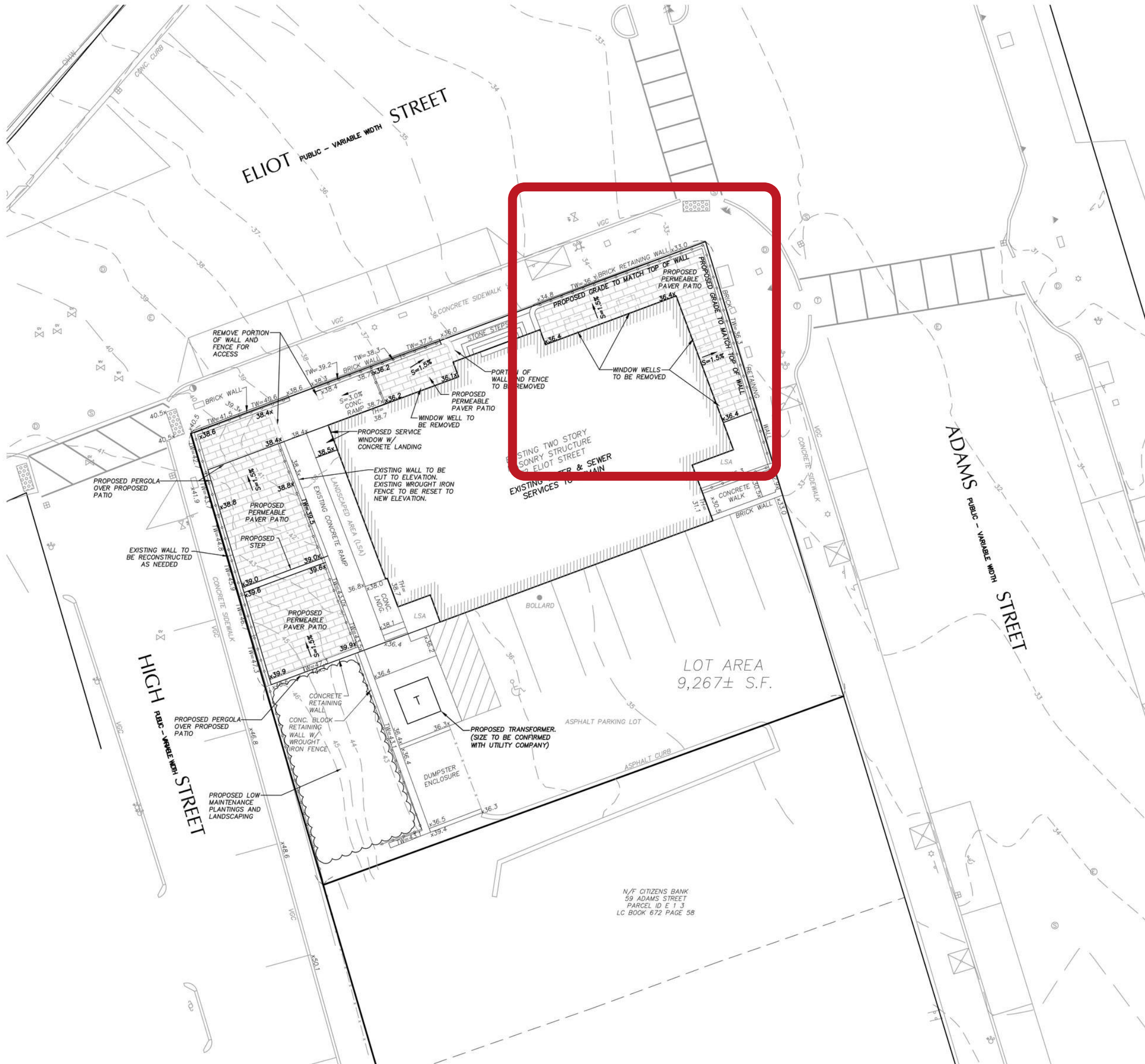
HANING PLANTS + VINES FROM PERGOLA



PERGOLA STRUCTURE



COPPER FLASHING/ROOF DETAILS



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PLAN TITLE:

PROPOSED CONDITIONS

PREPARED FOR:

**JOSHUA D WILD
2 ELIOT STREET, LLC
174 DORCHESTER ST
BOSTON, MA 02127**

DATE: MARCH 5, 2025

CURRENT INTERSECTION VIEW

2 ELIOT ST



PROPOSED INTERSECTION VIEW

2 ELIOT ST



PLANTERS AND PLANTINGS

2 ELIOT ST



PLANTING SCHEDULE FOR
2 PENCE MARKET
MILTON, MA

PLANT NAME	BOTANICAL NAME	TYPE	BLOOM TIME / FEATURE
	Inkberry Holly <i>Ilex glabra</i>	Evergreen shrub	Evergreen foliage
	Sweetfern <i>Comptonia peregrina</i>	Deciduous shrub	Fragrant foliage
	Eastern Red columbine <i>Aquilegia canadensis</i>	Perennial flower	Spring red/yellow blooms
	New England aster <i>Symphotothichium</i>	Perennial flower	Late summer/fall purple blooms
	Little Bluestem <i>Schizachyrium scoparium</i>	Ornamental grass	Silvery-blue foliage
	Switchgrass 'Heavy Metal' <i>Panicum virgatum</i>	Ornamental grass	Spring pink bloom
	Purple Coneflower <i>Echinacea purpurea</i>	Perennial flower	Spring pink/purple
	Creeping Phlox <i>Phlox subulata</i>	Groundcover	Spring pink/purple berries
	Lowbush blueberry <i>Vaccinium angustifolium</i>	Deciduous shrub	Year-round green, red berries
	Bearberry <i>Arcostaphylos uva-ursi</i>	Evergreen groundcover	Year-round green, red berries

PLANTING SCHEDULE

Design Focus: Native, seasonal interest, pollinator-friendly, low-maintenance

Design Notes:

- Winter interest: Inkberry, Bearberry, and Switchgrass provide structure and evergreen appeal in colder months.
- Pollinator support: Coneflowers, asters, and columbine offer seasonal blooms for bees and butterflies.
- Planter-friendly: All selected species are suitable for container planting, with adjustments for soil drainage and root space.
- Layering approach: Taller grasses and shrubs in the center or back, with cascading plants like creeping phlox and bearberry at the edges.



2 ELIOT ST

INTERIOR DESIGN PROPOSAL

STEEL & RYE x ELEVATED

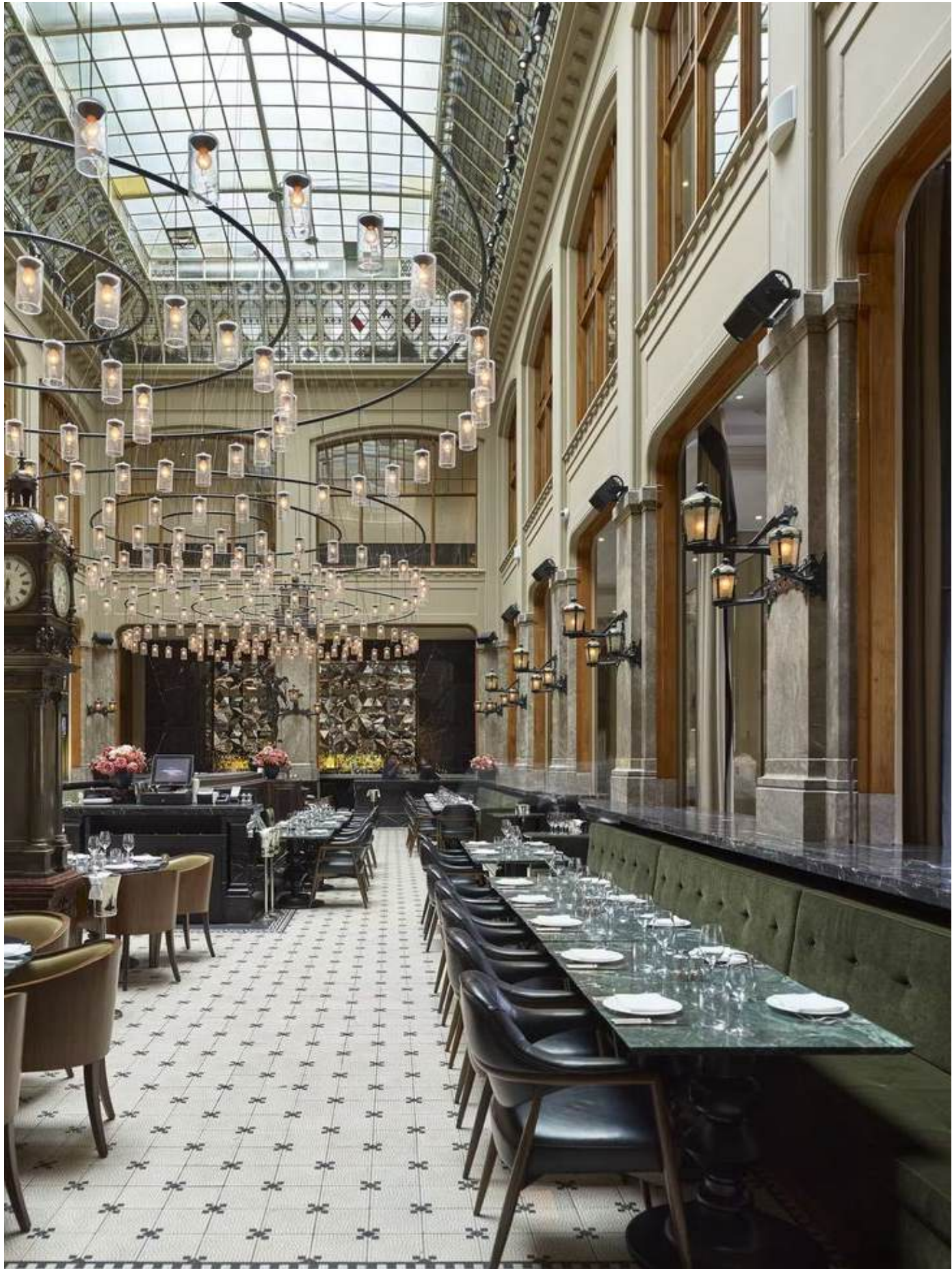
DESIGN THEME: REFURBISHED BANK

2 ELIOT ST



INSPIRATION IMAGES

2 ELIOT ST

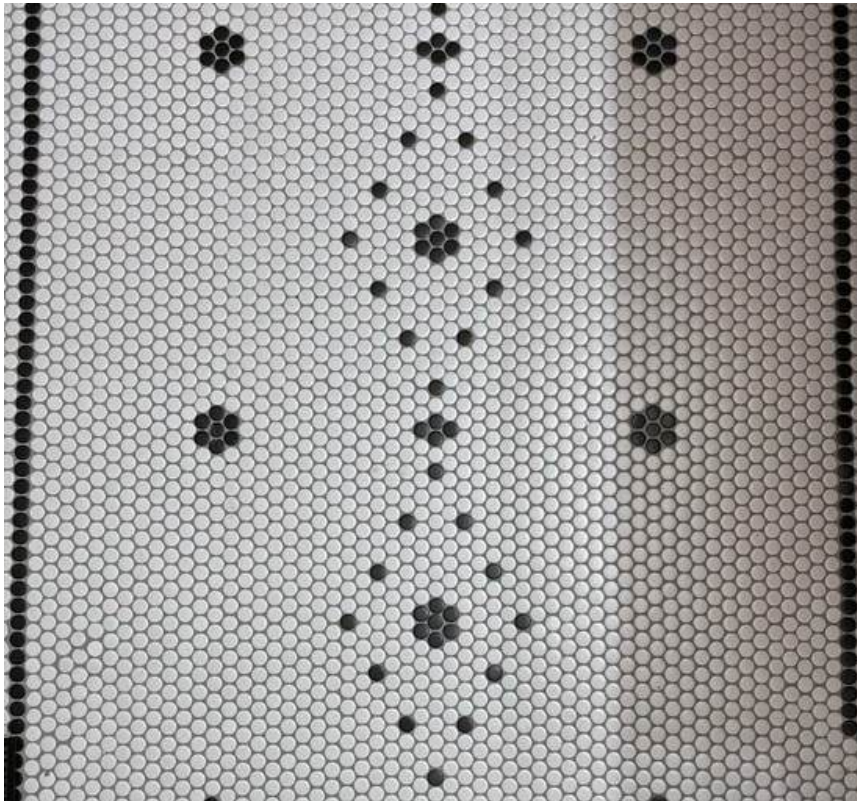


LIGHTING AND MATERIAL PROPOSAL

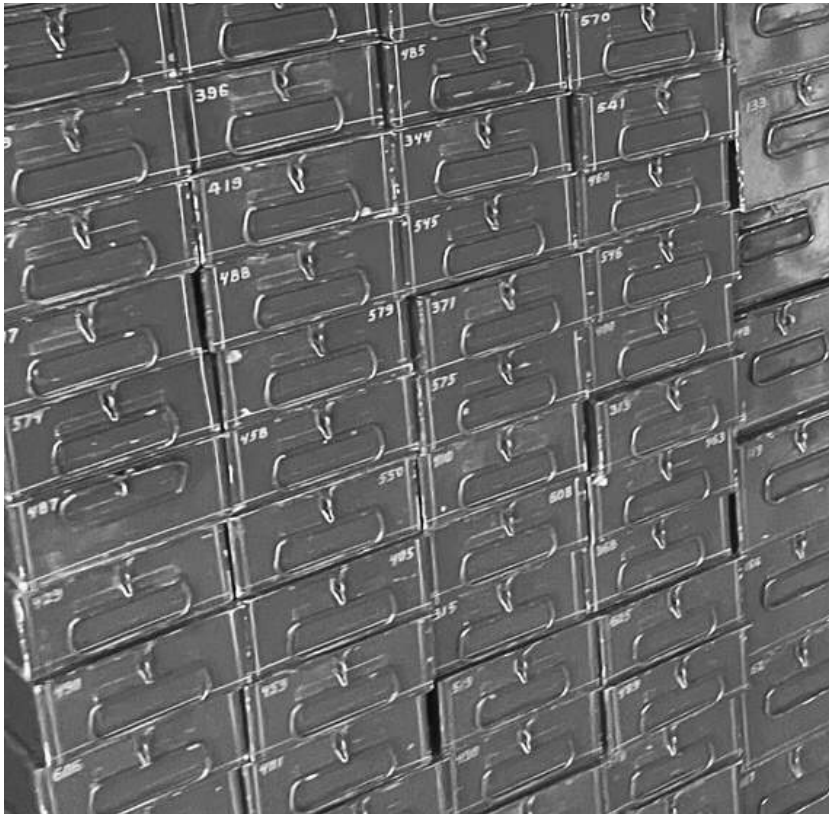
2 ELIOT ST



PAINT



TILE FLOORING



UPCYCLE DEPOSIT BOXES FOR SERVICE COUNTER



GREENERY



WOOD ACENTS AND BEAMS



MONT BLANC QUARTZITE LEATHER



CHANDELIER INSPIRATION



REFURBISH EXISTING CHANDELIER



PICTURE LIGHTS

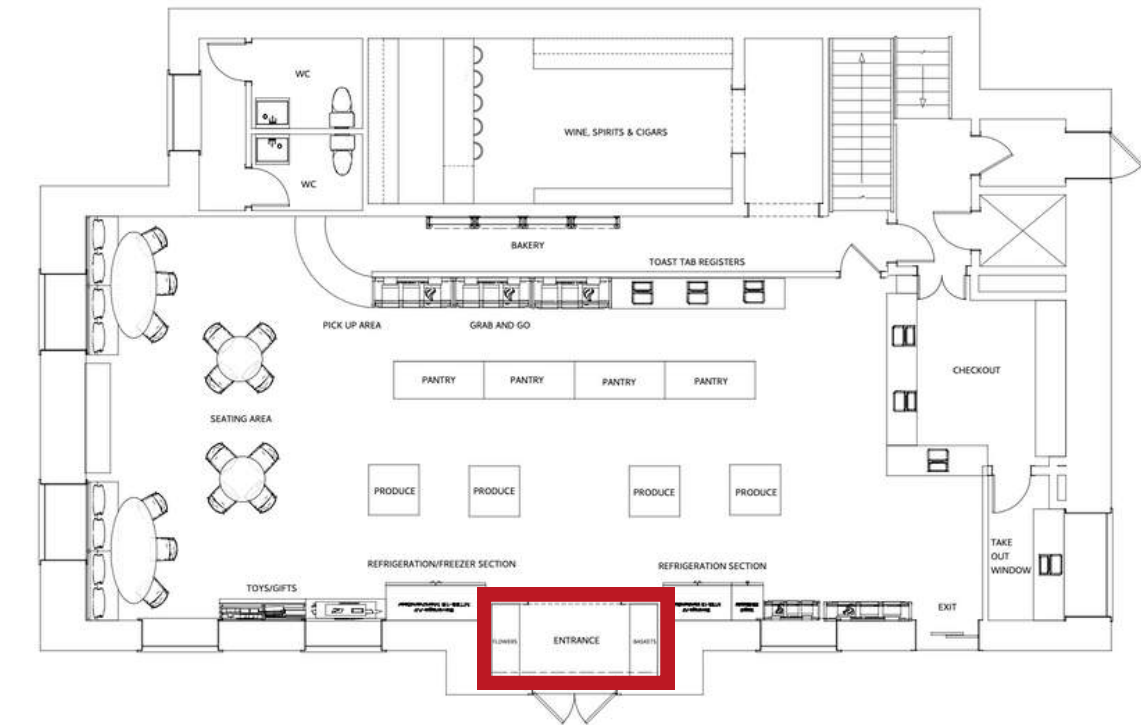


CHECKOUT COUNTER LIGHTING

ENTRY

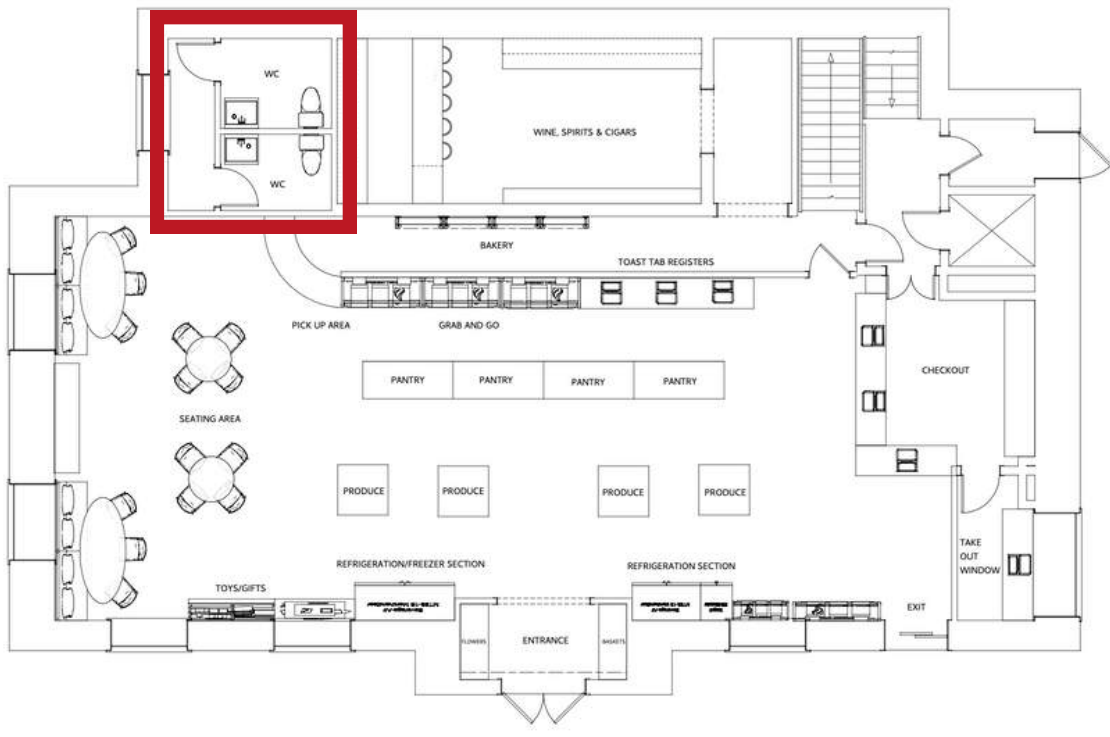
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MOSAIC TILE INLAY FLOOR AT ENTRY WITH
BORDER TO FRAME THE SPACE



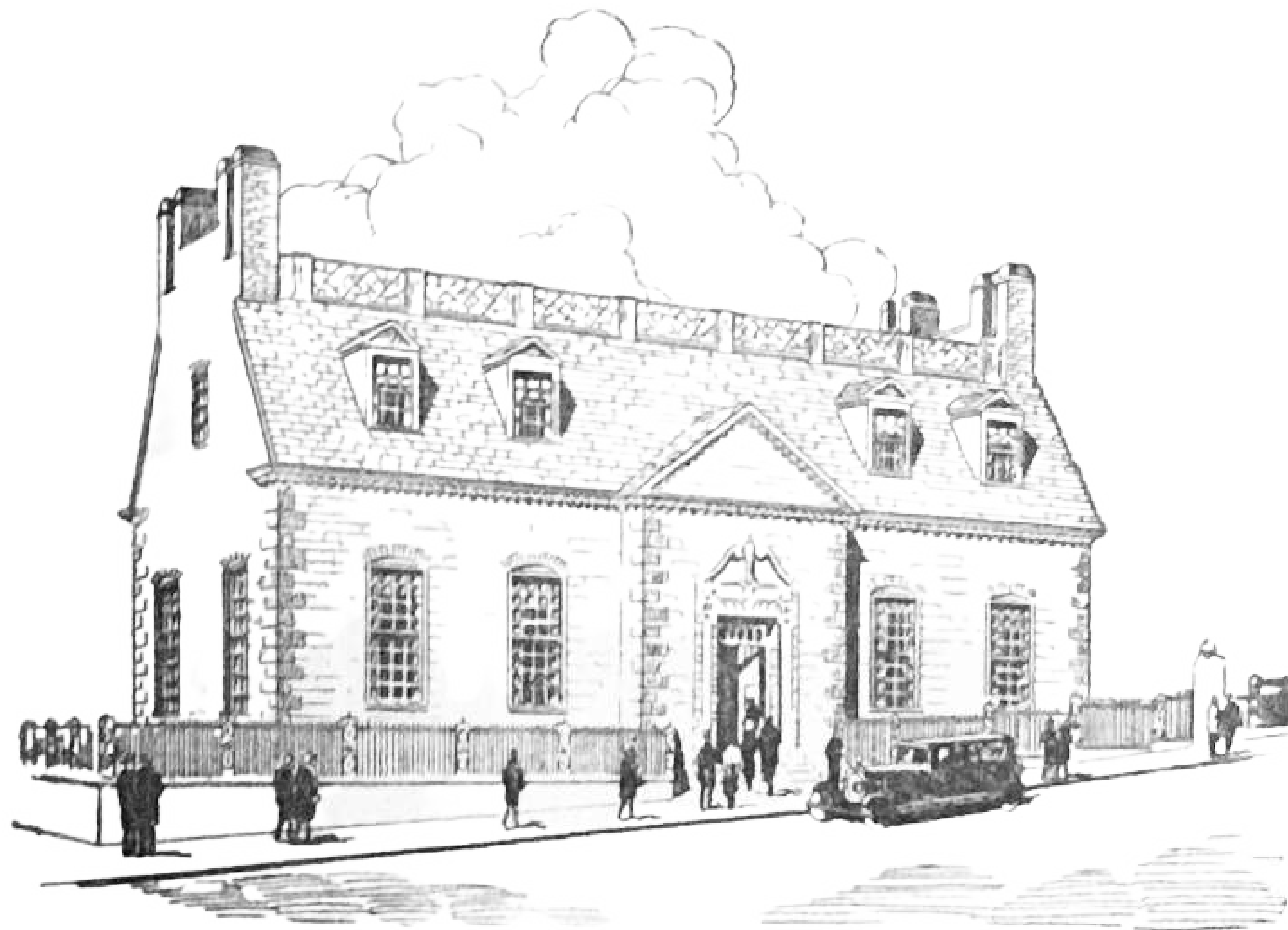
RESTROOMS

2 ELIOT ST



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Our goal is to restore and enhance the original design intent of 2 Eliot Street:
“to be reminiscent of the aristocratic New England structures built for public service in prosperous towns.”



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ELEVATED
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