



**Town of Milton Planning Board**  
**Town Hall Offices**  
**525 Canton Avenue**  
**Milton, MA 02186**  
**617-696-5732**

**FORM SPA**  
**APPLICATION FOR APPROVAL OF A**  
**PROPOSED SITE PLAN**

Date: 3/11/2025

To the Planning Board of the Town of Milton:

The undersigned, being the applicant, hereby submits for approval a PROPOSED SITE PLAN in accordance with Section VIII.D of the Rules & Regulations of the Milton Planning Board entitled:

2 Eliot Street Site Plan

Plans prepared by: Decelle, Burke, and Sala Associates, Inc. Dated: March 5, 2025

Parcel(s) Street Address: 2 Eliot Street Milton, MA 02186

The undersigned's title to said land is derived from: Quitclaim Deed

Milton Assessor's Map Number(s): E Parcel(s): E 11 Zoning District: B

Deed of Property Recorded in Norfolk County Registry Book number(s): 41281 page(s): 557

Registered in Norfolk County Registry District of the Land Court, Certificate of Title number(s): 209866

Number of Proposed Lots: 2 Total Acreage: 9267

Said land is current with regards to taxes and is free of encumbrances except for the following:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Owner: Joshua Wild

Applicant: Joshua Wild

Company: 2 Eliot Street, LLC

Company: 2 Eliot Street, LLC

Address: 174 Dorchester St

Address: 174 Dorchester St.

Boston, MA 02127

Boston, MA 02127

Phone: 978-771-9599

Phone: 978-771-9599

Signature of Owner: *Joshua Wild* Date: 3/11/2025

Signature of Applicant (or Agent): *Joshua Wild* Date: 3/11/2025

Reserved for the Office of the Town Clerk

# Application for Approval of a Proposed Site Plan

## Submitted Pursuant to the Site Plan Approval Process



### The Market at 2 Eliot Street - Site Plan Review

2 Eliot Street, Milton, MA 02186

Submitted to:

Town of Milton Planning Board  
525 Canton Avenue  
Milton, MA 02186

Submitted by:

Joshua Wild - Owner  
2 Eliot Street, LLC  
174 Dorchester St  
Boston, MA 02127  
Phone: 978-771-9599

Prepared by:

Decelle, Burke, and Sala Associates, Inc.  
Dated: March 5, 2025

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### Section 1 - Introduction

2 Eliot Street, LLC (the "Applicant") hereby requests Site Plan Approval for the proposed development of a retail food market at 2 Eliot Street, Milton, MA 02186 (the "Property"). This project is designed to activate and enhance the existing property while aligning with the Town of Milton's long-term planning goals, particularly as outlined in the Milton Village Mixed Use Overlay Master Plan. The proposal supports the town's vision of increased walkability, access to fresh and local foods, and economic revitalization in Milton Village.

The property is owned by 2 Eliot Street, LLC through a Quitclaim Deed and title as being derived from Book 41281, Page 557, Certificate of Title No. 209866, as recorded in the Norfolk County Registry of Deeds.

At The Market at 2 Eliot Street, we believe that food is more than just nourishment – it's also the key ingredient in bringing people together. Nestled in the heart of the community, our market is designed to bring families and friends together around delicious, wholesome, and thoughtfully sourced foods. We are more than just a store; we are a destination for those who value fresh, thoughtful ingredients and a commitment to living well.

### ***Thoughtfully Sourced, Crafted with Care***

We take pride in partnering with local farmers, artisans, and purveyors to bring you the freshest produce, farm-raised proteins, and hand-crafted pantry staples. Every item on our shelves is carefully selected to ensure it meets our high standards for quality, sustainability, and nutrition.

### ***A Marketplace for Every Lifestyle***

Whether you're looking for a quick, fresh meal on-the-go or stocking up on clean, whole-food essentials, The Market is your go-to spot for:

- Farm-Fresh Produce – Crisp, seasonal fruits and vegetables picked at peak ripeness.
- Artisan Bakery & Whole Grains – Freshly baked breads and minimally processed grains for healthy meal planning.
- Natural Proteins – Pasture raised beef, pork and poultry.
- Dairy & Dairy-Free Selections – Organic milk, artisanal cheeses, and plant-based alternatives for every preference.
- Grab-and-Go Lighter Fare – Nutrient-dense salads, grain bowls, yogurt parfaits and overnight oats.
- Cafe Drinks - Cold-Pressed Juices, fruit & vegetable smoothies, locally roasted coffees and fine teas.
- Guilt-Free Snacks – Mindfully sourced, minimally-processed treats that support an active lifestyle.
- Sustainable Living Products – Eco-friendly packaging, refill stations, and responsible sourcing to reduce waste.

### ***A Family-Friendly Shopping Experience***

From the moment you step into The Market, you'll feel at home in our warm and inviting space. Designed with our community and its many busy families in mind. Featuring family-focused meal solutions, kid-friendly smoothies, breakfast, lunch and snack options, and a variety of high quality products from local producers and makers. The Market will provide a place to grab a few groceries, the makings for a family dinner and a quick healthy snack, all during a stop in between games on a Saturday morning.

### ***More Than a Market***

We are committed to creating a community space with an ethos of thoughtfully sourced and prepared foods. Whether you're looking for a quick stop after your yoga class or a break from your day with a fresh snack or even just a quiet cup of coffee in our cozy cafe, the market is perfect for all of that and more. We are today's General Store, a place to see a friend or meet a new neighbor, to discover a new dish or gain inspiration for the next meal you'll cook at home. A place... well, a place created for our community.

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## **Section 2 - Project Description**

### **2.1 Site, Current Use, and Open Space**

The project site is located in a Business zoning district suitable for its intended retail use. The Property has historically been used as a retail bank location but has remained vacant

since 2020. The proposed project will revitalize the space by transforming it into a quick-service market that prioritizes fresh, unprocessed foods.

The redevelopment efforts include:

- Maintaining the historic character of the building while enhancing functionality.
- Adding patio seating to promote community engagement and outdoor dining.
- Preserving and enhancing green space around the site to support sustainability.

The project proposes to activate the site through changing the retail concept to a quick service market, making exterior improvements through paint and landscape, and by adding exterior patio seating. All these improvements have been thoughtfully incorporated to preserve the historic character of the building but make it functional for today's usage.

## **2.2 Concept and Vision**

This project aligns with the town's goals by providing greater access to healthy food options in a vibrant, family-friendly environment. The Market at 2 Eliot Street is not just a store; it is an opportunity to support local farmers, encourage an active lifestyle, and foster community interaction.

The market will feature:

- A curated selection of locally sourced foods, including fresh produce, organic products, and artisanal goods.
- A quick-service café offering fresh meals and snacks prepared with high-quality ingredients.
- A welcoming, family-oriented environment that encourages community interaction and supports a healthy lifestyle.
- Sustainable design elements, including eco-friendly packaging, energy-efficient operations, and waste reduction initiatives.

## **2.3 Proposed Development Details**

The project consists of:

- Exterior improvements, including fresh paint, new signage, and patio seating.
- Upgraded lighting and security measures for safety and accessibility.
- Site access enhancements to streamline take-out services and pedestrian movement.
- Implementation of a waste reduction strategy, including composting bins and partnerships with local food recovery programs.

## **2.4 Parking and Traffic**

The project preserves the existing parking layout, which consists of seven on-site spaces, supplemented by public street parking in Milton Village. Our analysis suggests that the expected customer flow aligns with prior bank usage, with no anticipated congestion.

To further enhance accessibility:

- Bicycle racks will be installed to encourage cycling.
- Delivery hours will be strategically scheduled to avoid peak business times.
- Sidewalk enhancements and designated pedestrian paths will improve walkability.

The project includes adequate parking spaces, including a designated accessible parking spot. The prior bank use operated with 7 on-site parking spaces as outlined in the Site Plan attached as Exhibit A.

All traffic patterns will remain the same and cars will enter through the existing curb cut off Adams Street. Many patrons will choose to use the transient street parking provided in Milton Village. Deliveries will use the parking lot during strict hours and provide loading and unloading through the Adams Street side door to the basement of the Property.

There will be two front entrances off Eliot Street with the reactivation of the central main entrance being the focal point of entry.

## **2.5 Utilities and Infrastructure**

The site is currently served by adequate municipal water and sewer services. New improvements to include, but not be limited to:

1. New electrical service with an on-site pad mounted transformer to accommodate the new electrical demand.
2. New gas service to accommodate the increased gas demand.
3. Stormwater management measures will be reviewed to ensure compliance with town regulations, though no new impervious surfaces will be added.

## **2.6 Lighting and Landscaping**

- Low-energy LED lighting will be used to comply with Dark Sky regulations, ensuring minimal light pollution while providing necessary illumination for safety and security.
- Native plants and additional green space will be incorporated to enhance the aesthetic and ecological value of the site.
- Permeable pavement options for patio areas will be used to improve stormwater absorption.

## **2.7 Construction Management and Phasing**

Construction will be carried out in phases to minimize disruptions to the surrounding area. A Construction Management Plan will be implemented to address noise, dust, and traffic management. The construction will follow a structured 6-8 month phased timeline:

1. Demolition & site preparation (Month 1-2)
2. Interior renovations & mechanical installations (Months 2-3)
3. Exterior improvements (landscaping, lighting, signage) (Months 4-5)
4. Final finishing, inspections, and opening (Month 6-8)

An owner's representative and contractor will be available to provide updates and address concerns throughout construction.

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## **Section 3 - Project Benefits and Impacts**

### **3.1 Benefits**

- Increased access to healthy, locally sourced foods in a convenient setting.
- Improved site aesthetics through landscaping and architectural enhancements.
- Enhances walkability and pedestrian engagement
- Ground floor retail activation in accordance with the Town's Milton Village Mixed Use Overlay Master Plan.
- The dedication and preservation of Open Space and additional outdoor seating options.
- Economic benefits through increased property value, new commercial tax revenue sources and local business support.
- Generates local employment opportunities
- Support for local farmers and food suppliers, strengthening the regional food economy.

### **3.2 Potential Impacts and Mitigation**

- Traffic concerns addressed by a combination of on-site and public street parking.
- Noise and construction disruptions are minimized through structured phasing and communication with residents.
- Alignment of operations through the use of a local contractor, design team, business operator, and Property owner with care for the community it serves.

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#### **Section 4 – Conclusion**

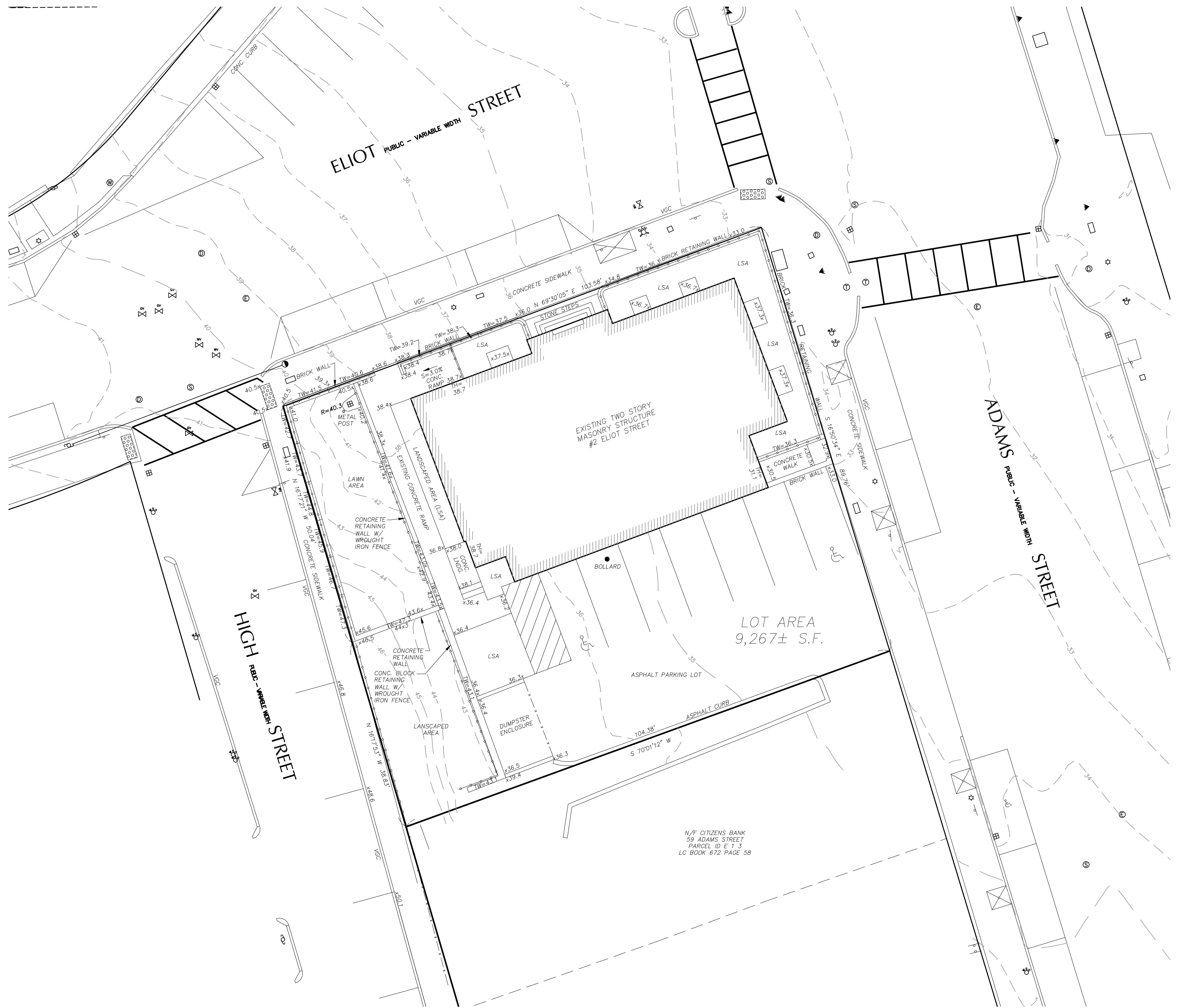
The Market at 2 Eliot Street is designed to revitalize an underutilized space while providing essential wholesome food options. By supporting local farmers, encouraging sustainability, and aligning with the town's strategic vision, this project will serve as a model for future retail developments in Milton.

The Applicant looks forward to continued collaboration with the Planning Board to ensure a smooth approval process and successful implementation.

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#### **Section 5 - Attachments**

1. Site Plans (Prepared by Decelle, Burke, and Sala Associates, Inc.)
2. Architectural Plans



GENERAL NOTES:

1. LOCUS: ASSESSORS ID: E 1 1  
RECORD OWNER: 2 ELIOT STREET, LLC  
DEED REFERENCE: CERTIFICATE #209666  
BOOK 41281 PAGE 557  
PLAN REFERENCE: LC PLAN #26628
2. DATE OF SURVEY: SEPTEMBER, 2024
3. VERTICAL DATUM: NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON DATUM)
4. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
5. PARCEL IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM 25021C004AF, EFFECTIVE 06/09/2014, AS DELINEATED ON FEMA FLOOD MAP SERVICE CENTER ONLINE PORTAL.
6. PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

PROJECT TITLE & LOCATION:  
PROPOSED PATIO  
AT  
2 ELIOT STREET  
MILTON, MASS.

PLAN TITLE:  
EXISTING CONDITIONS

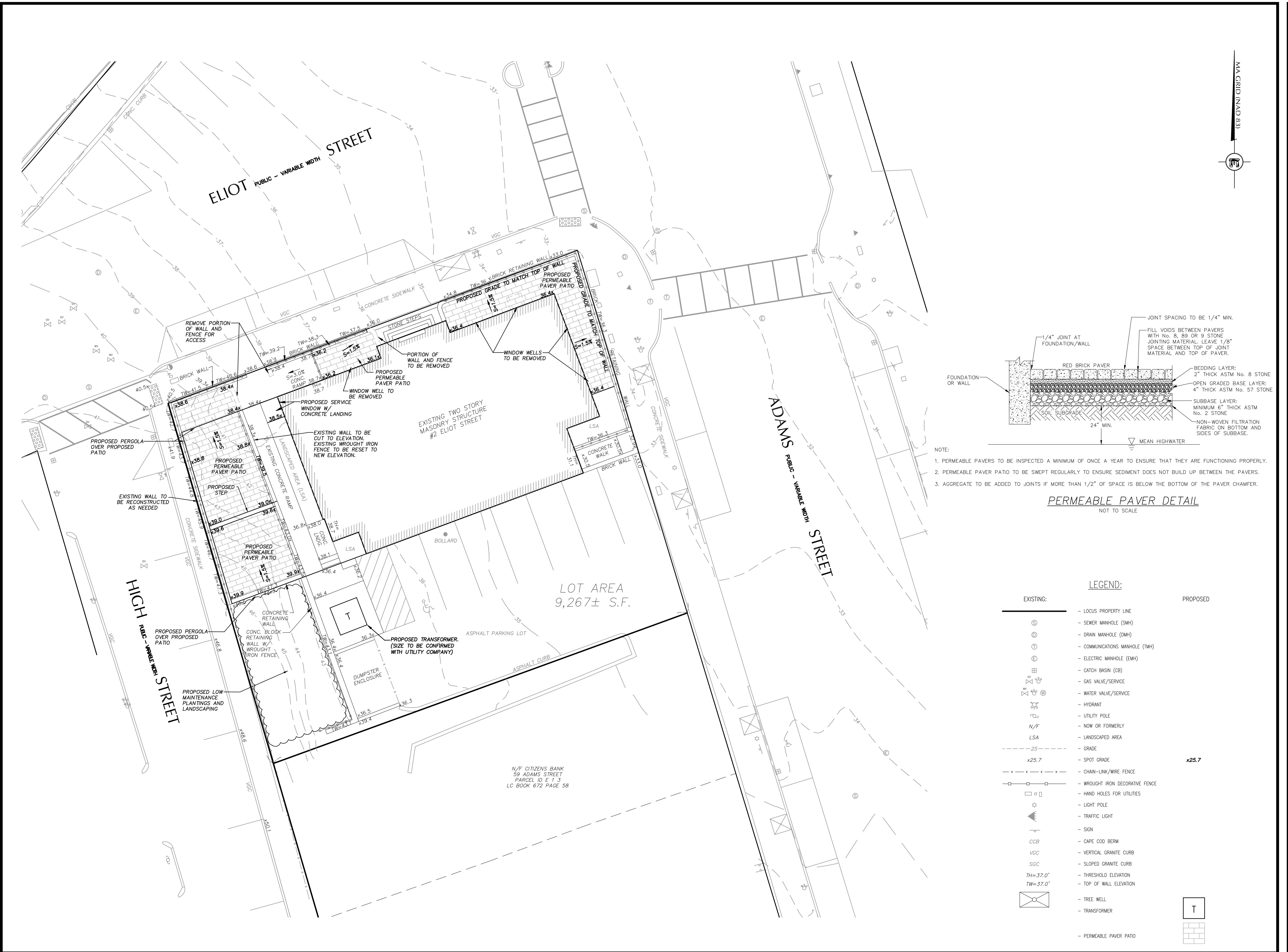
PREPARED FOR:  
JOSHUA D WILD  
2 ELIOT STREET, LLC  
174 DORCHESTER ST  
BOSTON, MA 02127

DATE: MARCH 5, 2025

JOB NUMBER: 24.048 SHEET 1 OF 2

10 5 0 10 20

SCALE: 1" = 10'



#### NOTES:

S ID: E 1 1  
OWNER: 2 ELIOT STREET, LLC  
REFERENCE: CERTIFICATE #209866  
REFERENCE: LC PLAN #25662B

## F SURVEY: SEPTIEMB

C. UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE

ON AND RECORD INFORMATION AND SHOULD BE CONSIDERED  
ATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY  
AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH  
AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE  
UTILITY SYSTEM IN SERVICE.

SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE 32, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND CE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UND UTILITIES WERE TAKEN FROM RECORD PLANS. THE OR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND ES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM 64F, EFFECTIVE 06/09/2014. AS DELINEATED ON FEMA FLOOD CENTER ONLINE PORTAL.

IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING  
MAY 7, 2018.

10.1007/s00332-010-9000-0

# PERMEABLE PAVER DETAIL

NOT TO SCALE

#### LEGEND:

EXISTING:	PROPOSED
(S)	- LOCUS PROPERTY LINE
(D)	- SEWER MANHOLE (SMH)
(T)	- DRAIN MANHOLE (DMH)
(E)	- COMMUNICATIONS MANHOLE (TMH)
(CB)	- ELECTRIC MANHOLE (EMH)
(GV)	- CATCH BASIN (CB)
(WV)	- GAS VALVE/SERVICE
(W)	- WATER VALVE/SERVICE
(H)	- HYDRANT
(UP)	- UTILITY POLE
N/F	- NOW OR FORMERLY
LSA	- LANDSCAPED AREA
-----25-----	- GRADE
x25.7	- SPOT GRADE
— x — x — x — x —	- CHAIN-LINK/WIRE FENCE
— □ — □ — □ —	- WROUGHT IRON DECORATIVE FENCE
□ □ □	- HAND HOLES FOR UTILITIES
(L)	- LIGHT POLE
(TL)	- TRAFFIC LIGHT
(S)	- SIGN
CCB	- CAPE COD BERM
VGC	- VERTICAL GRANITE CURB
SGC	- SLOPED GRANITE CURB
TH=37.0'	- THRESHOLD ELEVATION
TW=37.0'	- TOP OF WALL ELEVATION
	- TREE WELL
	- TRANSFORMER
	- PERMEABLE PAVER PATIO

PROJECT TITLE & LOCATION:

## PROPOSED CONDITIONS

PREPARED FOR:

JOSHUA D WILD  
2 ELIOT STREET, LLC  
174 DORCHESTER ST  
BOSTON MA 02127

—  
—  
—

March 5, 2025

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Page 10 of 10

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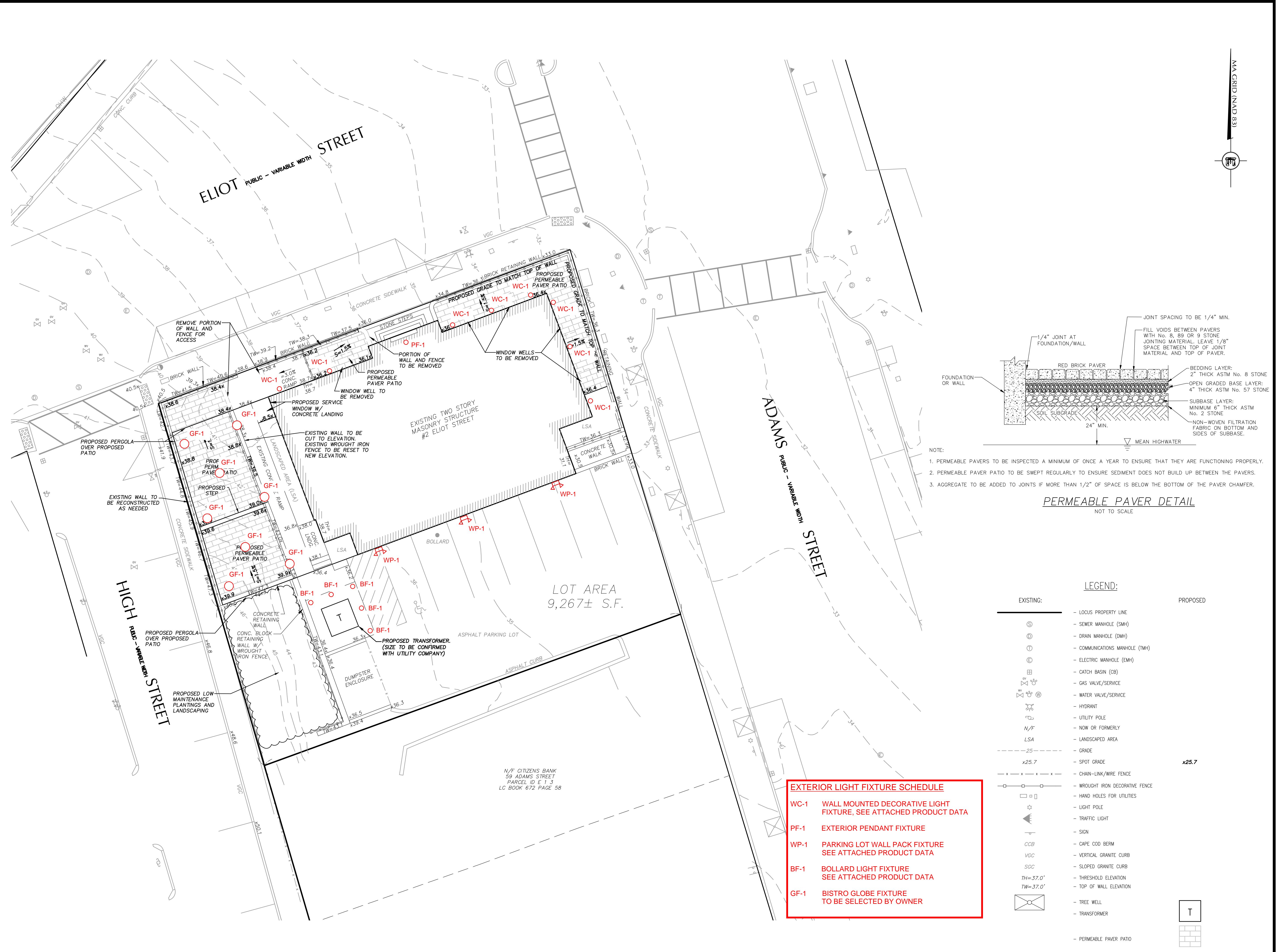
Digitized by srujanika@gmail.com

JOB NUMBER: 24-648

ITEM NUMBER: 24.048 SHEET 2 OF 2


SCALE: 1" = 10'

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**DeCelle-Burke-Sala & Associates, Inc.**  
1266 Furnace Brook Parkway #401  
Quincy, MA 02169  
617-405-5100 (o) 617-405-5101 (f)  
[www.decelle-burke-sala.com](http://www.decelle-burke-sala.com)

**GENERAL NOTES:**

1. LOCUS:  
ASSESSORS ID: E 1 1  
RECORD OWNER: 2 ELIOT STREET, LLC  
DEED REFERENCE: CERTIFICATE #209866  
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5. PARCEL IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM 250210064F, EFFECTIVE 06/09/2014, AS DELINEATED ON FEMA FLOOD MAP SERVICE CENTER ONLINE PORTAL.
6. PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

**PERMEABLE PAVER DETAIL**  
NOT TO SCALE

**NOTE:**

1. PERMEABLE PAVERS TO BE INSPECTED A MINIMUM OF ONCE A YEAR TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY.
2. PERMEABLE PAVER PATIO TO BE SWEEP REGULARLY TO ENSURE SEDIMENT DOES NOT BUILD UP BETWEEN THE PAVERS.
3. AGGREGATE TO BE ADDED TO JOINTS IF MORE THAN 1/2" OF SPACE IS BELOW THE BOTTOM OF THE PAVER CHAMFER.

**LEGEND:**

<b>EXISTING:</b>	<b>PROPOSED:</b>
Locus Property Line SEWER MANHOLE (SMH) DRAIN MANHOLE (DMH) COMMUNICATIONS MANHOLE (TMH) ELECTRIC MANHOLE (EMH) CATCH BASIN (CB) GAS VALVE/SERVICE WATER VALVE/SERVICE HYDRANT UTILITY POLE NOW OR FORMERLY LANDSCAPED AREA GRADE SPOT GRADE CHAIN-LINK/WIRE FENCE WROUGHT IRON DECORATIVE FENCE HAND HOLES FOR UTILITIES LIGHT POLE TRAFFIC LIGHT SIGN CAPE COD BERM VERTICAL GRANITE CURB SLOPED GRANITE CURB THRESHOLD ELEVATION TOP OF WALL ELEVATION TREE WELL TRANSFORMER	
VGC LSA T	

**PROJECT TITLE & LOCATION:**

**PROPOSED PATIO AT 2 ELIOT STREET MILTON, MASS.**

**PLAN TITLE:**

**PROPOSED CONDITIONS**

**PREPARED FOR:**

**JOSHUA D WILD**  
2 ELIOT STREET, LLC  
174 DORCHESTER ST  
BOSTON, MA 02127

**DATE:** MARCH 5, 2025

**JOB NUMBER:** 24.048      **SCALE:** 1" = 10'  
10 5 0 10 20

**SHEET 2 OF 2**



WP-1

**SELECTABLE SLIM WALL PACK**

3000K | 4000K | 5000K  
CCT SELECTABLE  
WATTAGE SELECTABLE

**PRODUCT DESCRIPTION**

The selectable & adjustable architectural Slim Wall Packs, featured by wattage and CCT selectable. Injection die-cast aluminum housing. Tempered glass lens. Installation made simple and easy with a hinged junction box. Ideal for landscape, wall/surface, low level pathway, apartment buildings, schools, multi-use facilities.

**FEATURES**

- Architectural low profile design
- 0-90 degree angle adjustable
- 3000K, 4000K and 5000K selectable
- Wattage selectable
- Die-cast aluminum housing
- Tempered glass lens
- Sensor is available

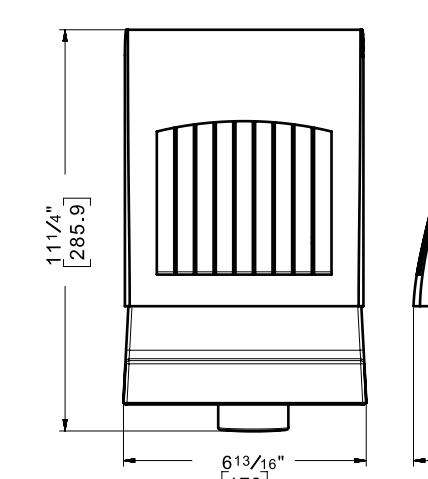
**ELECTRICAL SYSTEM**

- Input voltage: 120-347V
- 50/60Hz
- Power Factor: >0.9
- Total Harmonic Distortion: <20% at full load
- Working Temperature: -40 - 104°F (-40 - 40°C)

**DIMENTION**

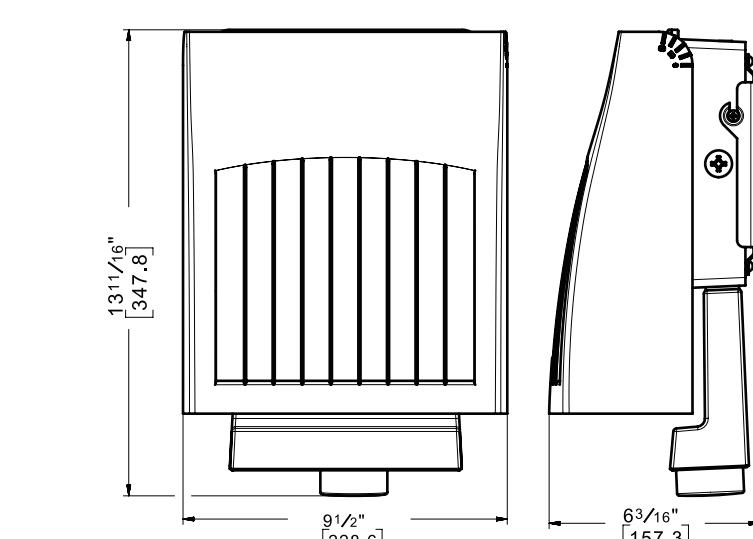
20/24W with Sensor

Net Weight: 4.4 lbs



40/60/75W with Sensor

Net Weight: 9.3 lbs


**PERFORMANCE**
**CRI**

70

**CCT**

3000K, 4000K, 5000K selectable

**Dimming**

0-10V Dimming Standard

Projected Lifetime

L70 - 100,000 Hours

Working Temperature

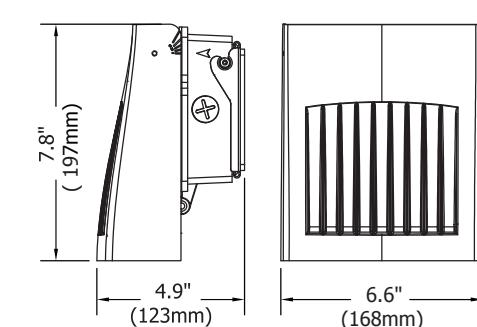
-40 - 104°F (-40 - 40°C)

Certifications

- cUL listed
- Suitable for wet locations
- RoHS compliant

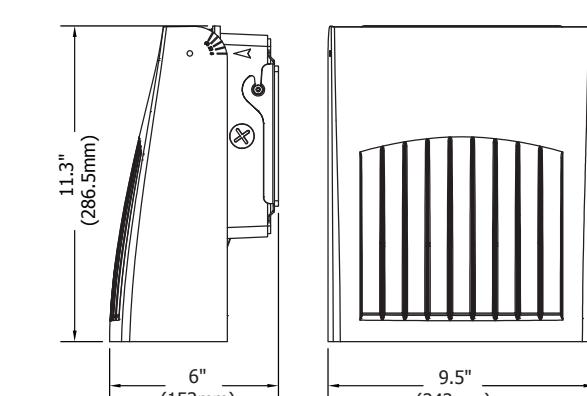
20/24W

Net Weight: 3.97 lbs



40/60/75W

Net Weight: 8.93 lbs



With Sensor



Without Sensor

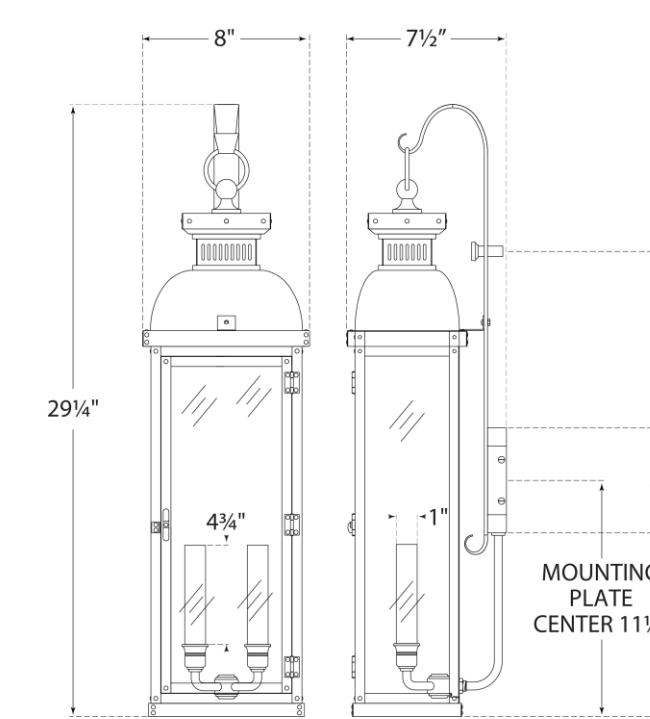
**TEAR SHEET**

WC-1


**Suffork Tall Scroll Arm Lantern**

Item # CHO 2067NC

Designer: Chapman &amp; Myers

Height: 29.25"  
Width: 8"  
Extension: 7.5"  
Backplate: 4.5" x 5" Rectangle  
Finishes: NC  
Glass Options: CG  
Socket: 2 - E12 Candelabra  
Wattage: 2 - 60 C11  
Weight: 11 Pounds  
©EFC DESIGNS


VISUAL COMFORT &amp; CO.



BF-1

**STANDARD LED BOLLARD**

**PRODUCT DESCRIPTION**

The Standard LED Bollard is designed with a modern cylindrical shape with dome, flat, and peak tops available. This LED Bollard is constructed with a high-quality extrusion aluminum body and a clear polycarbonate lens. This Bollard is ideal for parks, lawns, plazas, and residential applications.

**FEATURE**

- Dome, flat and peak tops for option
- High quality extrusion aluminum body
- Stainless steel silicone rubber sealing
- IP 66 rated for wet location
- Side shield for option

**ELECTRICAL SYSTEM**

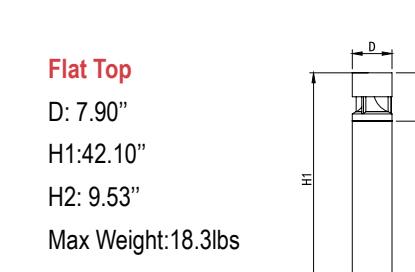
- Input Voltage: 120-277V
- 50/60Hz
- Minimum Ambient -40°F, maximum ambient 104°F
- Power Factor: > 0.9 @120vac
- Total Harmonic Distortion: < 20%

**SPECIFICATION**

Dome Top



Flat Top



Peak Top



Max Weight: 18.3lbs

**PERFORMANCE**
**CRI**

70+

**CCT**

3000K, 4000K, 5000K

**Dimming**

0-10V Dimming Standard

Projected Lifetime

L70 - 127,000 Hours

Working Temperature

-4-104°F (-40-40°C)

Certifications

- cULus Listed
- Suitable for wet location
- RoHS compliant

**Ordering Information**

Example: DB24401-V

Top	Watts	CCT	Voltage	Controls	Distribution	Lens	Finish
DB = Dome Top Bollard <sup>1</sup>	12 - 12W	22 - Amber in 2200K <sup>2</sup>	1 - 120-277V	Blank - None	V - Type V	Blank - PC clear lens	Standard Blank - Bronze
FB = Flat Top Bollard	24 - 24W	30 - 3000K <sup>3</sup>					Optional* BK - Black
PB = Peak Top Bollard	40 - 4000K	40 - 4000K					WH - White
		50 - 5000K					GY - Grey

## Note:

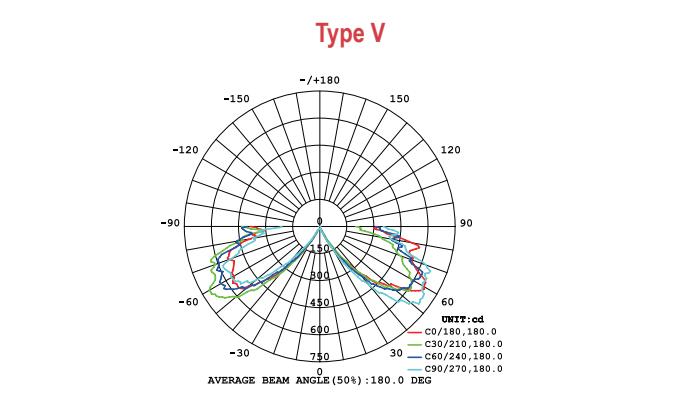
- DLC is only available for 24W Dome Top.
- The 2200K is for Amber LED use. More information is in the following wavelength chart. It is special and may need long lead time.
- DLC is not available for 2200K and 3000K.

\* Standard Finish is Dark Bronze. Allow 4-6 weeks for optional finish. Additional charge will apply.

**ACCESSORIES (ORDER SEPARATELY)**

**PHOTOMETRY**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory.


**PERFORMANCE DATA**
**LUMEN OUTPUT**

Lumen values are measured by third party certified laboratories performed in accordance with IESNA LM-79-08 as well as Lighting Facts listed.

Watts	Lumen Output	AC Input 120V	CRI	CCT	Dist. Type	LPW	CCT	Lumen Multiplier
12W	1340lm	0.19A	>70	4000K	Type V	112	4000K	1
24W	2500lm	0.22A	>70	4000K	Type V	104	3000K	0.93

**Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the LED bollard in a 77°F ambient, (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

Operating Hours	0	6,000	14,000	29,000	127,000
Lumen Maintenance Factor	0.1	0.98(L98)	0.96(L96)	0.92(L92)	0.70(L70)

**Lumen Ambient Temperature (LAT) Multipliers**

Use these factors to determine relative lumen output for average ambient temperature from -40-104°F (-40-40°C).

Ambient	Celsius	Fahrenheit	Multiplier
0	32	102	1.02
10	50	101	1.01
20	68	100	1.00
25	77	100	1.00
30	86	100	1.00
40	104	100	0.99

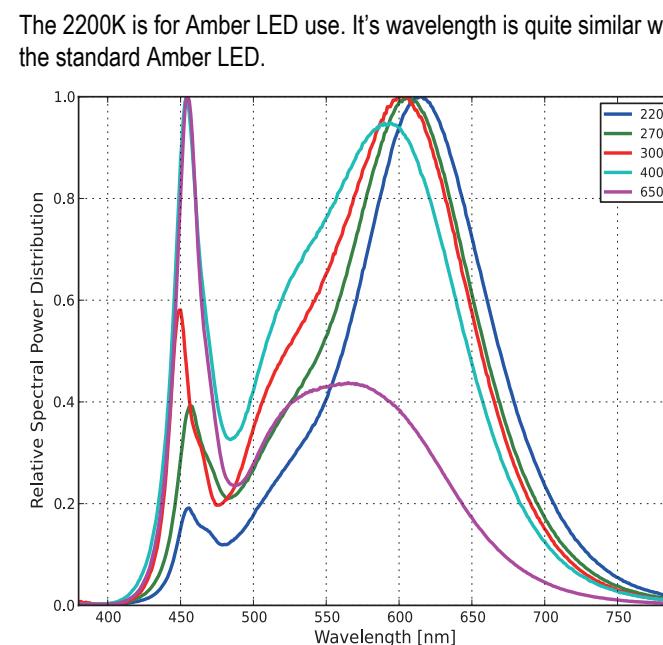
**BUG Rating**

Performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory.

Model	BUG Rating
DB24401-V	B2-U3-G2
FB24401-V	B2-U3-G2
PB24401-V	B2-U3-G2

**LED WAVELENGTH**

The 2200K is for Amber LED use. Its wavelength is quite similar with the standard Amber LED.


**Warranty**

Five year limited warranty.

Specifications subject to change without notice.

1135 Thomas Busch Highway, Pennsauken, NJ 08110  
info@aboveallighting.com  
www.AboveAllLighting.com

866-222-8866

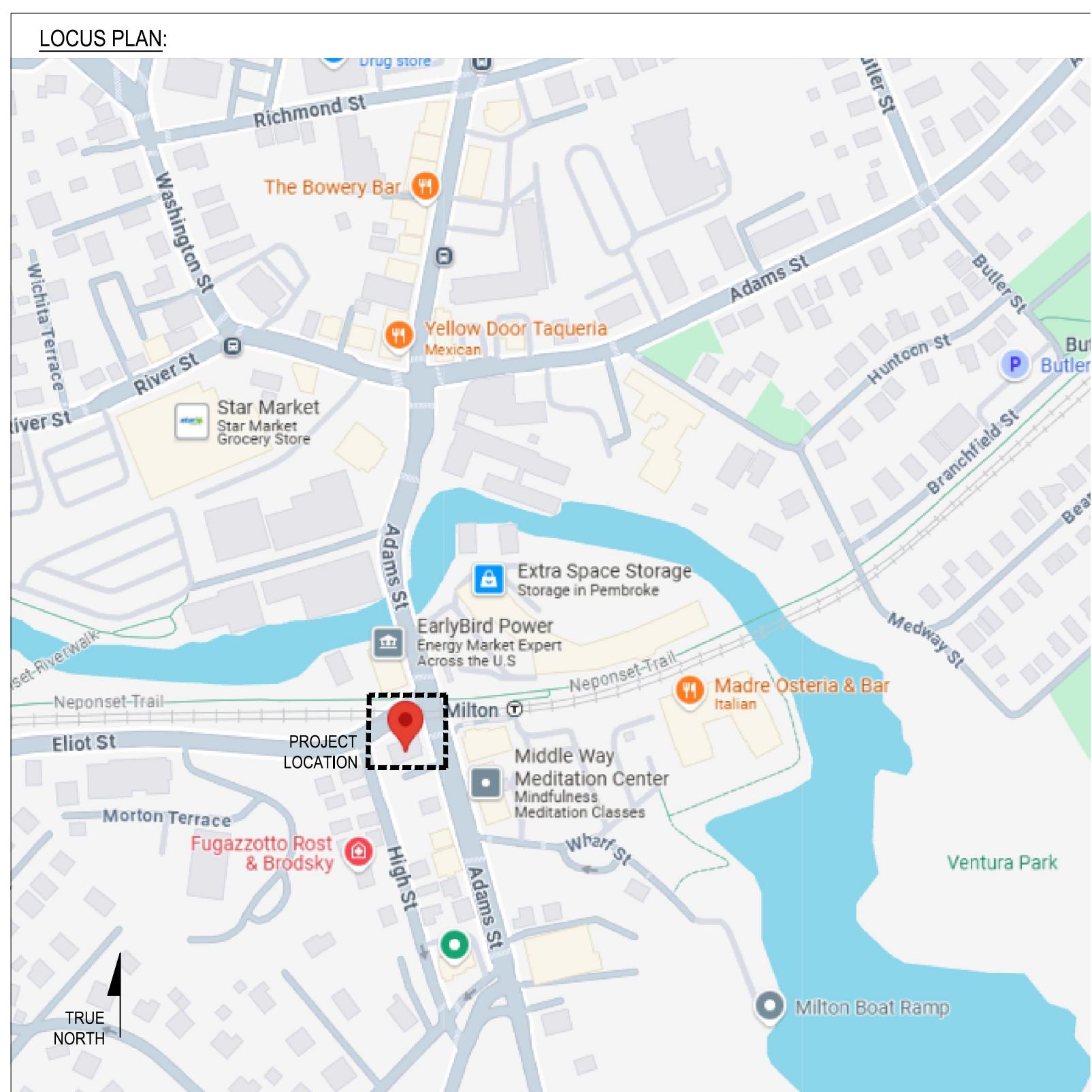
info@aboveallighting.com

www.AboveAllLighting.com

**2 ELIOT STREET  
MILTON, MA**  
**PROPOSED PATIO**  
**EXTERIOR LIGHT FIXTURES**  
**MARCH 26, 2025**

# Proposed Renovation

2 Eliot Street  
Milton, MA 02186



PROJECT INFORMATION :

**OWNER**  
Joshua Wild  
ELEVATED REALTY, LLC  
174 DORCHESTER STREET  
BOSTON, MA 02127  
PHONE # : 617.729.2761  
EMAIL : jdwild@elevatedboston.com

**ARCHITECT**  
GPHdesign, LLC  
1 ADAMS STREET AT LOWER MILLS  
MILTON, MA 02186  
PHONE # : 617.823.3093  
EMAIL : glen.hoffman@gphdesign.com

**MEP/FP  
ENGINEERS**  
ZADE ENGINEERING, LLC  
CONSULTING ENGINEERS  
1 BILLINGS ROAD, SUITE 306  
QUINCY, MA 02111  
PHONE # : 617.338.4406  
EMAIL : zade@zadeengineering.com

**GENERAL  
CONTRACTOR**  
PHONE # :  
EMAIL :  
SUBMISSIONS :  
JANUARY 6, 2025 | PERMIT SET

**CIVIL/  
SURVEY**  
DECELLE-BURKE-SALA & ASSOCIATES  
1266 FURNACE BROOK PARKWAY, SUITE 401  
QUINCY, MA 02169  
PHONE # : 617.405.5100  
EMAIL : jburke@decelle-burke.com

LIST OF DRAWINGS:

**KEY:**  
██████████ INCLUDED IN SET  
██████████ REVISIED AND INCLUDED IN SET

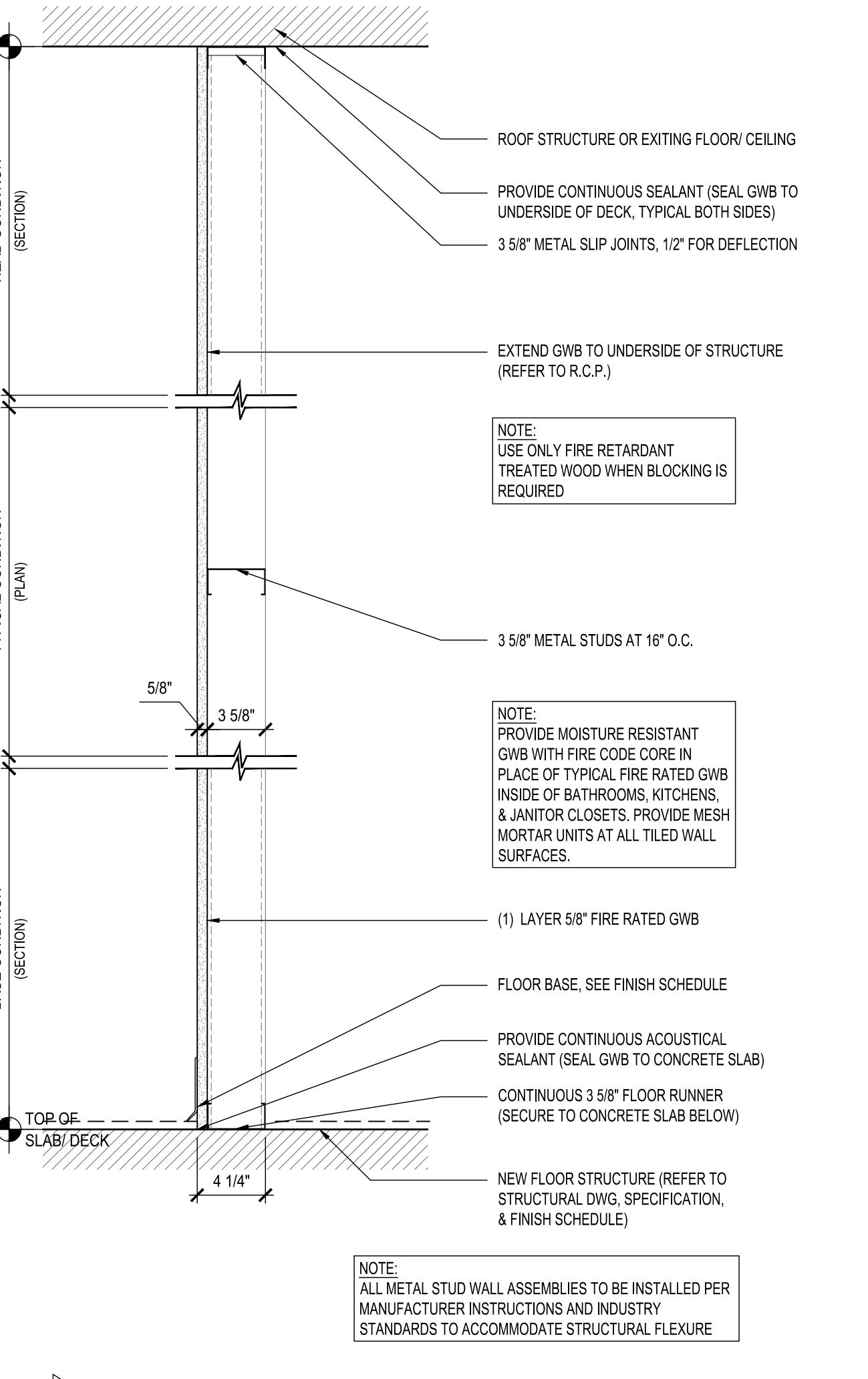
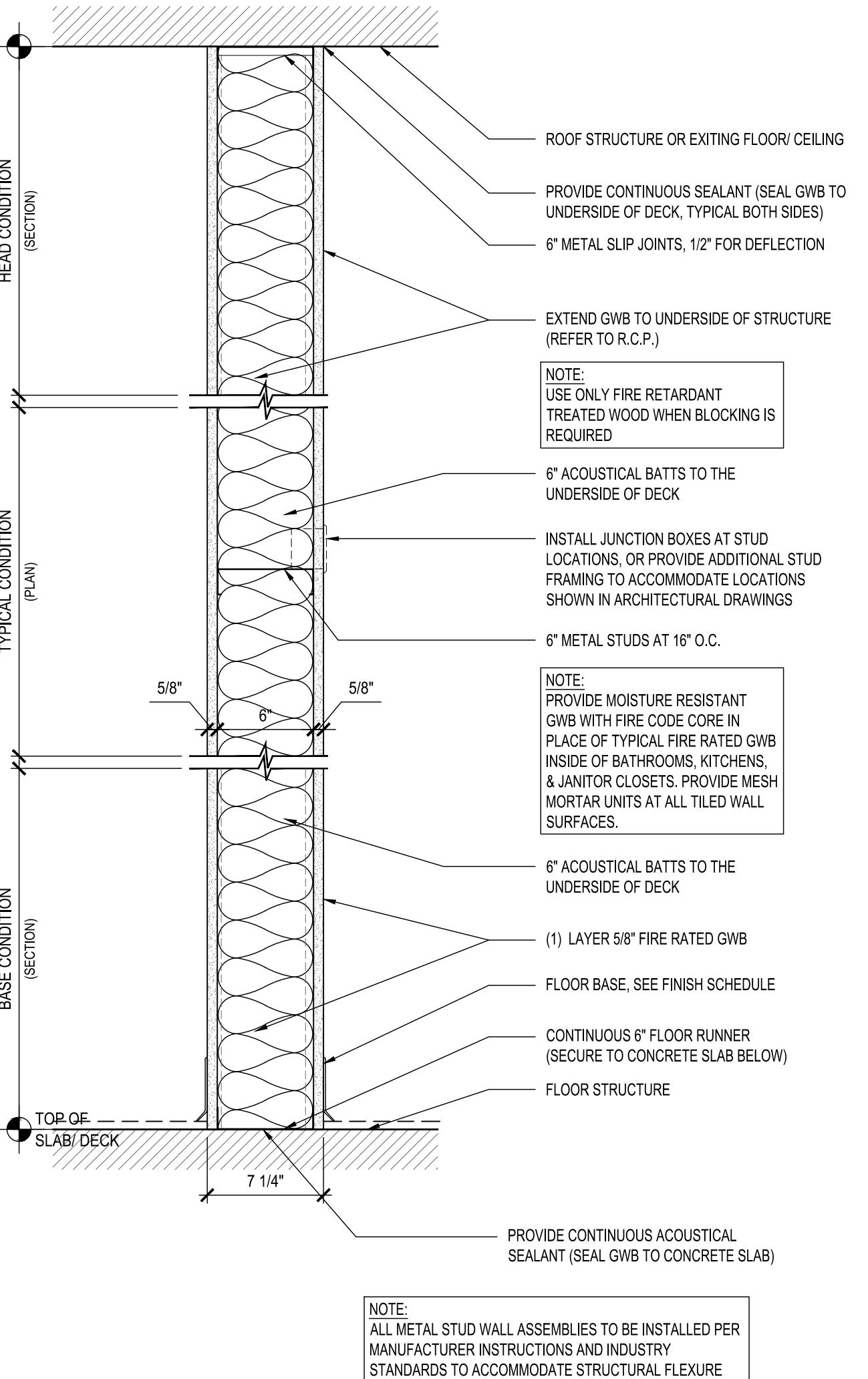
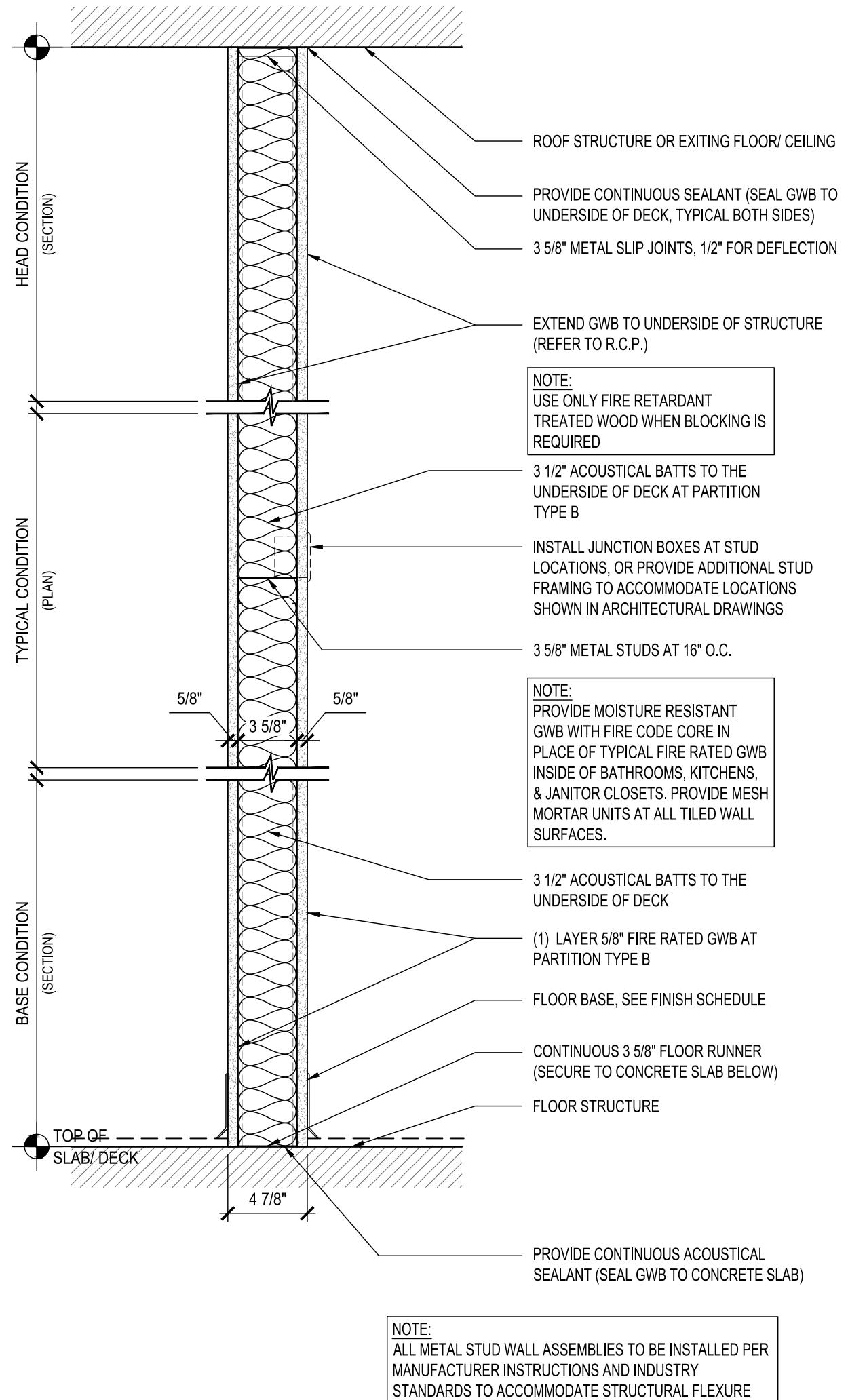
DWG #	DRAWING TITLE	ISSUE DATES	
		JANUARY 6, 2025	PERMIT SET
<b>TITLE SHEETS</b>			
A0.01	PROJECT COVER & TABLE OF CONTENTS	██████████	
<b>SURVEY DRAWINGS</b>			
1 OF 2	CERTIFIED PLOT PLAN - EXISTING	██████████	
2 OF 2	CERTIFIED PLOT PLAN - PROPOSED	██████████	
<b>ARCHITECTURAL DRAWINGS</b>			
D1.00	BASEMENT PLUMBING PLAN	██████████	
D1.01	FIRST FLOOR REMOVALS PLAN	██████████	
D2.00	BASEMENT REFLECTED CEILING REMOVALS PLAN	██████████	
A1.00	BASEMENT FLOOR PLAN	██████████	
A1.01	FIRST FLOOR PLAN	██████████	
A2.00	BASEMENT REFLECTED CEILING PLAN	██████████	
<b>PLUMBING DRAWINGS</b>			
P-1	BASEMENT PLUMBING PLAN	██████████	
P-2	FIRST FLOOR PLUMBING PLAN	██████████	
P-3	PLUMBING SCHEDULES	██████████	
P-4	PLUMBING DETAILS	██████████	
<b>HEATING VENTILATION &amp; AIR CONDITIONING DRAWINGS</b>			
H-1	BASEMENT HVAC PLAN	██████████	
H-2	FIRST FLOOR & ROOF HVAC PLAN	██████████	
H-3	HVAC DETAILS	██████████	
H-4	HVAC DETAILS	██████████	
<b>ELECTRICAL DRAWINGS</b>			
E-1	BASEMENT FLOOR PLAN (LIGHTING)	██████████	
E-2	FIRST FLOOR PLAN (LIGHTING)	██████████	
E-3	BASEMENT FLOOR PLAN (POWER)	██████████	
E-4	FIRST FLOOR PLAN (POWER)	██████████	
E-5	ELECTRICAL DETAILS	██████████	
<b>FIRE ALARM DRAWINGS</b>			
FA-1	BASEMENT FLOOR PLAN (FIRE ALARM)	██████████	
FA-2	FIRST FLOOR PLAN (FIRE ALARM)	██████████	
FA-3	BASEMENT FLOOR PLAN (FIRE ALARM)	██████████	
FA-4	FIRST FLOOR PLAN (FIRE ALARM)	██████████	

project name  
NEW COMMERCIAL SPACE  
2 ELIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
PROJECT COVER & TABLE OF CONTENTS

**GPH** design  
architecture • planning  
ONE ADAMS STREET AT LOWER MILLS  
MILTON, MA 02186  
phone: (617) 823-3093  
email: glen.hoffman@gphdesign.com

proj.no  
24025.00  
date  
JANUARY 6, 2025  
scale  
1/4" = 1'-0"  
A0.01  
sheet

rev. date purpose drwn  
REGISTERED ARCHITECT  
GLEN P. HOFFMAN  
No. 50206  
BOSTON  
MA  
1/6/2025  
seal



**A** INTERIOR PARTITION  
SCALE: 1 1/2" = 1'-0" UL DES

**B** INTERIOR PARTITION  
SCALE: 1 1/2" = 1'-0" UL DES

**C** TYPICAL CHASE WALL  
SCALE: 1 1/2" = 1'-0" UL DES

**C1** TYPICAL CHASE WALL - 6" METAL STUD  
SCALE: 1 1/2" = 1'-0" UL DES

**GENERAL DEMOLITION NOTES :**

ALL DEMOLITION WORK IS BEING PERFORMED UNDER SEPARATE CONTRACT BY THE OWNER / LANDLORD. DEMOLITION IS BEING SHOWN FOR COORDINATION PURPOSES ONLY.

THE DEMOLITION DRAWINGS HAVE BEEN COMPLETED FROM THE AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. THE DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, PLUMBING, FIRE PROTECTION, HVAC, AND ELECTRICAL DRAWINGS, ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.

**ADDITIONAL DEMOLITION REQUIREMENTS :**

1. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, EQUIPMENT, SERVICES AND TRANSPORTATION REQUIRED FOR THE COMPLETION OF DEMOLITION.
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4. REMOVAL OF HAZARDOUS MATERIAL IS NOT PART OF THIS CONTRACT WORK. NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OR CONTACT WITH HAZARDOUS MATERIAL.
5. SCOPE OF WORK SHALL INCLUDE, BUT NOT BE RESTRICTED TO DEMOLITION AND REMOVAL OF ALL ELEMENTS AS REQUIRED TO ACCOMMODATE THE EXECUTION OF THE FINAL DESIGN CONDITIONS.
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15. ALL DEMOLITION FOR WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATIONS FOR EXISTING TENANTS. COORDINATE DEMOLITION HOURS WITH OWNER.
16. NO DEMOLITION SHALL BE DONE IN ANY WAY WHICH MIGHT CREATE A HAZARD TO ANY PERSON OR STRUCTURALLY WEAKEN ANY PORTION OF THE PROPERTY.
17. DAMAGE TO EXISTING BUILDING OR CONTENTS CAUSED BY THE DEMOLITION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE WITH MATERIAL WITHOUT ADDITIONAL COST TO THE OWNER. CONTRACTOR TO EXAMINE EXISTING WET STACK LOCATIONS PRIOR TO CONSTRUCTION TO DETERMINE IF DAMAGED.
18. REMOVE AND STORE ALL ELEMENTS DESIGNATED FOR FUTURE USE IN A DRY, WEATHER PROTECTED, AND SECURE PLACE.

**GENERAL PROJECT REQUIREMENTS :**

1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
2. DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2015 AND THE MASSACHUSETTS BUILDING CODE 9th EDITION 2015 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.
3. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
4. ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
5. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
6. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
7. CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
8. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
9. ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
10. DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
12. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
13. THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
14. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
15. PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
16. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
17. ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
18. ALL WALL FRAMING SHALL BE 3 5/8" METAL STUDS OR AS INDICATED AT 16" ON CENTER UNLESS OTHERWISE NOTED.
19. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
20. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
GENERAL NOTES & PARTITION TYPES

proj.no  
24025.00  
date  
JANUARY 6, 2025  
scale  
AS NOTED

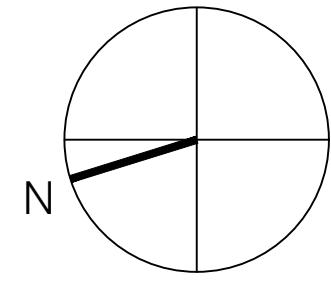
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GENERAL DEMOLITION NOTES :

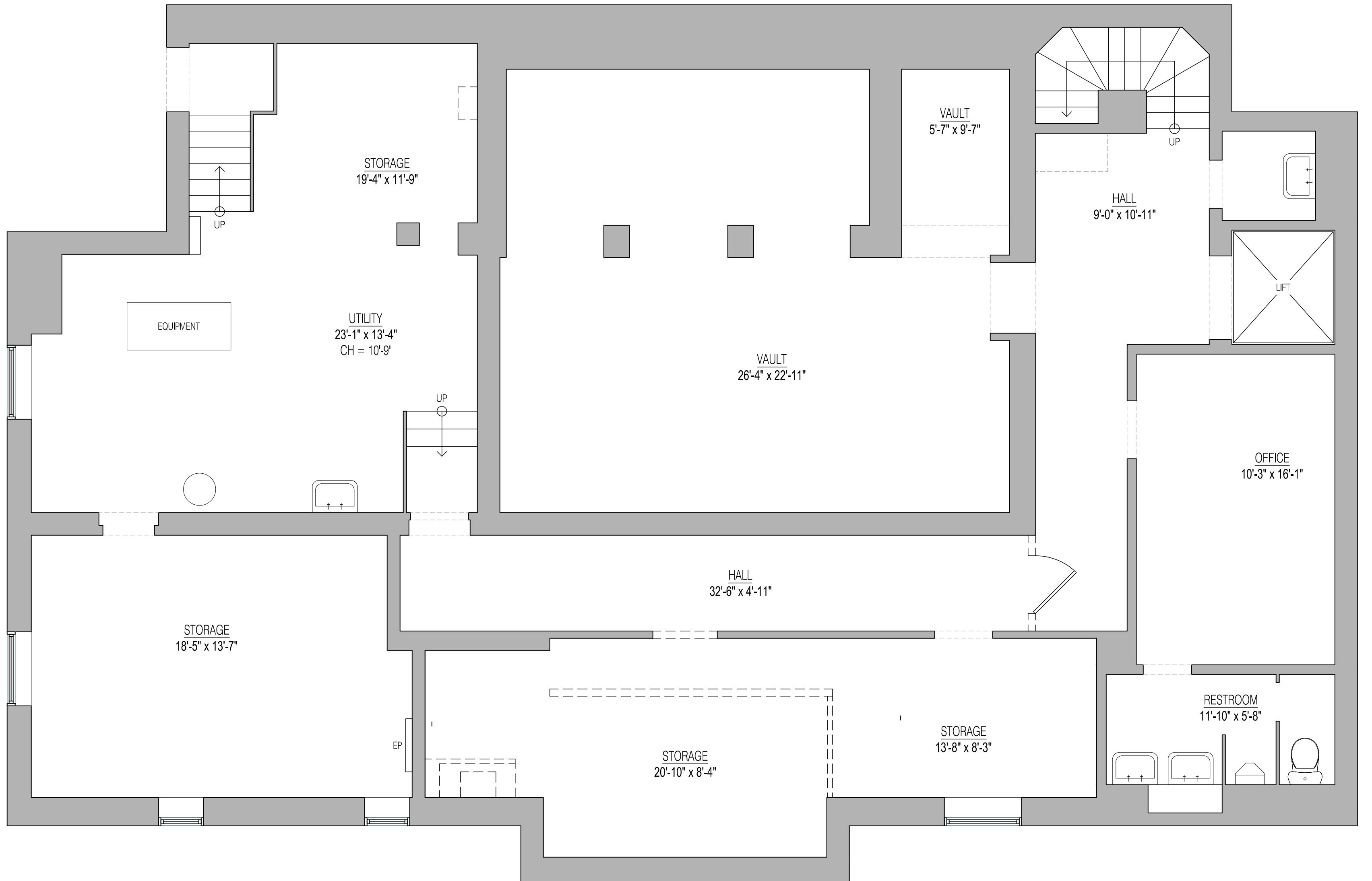
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project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
BASEMENT REMOVALS PLAN



## 00 BASEMENT REMOVALS PLAN

SCALE: 1/4" = 1'-0"

## DEMOLITION FLOOR PLAN LEGEND

DENOTES EXISTING WALL TO REMAIN

DENOTES EXISTING WALL TO BE DEMOLISHED

DENOTES EXISTING DOOR TO REMAIN

DENOTES EXISTING DOOR, FRAME &amp; HARDWARE TO BE REMOVED

proj.no  
24025.00  
date  
NOVEMBER 19, 2024  
scale

1/4" = 1'-0"

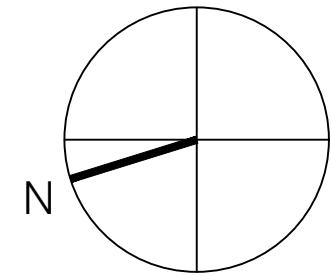
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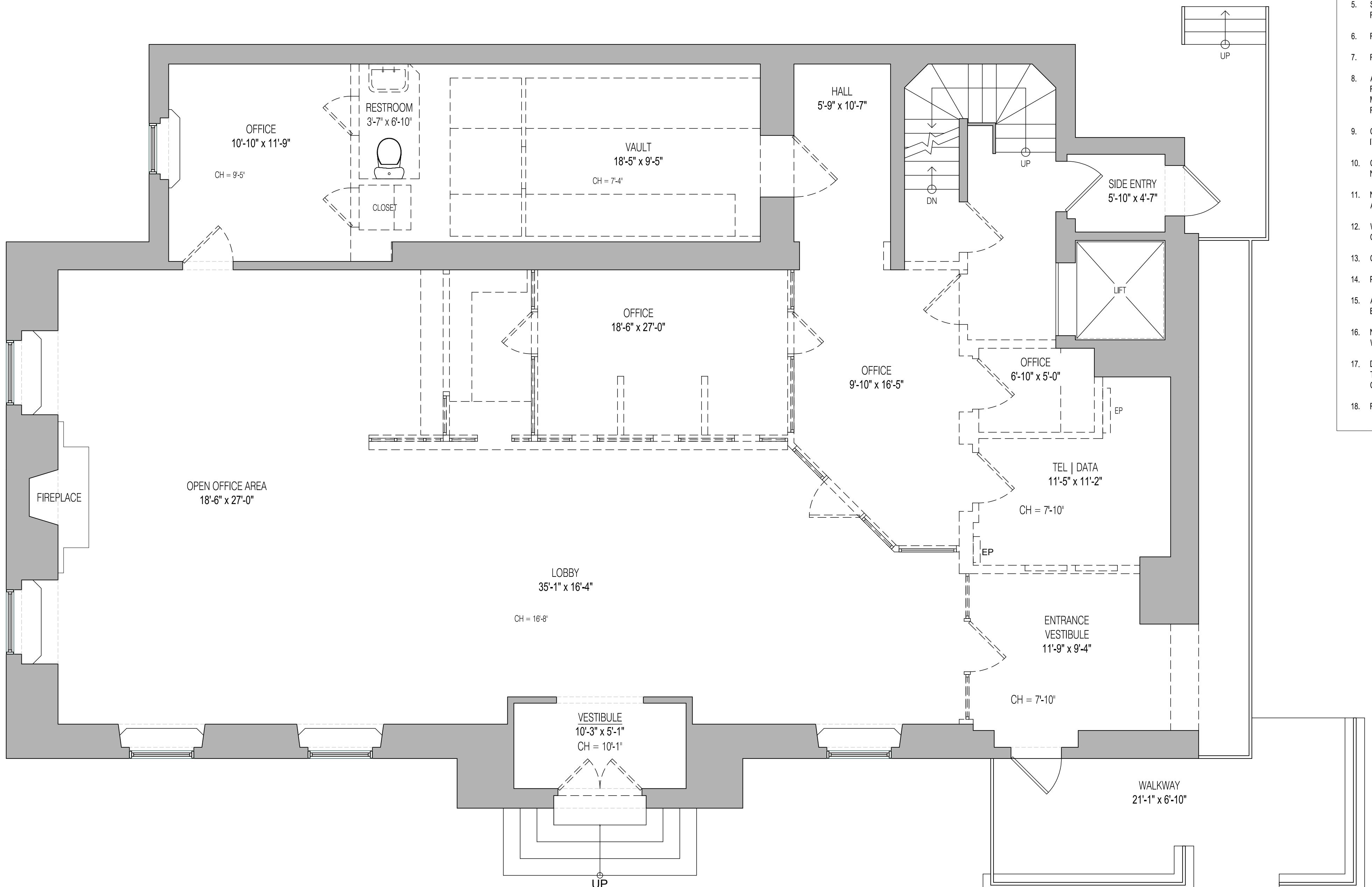
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NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
FIRST FLOOR REMOVALS PLAN



10 FIRST FLOOR REMOVALS PLAN  
SCALE: 1/4" = 1'-0"

DEMOLITION FLOOR PLAN LEGEND  
 DENOTES EXISTING WALL TO REMAIN  
 DENOTES EXISTING WALL TO BE DEMOLISHED  
 DENOTES EXISTING DOOR TO REMAIN  
 DENOTES EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED

proj.no  
24025.00  
date  
NOVEMBER 19, 2024  
scale  
1/4" = 1'-0"  
D1.01  
sheet

GENERAL DEMOLITION NOTES :

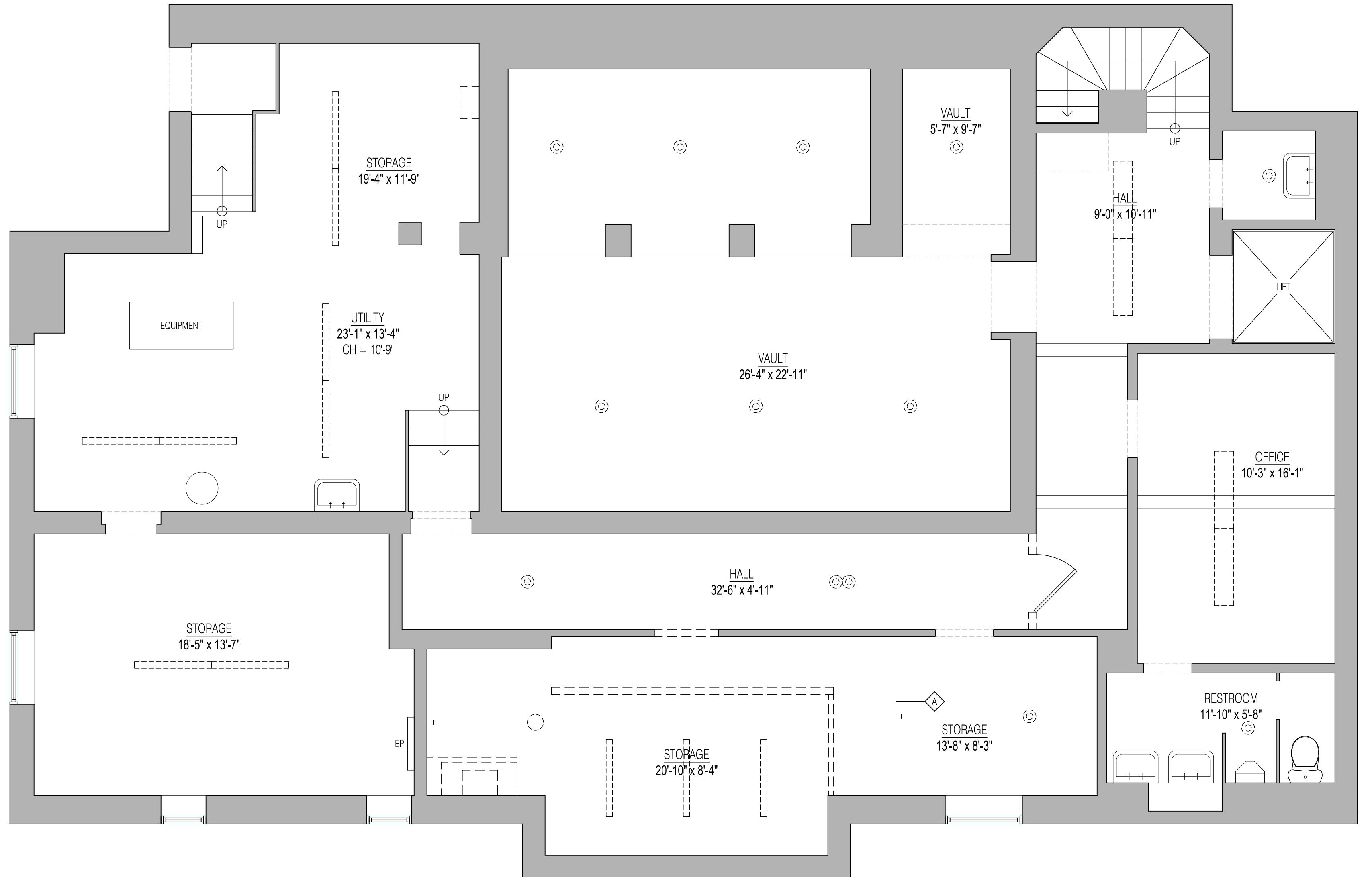
THE DEMOLITION WORK SHALL INCLUDE ALL OF THE ITEMS LISTED BELOW AS WELL AS ANY STRUCTURE, FITTINGS, FINISHES, OR APPURTENANCES, WHICH IN ANY WAY MAY HINDER THE EXECUTION OF THE NEW WORK OR WOULD BE INCONSISTENT WITH THE NEW WORK AS OUTLINED. GENERAL CONTRACTOR SHALL COORDINATE PHASING OF DEMOLITION WITH PHASED CONSTRUCTION OF THE VARIOUS AREAS.

ADDITIONAL DEMOLITION REQUIREMENTS :

1. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, EQUIPMENT, SERVICES AND TRANSPORTATION REQUIRED FOR THE COMPLETION OF DEMOLITION.
2. THESE DEMOLITION DRAWINGS HAVE BEEN COMPLETED FROM THE AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. THE DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, PLUMBING, FIRE PROTECTION, HVAC, AND ELECTRICAL DRAWINGS, ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
3. FAILURE OF THE CONTRACTOR TO VISIT THE SITE AND FULLY INFORM HIMSELF AS TO ALL BIDDING DOCUMENTS, APPLICABLE LAWS, RULES, REGULATIONS, AND CODES, AND SITE CONDITIONS WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT, SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO HIS PROPOSAL FEE.
4. REMOVAL OF HAZARDOUS MATERIAL IS NOT PART OF THIS CONTRACT WORK. NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OR CONTACT WITH HAZARDOUS MATERIAL.
5. SCOPE OF WORK SHALL INCLUDE, BUT NOT BE RESTRICTED TO DEMOLITION AND REMOVAL OF ALL ELEMENTS AS REQUIRED TO ACCOMMODATE THE EXECUTION OF THE FINAL DESIGN CONDITIONS.
6. REMOVE ALL EXPOSED ABANDONED EQUIPMENT AND PIPING IN BUILDING.
7. REFER TO ARCHITECT'S DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL MATERIALS, TRASH AND DEBRIS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL RUBBISH SHALL BE LEGALLY REMOVED FROM THE BUILDING AND THE PREMISE AT THE END OF EACH DAY. BUILDING HALLWAYS, VESTIBULES, AND MEANS OF EGRESS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES. PROVIDE TRASH DISPOSAL CERTIFICATES AS REQUESTED BY OWNER.
9. CONTRACTOR SHALL BEGIN DEMOLITION ONLY AFTER WALK THROUGH WITH OWNER AND IDENTIFICATION OF AREA AND ITEMS TO REMAIN HAVE BEEN TAGGED.
10. CONTRACTOR TO SURVEY ALL EXISTING CONDITIONS AND VERIFY ALL AREAS TO BE DEMOLISHED. CONTRACTOR TO NOTIFY ARCHITECT PRIOR TO COMMENCING WORK IF THERE ARE ANY DISCREPANCIES IN THE PLANS.
11. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE ARCHITECT, UNLESS ALREADY NOTED IN THE DRAWINGS AS PART OF THE WORK.
12. WHERE CONCRETE OR MASONRY WORK IS REQUIRED TO BE CUT, CUTTING SHALL BE DONE BY ABRASIVE WHEELS, SAWS OR CORING.
13. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS.
14. PROVIDE AND MAINTAIN TEMPORARY LIGHT AND POWER FOR THE EXECUTION OF THE WORK.
15. ALL DEMOLITION FOR WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATIONS FOR EXISTING TENANTS. COORDINATE DEMOLITION HOURS WITH OWNER.
16. NO DEMOLITION SHALL BE DONE IN ANY WAY WHICH MIGHT CREATE A HAZARD TO ANY PERSON OR STRUCTURALLY WEAKEN ANY PORTION OF THE PROPERTY.
17. DAMAGE TO EXISTING BUILDING OR CONTENTS CAUSED BY THE DEMOLITION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE WITH LIKE MATERIAL WITHOUT ADDITIONAL COST TO THE OWNER. CONTRACTOR TO EXAMINE EXISTING WET STACK LOCATIONS PRIOR TO CONSTRUCTION TO DETERMINE IF DAMAGED.
18. REMOVE AND STORE ALL ELEMENTS DESIGNATED FOR FUTURE USE IN A DRY, WEATHER PROTECTED, AND SECURE PLACE.

project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
BASEMENT REFLECTED CEILING REMOVALS PLAN

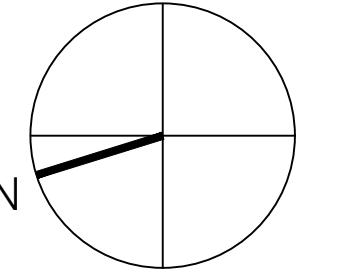
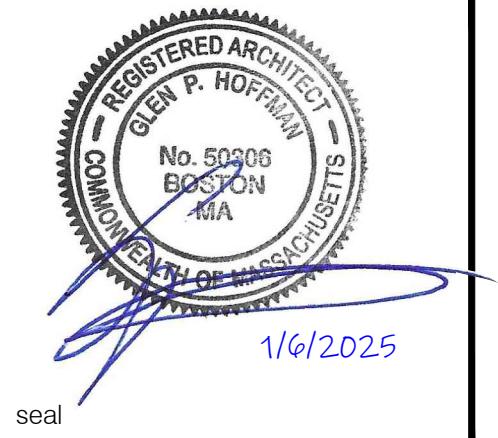
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NOVEMBER 19, 2024  
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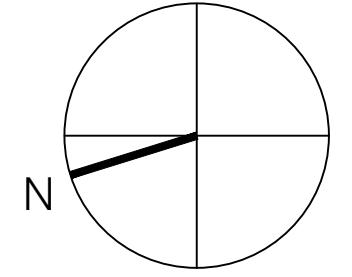


00 BASEMENT REFLECTED CEILING REMOVALS PLAN  
SCALE: 1/4" = 1'-0"

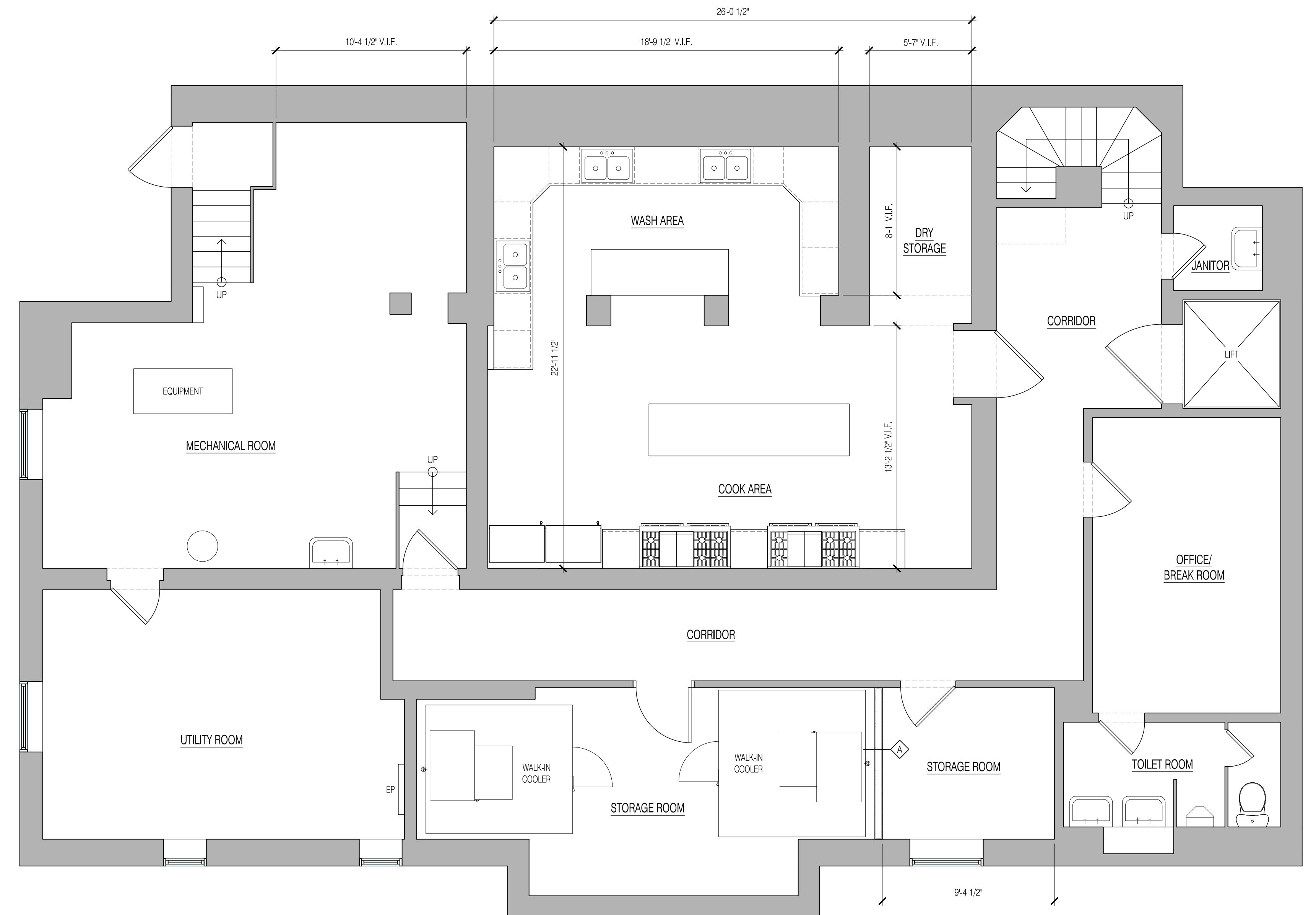
DEMOLITION FLOOR PLAN LEGEND

	DENOTES EXISTING WALL TO REMAIN
	DENOTES EXISTING WALL TO BE DEMOLISHED
	DENOTES EXISTING DOOR TO REMAIN
	DENOTES EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED





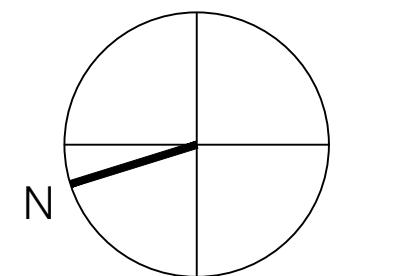
project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
BASEMENT PLAN



01 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	DENOTES EXISTING WALL TO REMAIN
	DENOTES NEW WALL
	DENOTES NEW INTERIOR BEARING WALL
	DENOTES EXISTING DOOR TO REMAIN
	DENOTES NEW DOOR

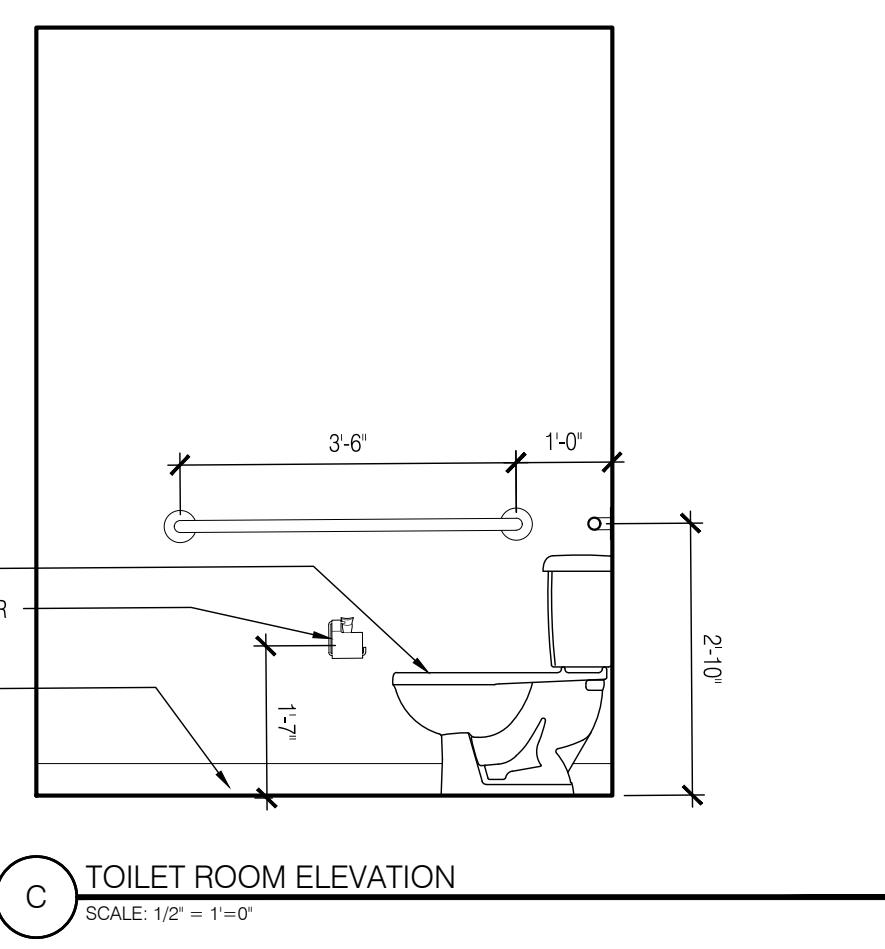
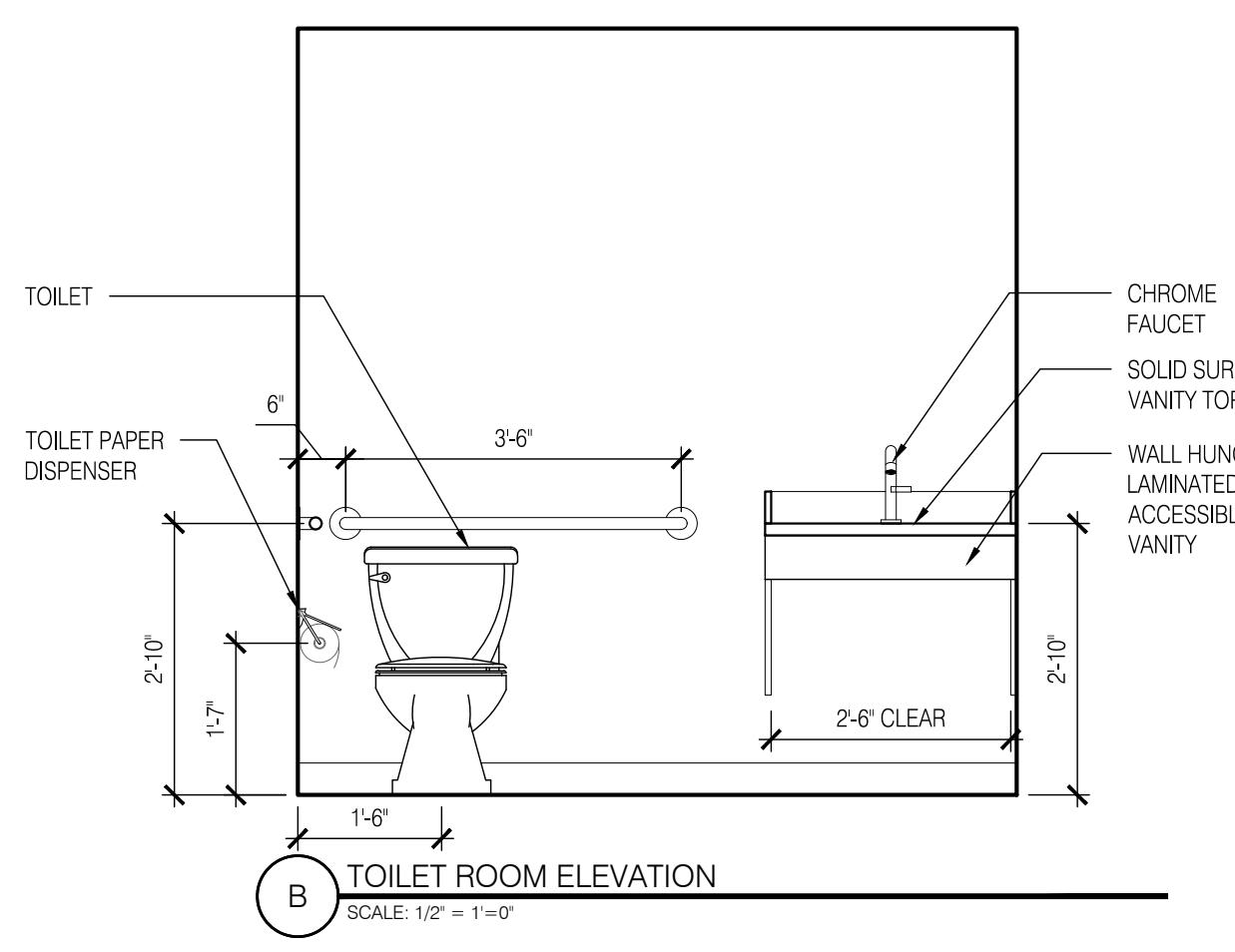
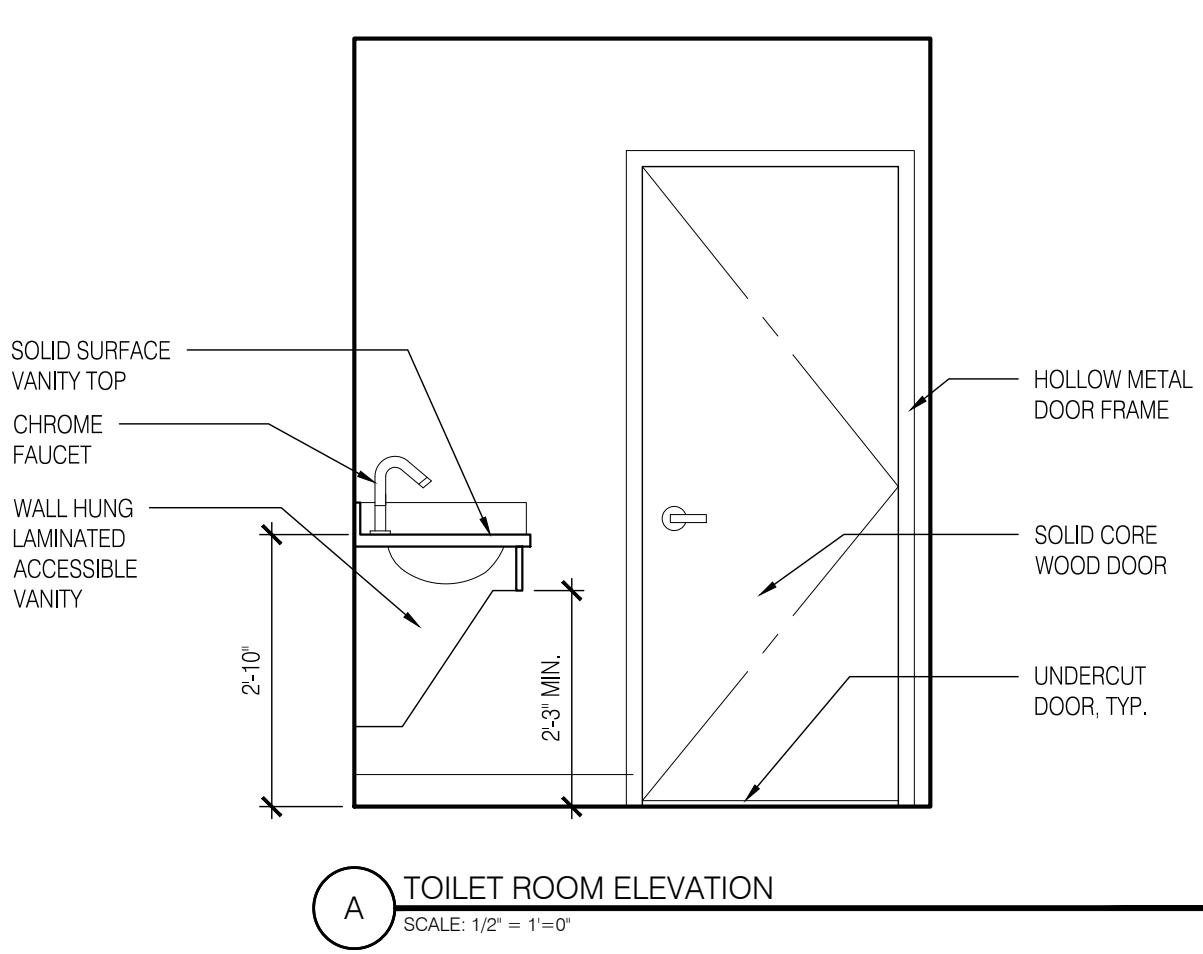
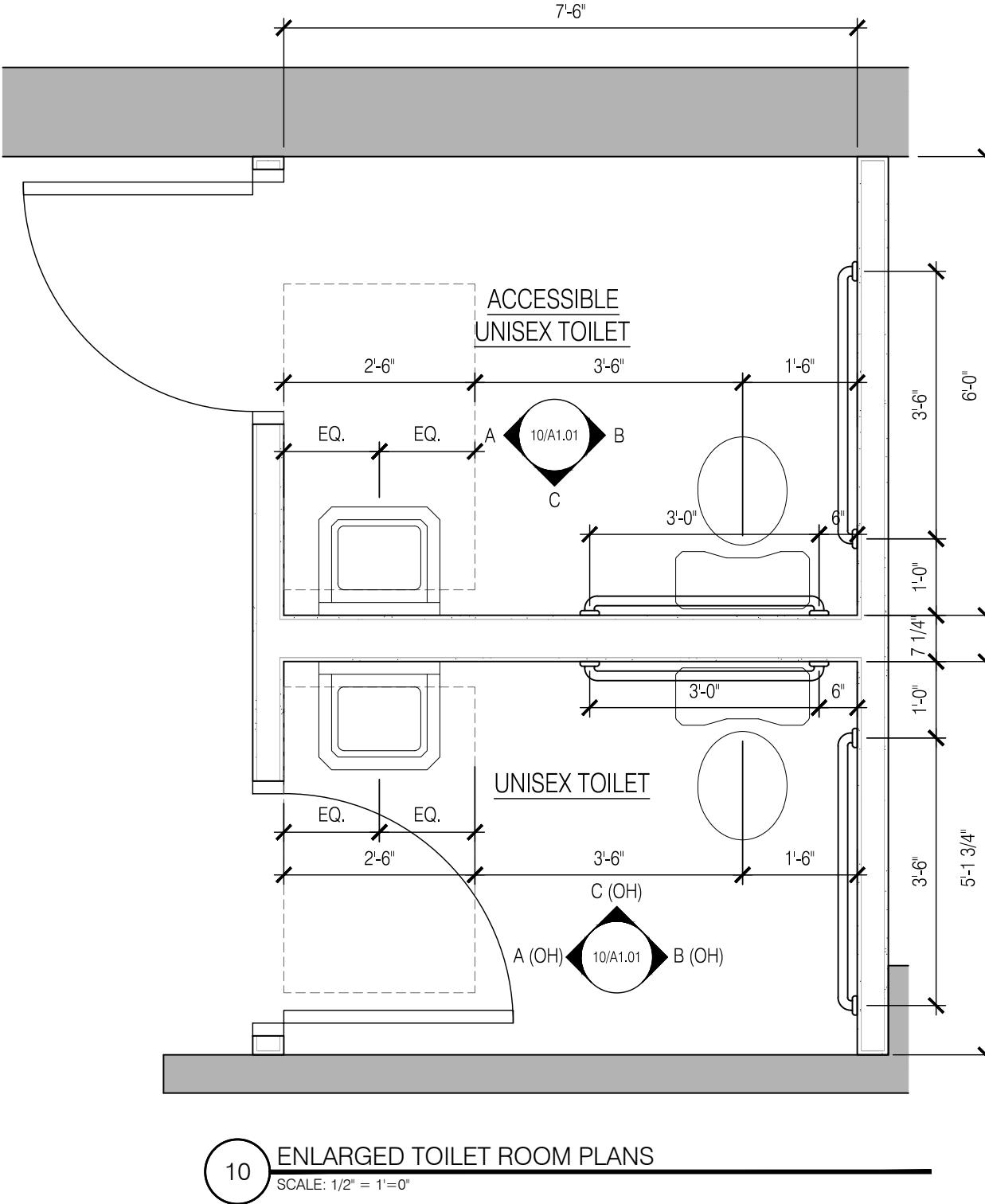
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NOVEMBER 19, 2024  
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A1.00



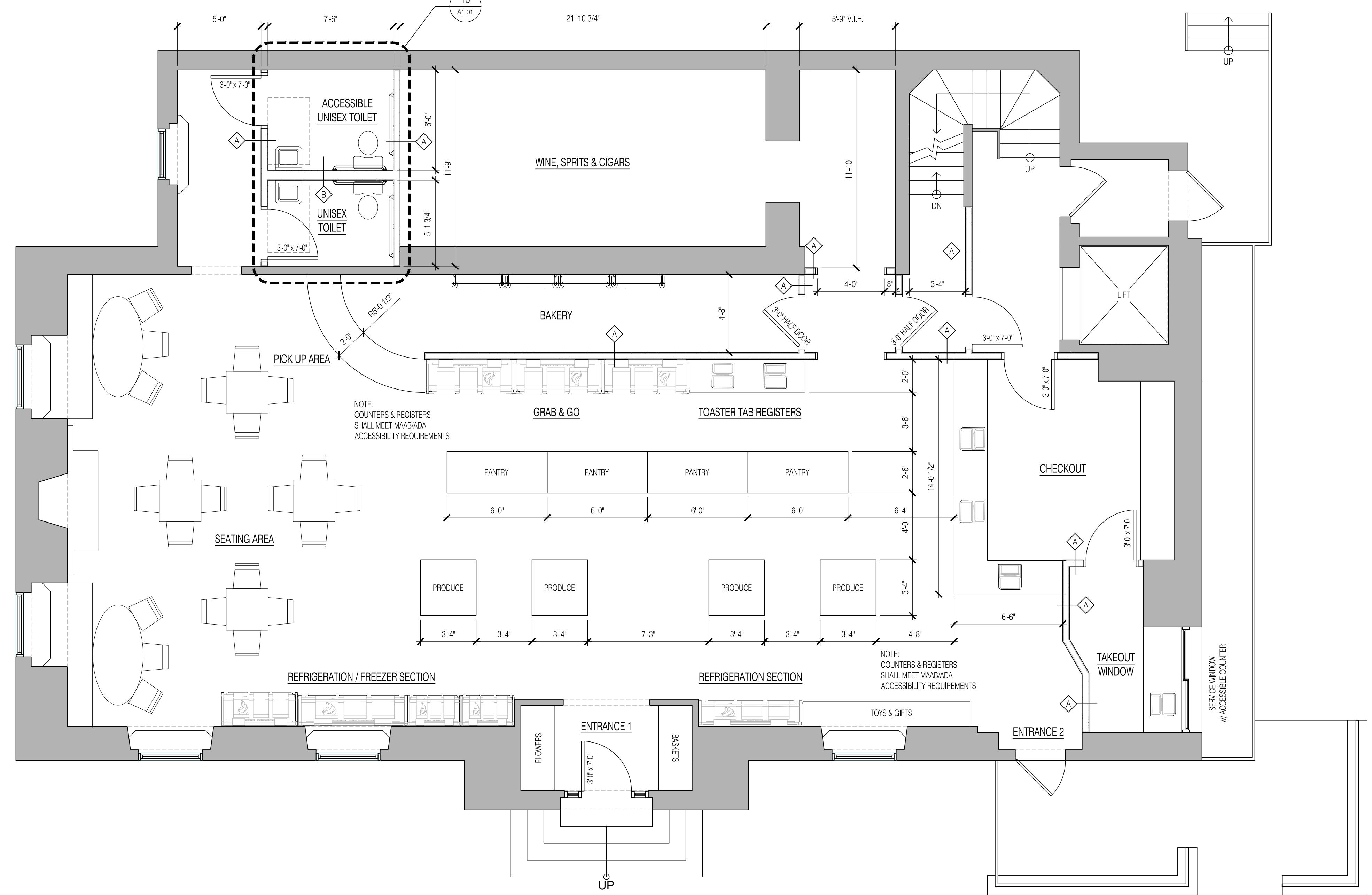
project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
FIRST FLOOR PLAN

GPH design  
architecture • planning  
ONE ADAMS STREET AT LOWER MILLS  
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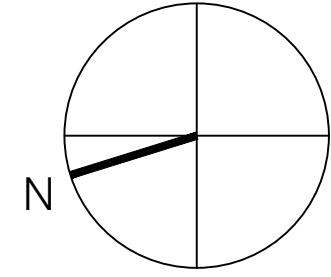
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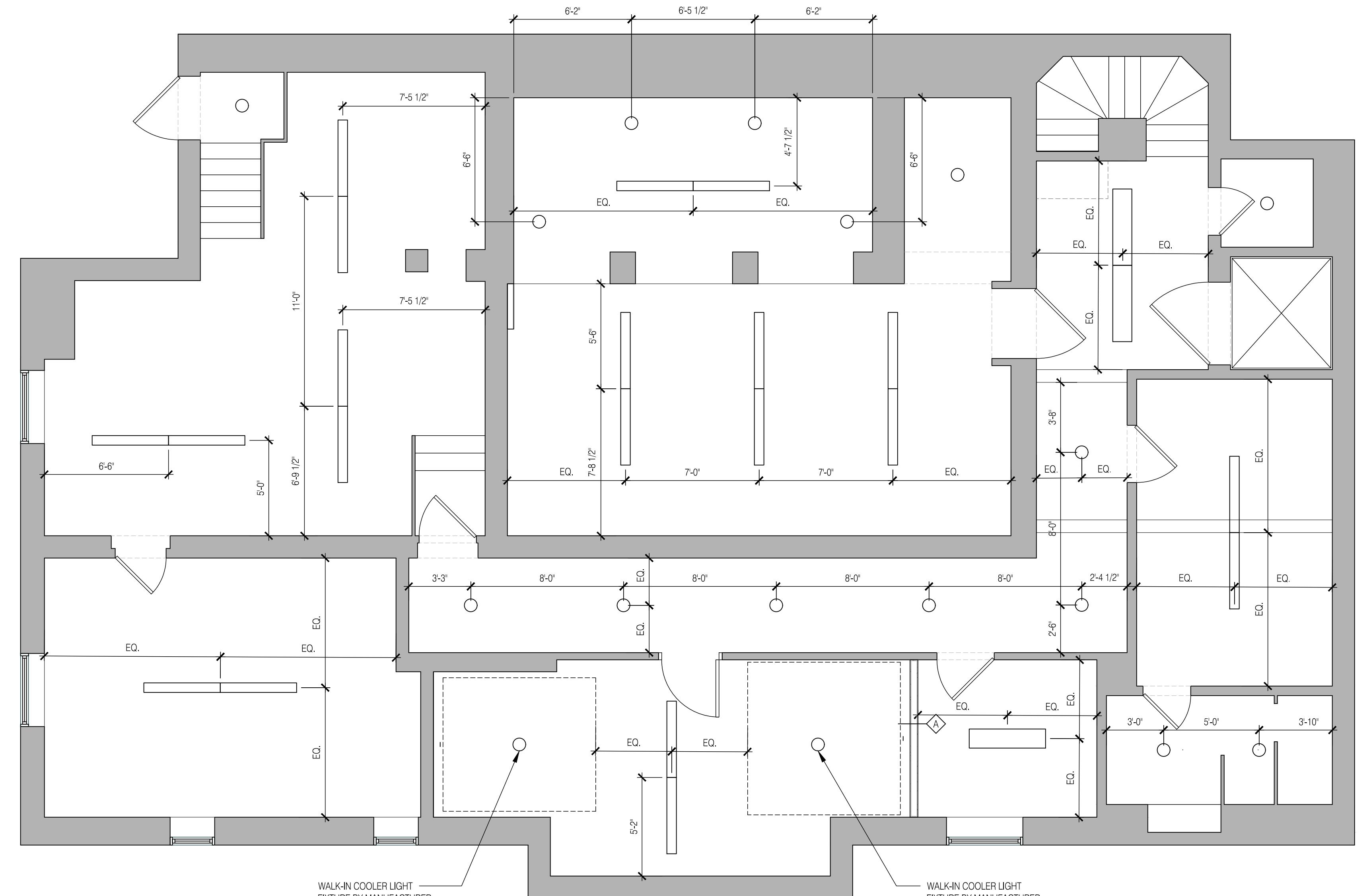
11 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



FLOOR PLAN LEGEND  
 ■ DENOTES EXISTING WALL TO REMAIN  
 □ DENOTES NEW WALL  
 □ DENOTES NEW INTERIOR BEARING WALL  
 □ DENOTES EXISTING DOOR TO REMAIN  
 □ DENOTES NEW DOOR



project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
BASEMENT REFLECTED CEILING PLAN



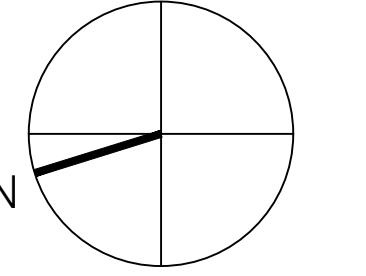
#### CEILING LEGEND

- 6' x 4'-0" PENDANT MOUNT LIGHT FIXTURE
- 6' x 8'-0" PENDANT MOUNT LIGHT FIXTURE
- 1'-0" x 4'-0" SURFACE MOUNT LIGHT FIXTURE
- 8' Ø SURFACE MOUNT LIGHT FIXTURE

01 BASEMENT REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

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24025.00  
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NOVEMBER 19, 2024  
scale  
1/4" = 1'-0"

sheet  
A2.00



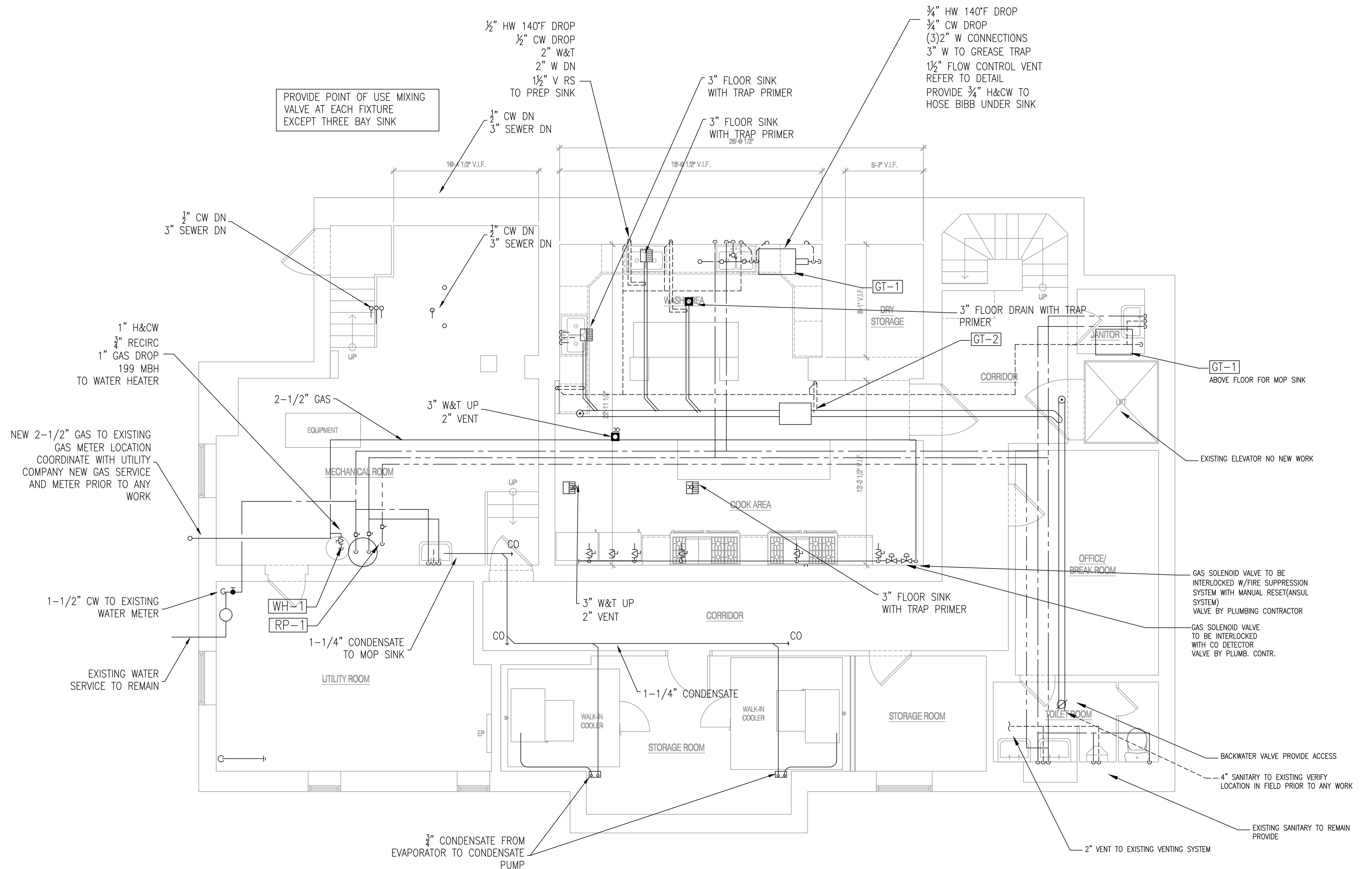
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186

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date

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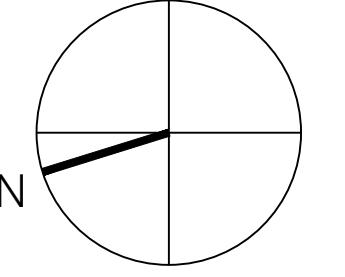
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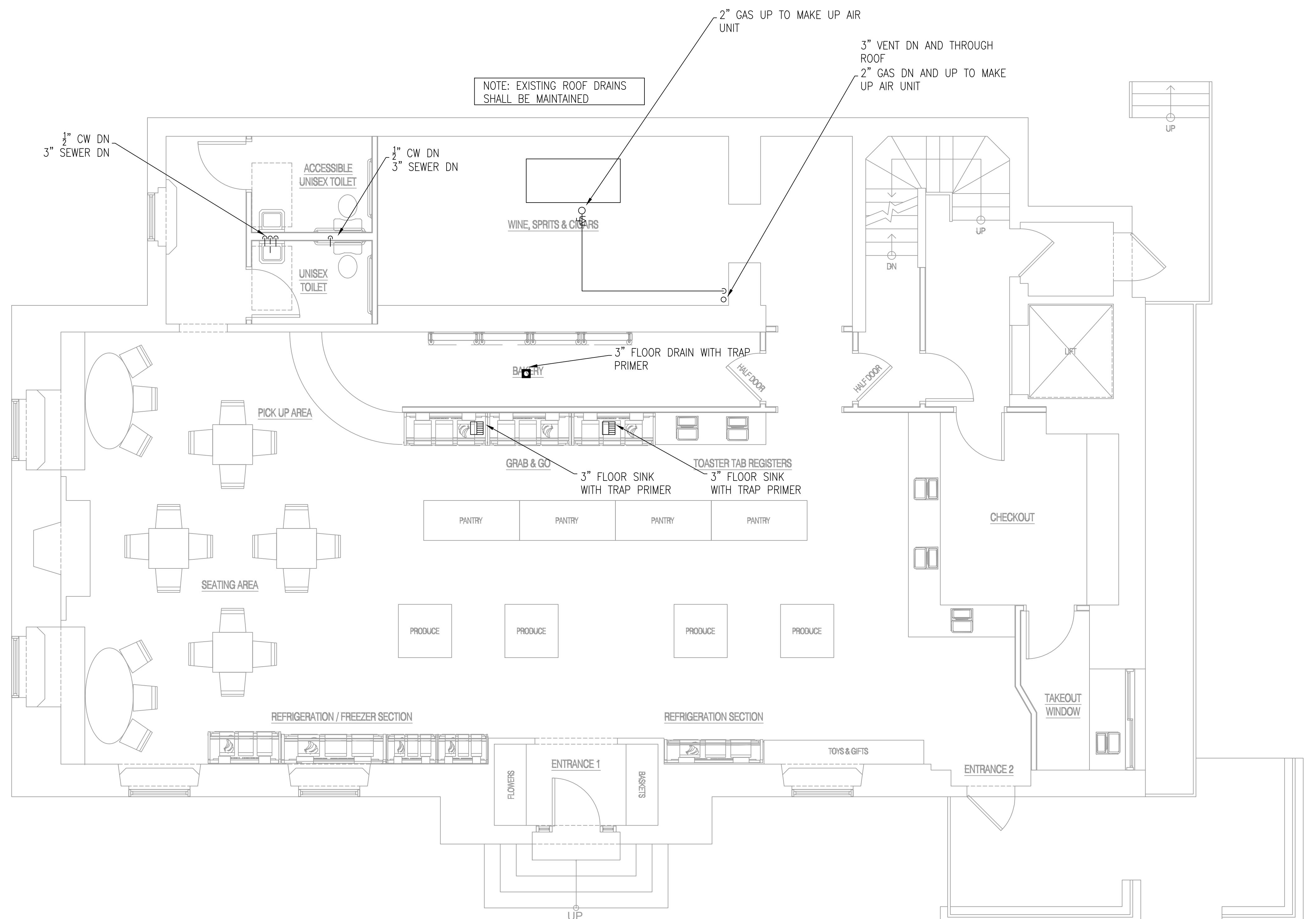


Mohammed Zade

seal



project name  
NEW COMMERCIAL SPACE  
2 ELIOT STREET  
MILTON, MA 02186



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DECEMBER 30, 2024  
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First Floor  
Plumbing Plan

ZADE ENGINEERING LLC  
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TEL. (617) 338-4406  
FAX. (617) 451-2540  
EMAIL. zade@zadeengineering.com

P-2

## PLUMBING SPECIFICATION

PLUMBING SCOPE		C. EXECUTION	
A. SCOPE OF WORK		1. PRIOR TO BIDDING THE JOB THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING CONDITIONS. REPORT ADVERSE CONDITIONS IN WRITING TO ARCHITECT.	
1. SANITARY WASTE AND VENT PIPING SYSTEM.		2. GREASE INTERCEPTORS	
3. CONNECTION TO EXISTING SANITARY.		4. PLUMBING FIXTURES	
5. GAS PIPING, WATER PIPING, VALVES, AND FITTINGS.		6. INSULATION AND HANGERS	
7. PERMITS.		8. ALL CORE DRILLING AND PATCHING.	
B. MATERIALS		4. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR THE PROPER AND COMPLETE INSTALLATION OF ALL PLUMBING WORK SHOWN ON THE DRAWING.	
1. PIPING MATERIALS:		5. ALL NEW WASTE AND VENT PIPING SHALL BE APPROVED BY LOCAL INSPECTOR.	
SANITARY : S.W.C.I. WITH HUSKY BAND CLAMPS		6. INSTALL BALL VALVE AND UNION ON ALL HOT AND COLD WATER CONNECTIONS TO EQUIPMENT.	
VENT : S.W.C.I. WITH HUSKY BAND CLAMPS		7. GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM THE DATE OF ACCEPTANCE.	
GAS PIPING : BLACK STEEL THREAD JOINTS		8. ALL WATER PIPING IN EXTERIOR WALLS SHALL BE RUN ON THE WARM SIDE OF INSULATION	
WATER PIPING : TYPE "L" COPPER SOLDER JOINTS			
2. INSULATE ALL COLD WATER PIPING WITH 1/2" FIBERGLASS INSULATION WITH ALL SERVICE JACKET.			
INSULATE ALL HOT WATER AND REcirc. PIPING WITH 1" FIBERGLASS INSULATION WITH ALL SERVICE JACKET.			
3. PLUMBING FIXTURES:			
REFER TO PLUMBING FIXTURE SCHEDULE			

## GENERAL NOTES

- 1) FOR EXACT LOCATION OF PLUMBING FIXTURES SEE ARCHITECTURAL DRAWINGS.
- 2) EXAMINE ALL CONTRACT DRAWINGS, GENERAL CONDITIONS AND SPECIFICATIONS WHICH MAY AFFECT THE WORK.
- 3) ALL PLUMBING WORK MUST BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
- 4) CHECK INVERT ELEVATIONS AND EXACT LOCATIONS OF ALL OUTSIDE UTILITIES BEFORE INSTALLING ANY UNDERGROUND.
- 5) NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- 6) NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
- 7) ALL PLUMBING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LOCAL AND STATE PLUMBING CODES.
- 8) ROUGHING DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH GENERAL CONTRACTOR.
- 9) INSTALL ALL HOT AND COLD WATER PIPING AS PER SPECIFICATIONS.
- 10) INSTALL SHUTOFF VALVES ON ALL BRANCH SUPPLY LINES AND AT THE BASE OF HOT AND COLD WATER RISERS.
- 11) ALL ACCESS PANELS SHALL BE BY GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATIONS.
- 12) INSTALL ALL FLOOR CLEANOUTS TO CLEAR EQUIPMENT.
- 13) PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES AND CHARGES IN CONNECTION WITH HIS WORK.
- 14) PLUMBING CONTRACTOR SHALL PROVIDE WATERLIGHT SLEEVES FOR ALL PIPES PASSING THRU BASEMENT WALLS.
- 15) INSTALL CLEANOUTS AT THE BASE OF ALL SANITARY STACKS.
- 16) INSTALL ALL HORIZONTAL RUNS OF PIPING AS HIGH AS POSSIBLE, PITCH ALL WATER PIPING TO DRAIN, DRAW OFFS AT ALL POINTS.
- 17) PLUMBING CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO OUTSIDE UTILITIES.

## SCHEDULE OF CIRCULATOR PUMP

DESIGNATION	NAME	LOCATION	DESCRIPTION
RP-1	RECIRCULATION PUMP	MECHANICAL ROOM	PROVIDE GRUNDFOS UP-15-55 SFC/SUC SET AT 3 GPM @ 12' OF HEAD, WITH TIMER, INTEGRAL CHECK VALVE, AQUASTAT, LINE CORD. 115V, 10A

## SCHEDULE OF WATER HEATER

DESIGNATION	NAME	LOCATION	DESCRIPTION
WH-1	WATER HEATER	BASEMENT	"STATE" SUF119 300 NEA, GAS FIRED WATER HEATER, 119 GAL. CAP., 361 GAL. FIRST HOUR RATING, 349 GPH @ 100°F RISE RECOVERY. 300 MBH INPUT 120/10A

## GREASE TRAP SIZING

GREASE TRAP	GT-1	GREASE RECEIVING FIXTURES:		SIZE: 24Lx18Wx14D-EACH COMPARTMENT		
		-TRIPLE POT SINK	-TRIPLE POT SINK			
CALCULATION OF GREASE TRAP-THREE BAY SINK						
STEP 1: CUBIC CONTENT OF SINK 24Lx18Wx14D=4,480 CU. IN						
6,048 CU. IN X 3 COMPARTMENTS=18,144 CU. IN.						
STEP 2: CAPACITY IN GALLONS 18,144 CU. IN. /231=78.54 GAL.						
STEP 3: ACTUAL DRAINAGE LOAD 78.54 GAL. X .75 CAPACITY= 58.90 GAL.						
STEP 4: CALCULATE FLOW RATE 58.90 GAL. AT A 1 MIN. DRAIN 58.90 GAL/2 = 29.45 GAL. AT A 2 MIN. DRAIN						
ADD ALL FLOW RATES FLOW RATES 58.90 GPM + 8.5 GPM = 67.4 GPM						

## GREASE TRAP SCHEDULE

GREASE TRAP	GT-1	GREASE TRAP	GT-2	GREASE TRAP	GT-3
		JOSAM 60115-SA SERIES EPOXY COATED FABRICATED STEEL SEMI-AUTOMATIC GREASE INTERCEPTOR, LOW TYPE, PDI RATED AT 35 GPM AND 70 LBS, 3" INLET AND OUTLET SHALLOW ON-FLOOR TYPE, THREADED CONNECTIONS, INTERNAL AIR-RELIEF, VISIBLE DOUBLE WALL TRAP, REMOVABLE BAFFLE, GASKETED NON-SKID COVER GREASE RECOVERY CONE, FLEXIBLE HOSE, GREASE DRAW-OFF VALVE AND FLOW CONTROL FITTING.		JOSAM 60107-SA-RT SERIES EPOXY COATED FABRICATED STEEL SEMI-AUTOMATIC GREASE INTERCEPTOR, PROVIDE RECESSED CONCRETE ENCLOSURE OR RECESSED TRAP, PDI RATED AT 35 GPM AND 75 LBS, 3" INLET AND OUTLET SHALLOW ON-FLOOR TYPE, THREADED CONNECTIONS, INTERNAL AIR-RELIEF, VISIBLE DOUBLE WALL TRAP, REMOVABLE BAFFLE, GASKETED NON-SKID COVER GREASE RECOVERY CONE, FLEXIBLE HOSE, GREASE DRAW-OFF VALVE AND FLOW CONTROL FITTING.	
					JOSAM 60102-SA SERIES EPOXY COATED FABRICATED STEEL SEMI-AUTOMATIC GREASE INTERCEPTOR, PROVIDE RECESSED CONCRETE ENCLOSURE OR RECESSED TRAP, PDI RATED AT 7 GPM AND 15 LBS, 3" INLET AND OUTLET SHALLOW ON-FLOOR TYPE, THREADED CONNECTIONS, INTERNAL AIR-RELIEF, VISIBLE DOUBLE WALL TRAP, REMOVABLE BAFFLE, GASKETED NON-SKID COVER GREASE RECOVERY CONE, FLEXIBLE HOSE, GREASE DRAW-OFF VALVE AND FLOW CONTROL FITTING.

## GREASE TRAP SIZING

GREASE TRAP	GT-2	GREASE RECEIVING FIXTURES:		SIZE: 24Lx18Wx14D-EACH SINK		
		(3) DUMP SINKS	-DISHWASHER			
CALCULATION OF GREASE TRAP-THREE BAY SINK						
STEP 1: CUBIC CONTENT OF SINK 24Lx18Wx14D=4,480 CU. IN						
6,048 CU. IN X 3 COMPARTMENTS=18,144 CU. IN.						
STEP 2: CAPACITY IN GALLONS 18,144 CU. IN. /231=78.54 GAL.						
STEP 3: ACTUAL DRAINAGE LOAD 78.54 GAL. X .75 CAPACITY= 58.90 GAL.						
STEP 4: CALCULATE FLOW RATE 58.90 GAL. AT A 1 MIN. DRAIN 58.90 GAL/2 = 29.45 GAL. AT A 2 MIN. DRAIN						
ADD ALL FLOW RATES FLOW RATES 58.90 GPM + 8.5 GPM = 67.4 GPM						

## PLUMBING FIXTURE SPECIFICATION SCHEDULE

DESIGNATION	Fixture Symbol	Symbol	Manufacturer	Fixture			Fitting			Carrier	Location	Remarks
				Model	Type	Size	Manuf/Model#	Type	Supply			

REFER TO ARCHITECTURAL SPECIFICATIONS FOR PLUMBING FIXTURES

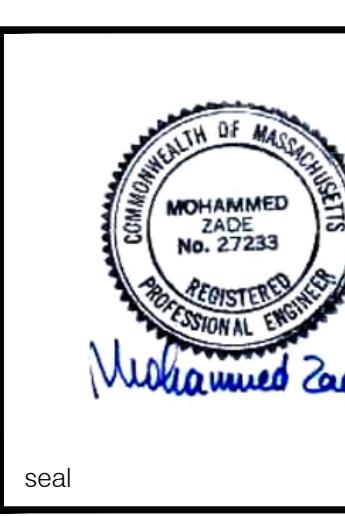
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2 ELIOT STREET  
MILTON, MA 02186

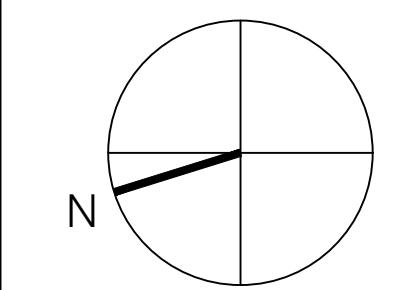
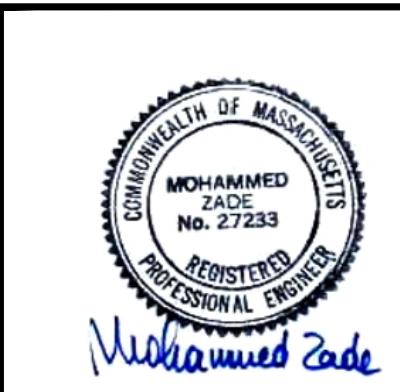
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1/4" = 1'-0"  
Plumbing Schedules

P-3

sheet

ZADE ENGINEERING LLC  
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NEW COMMERCIAL SPACE  
2 ELIOT STREET  
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Plumbing Details

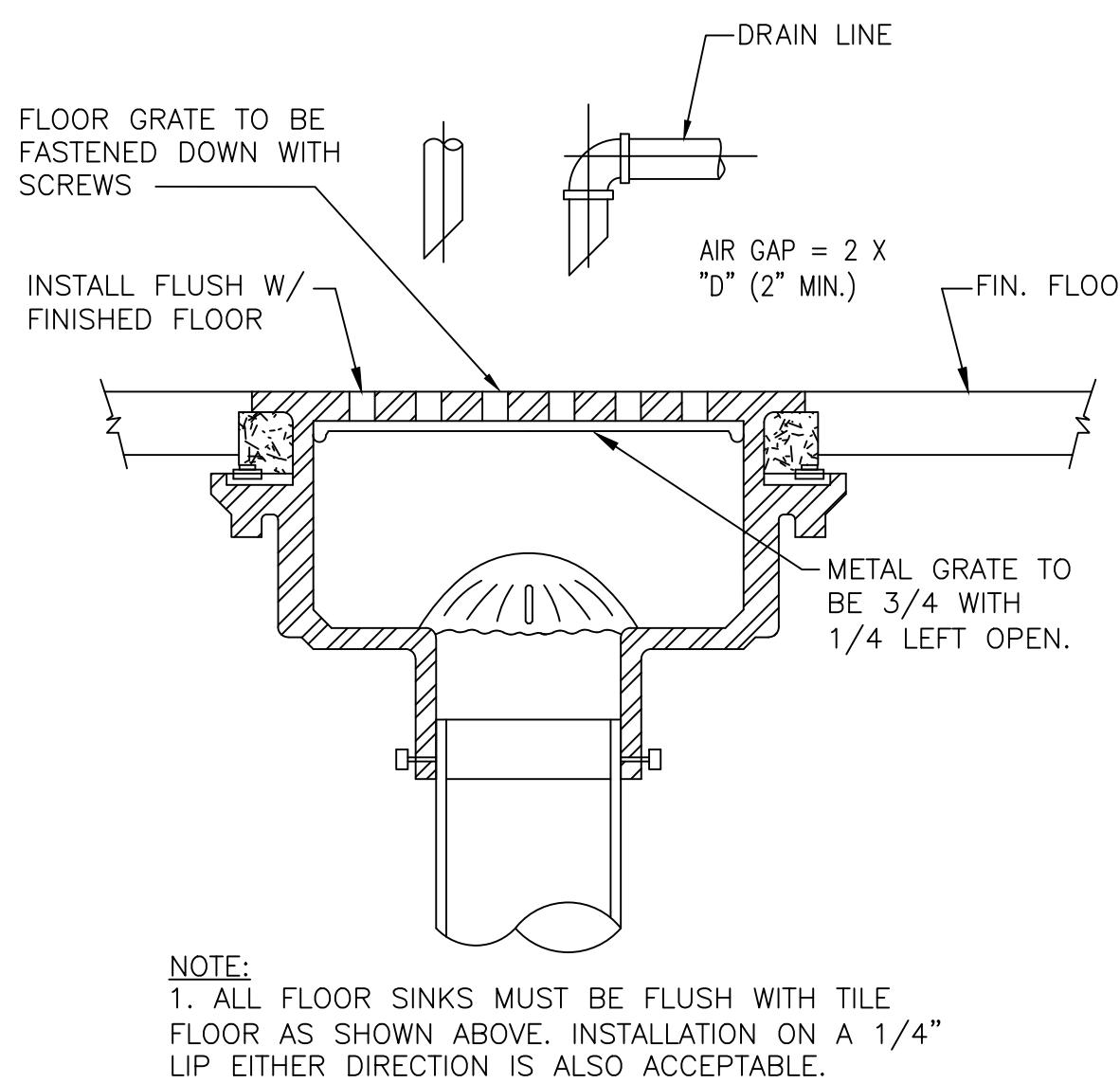
**P-4**

## LEGEND

SANITARY ABOVE FLOOR
SANITARY UNDER FLOOR
VENT
VENT BURIED
COLD WATER
HOT WATER
HOT WATER CIRCULATION
SHUT OFF VALVE
CHECK VALVE
FLOOR CLEANOUT
CLEANOUT
WALL CLEANOUT
VENT RISER
VENT THRU ROOF
WALL HYDRANT
ACCESS PANEL
SHOCK ABSORBER
GENERAL CONTRACTOR
HUB DRAIN
FLOOR DRAIN
FLOOR CLEANOUT
COLD WATER RISER
HOT WATER RISER
WASHING MACHINE
DISHWASHER
PLUMBING CONTRACTOR
UNION
HOSE BIBB
SHOWER DRAIN
SOIL STACK
RAIN WATER LEADER
ROOF DRAIN
VENT STACK

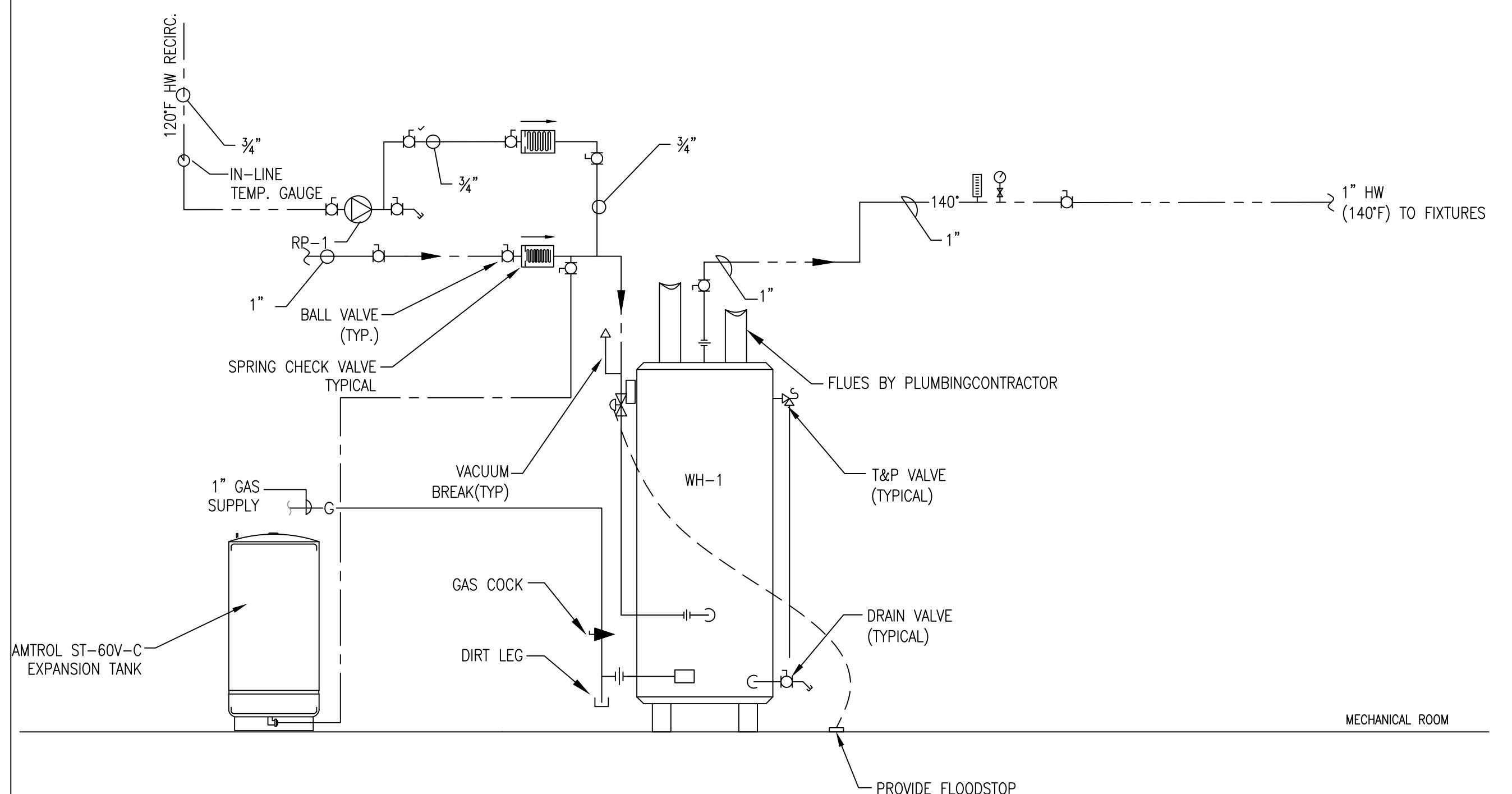
## PLUMBING LEGEND

N.T.S.



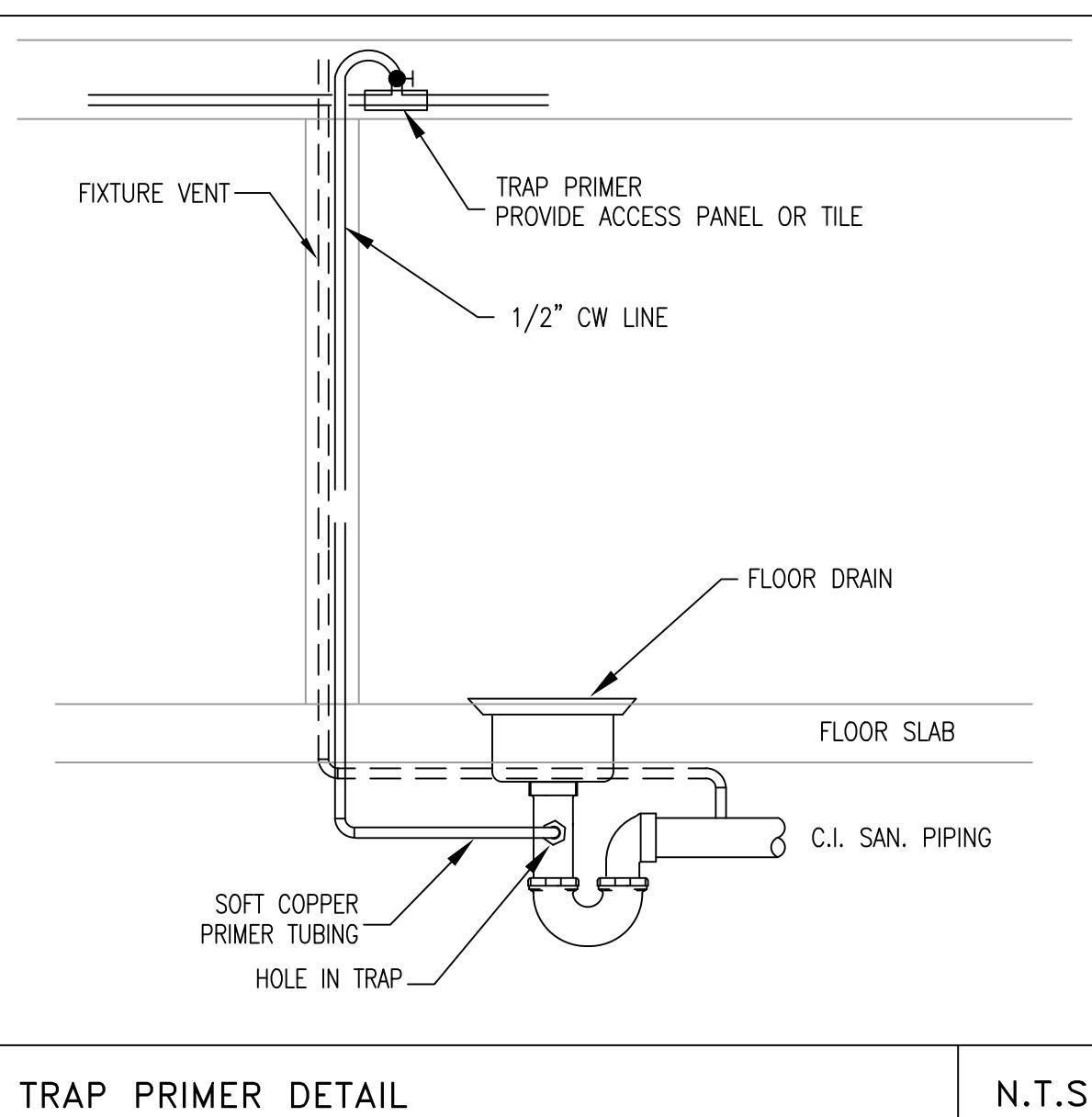
SANITARY FLOOR SINK DETAIL

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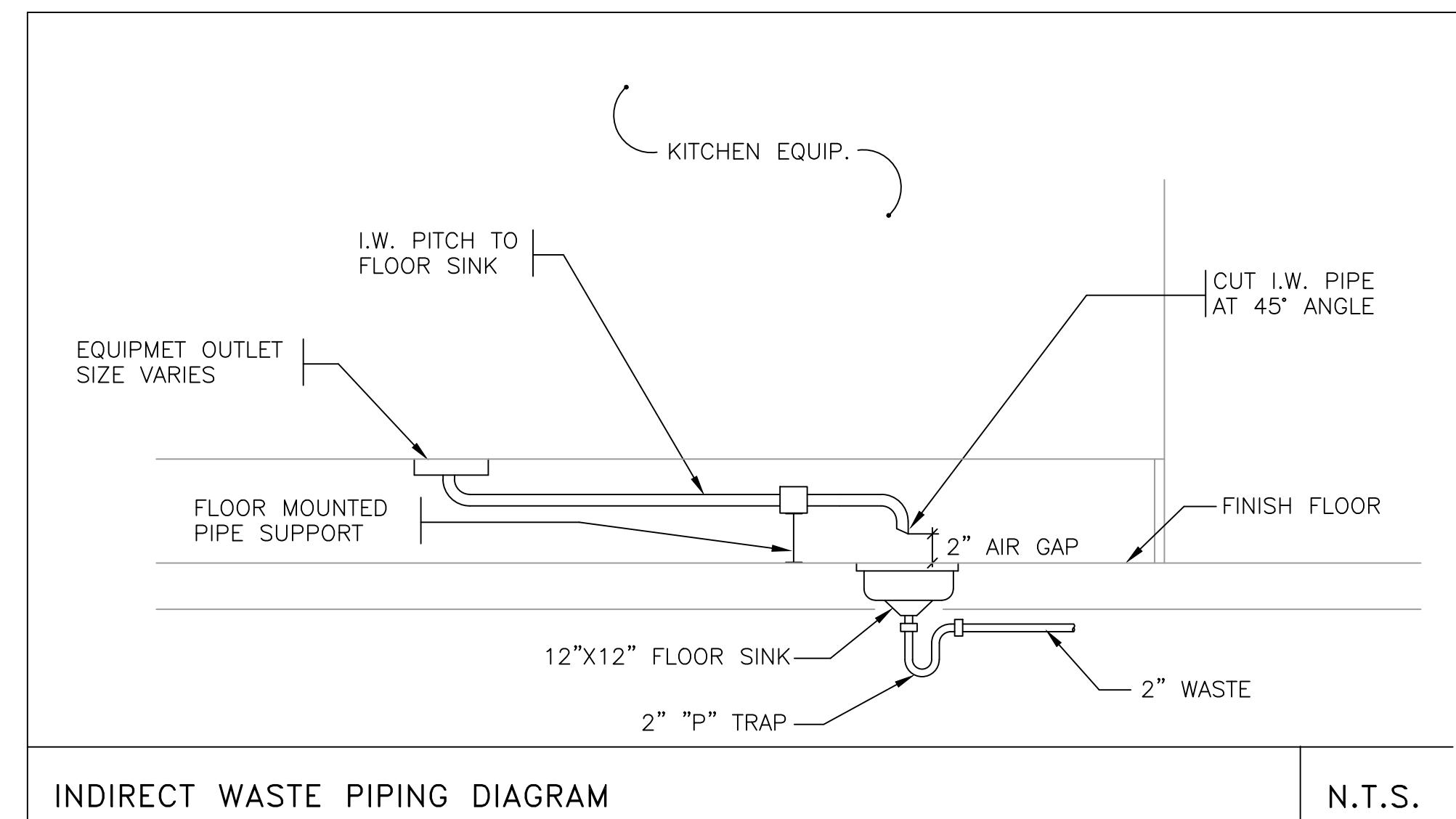
HOT WATER PIPING DIAGRAM

N.T.S.



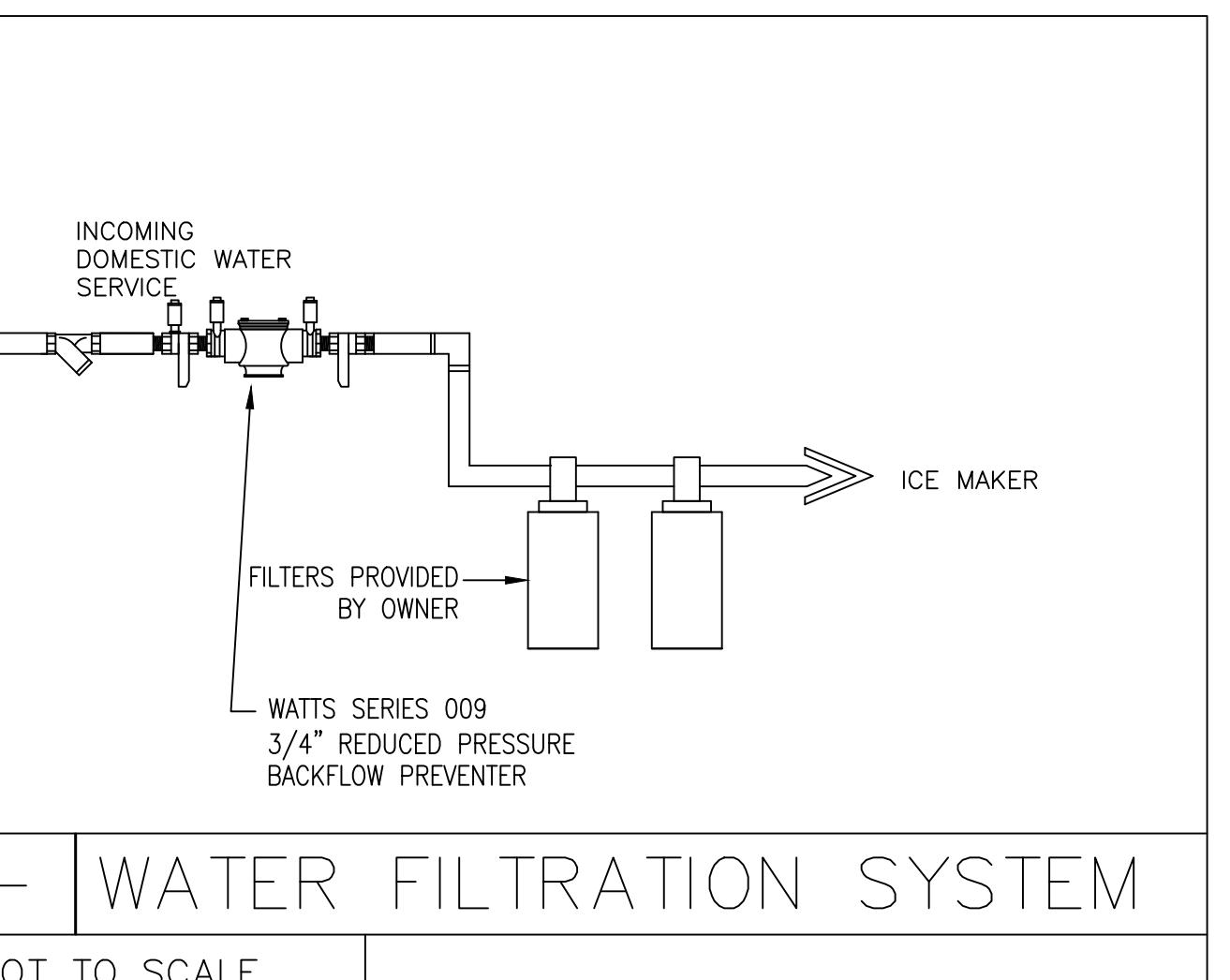
TRAP PRIMER DETAIL

N.T.S.



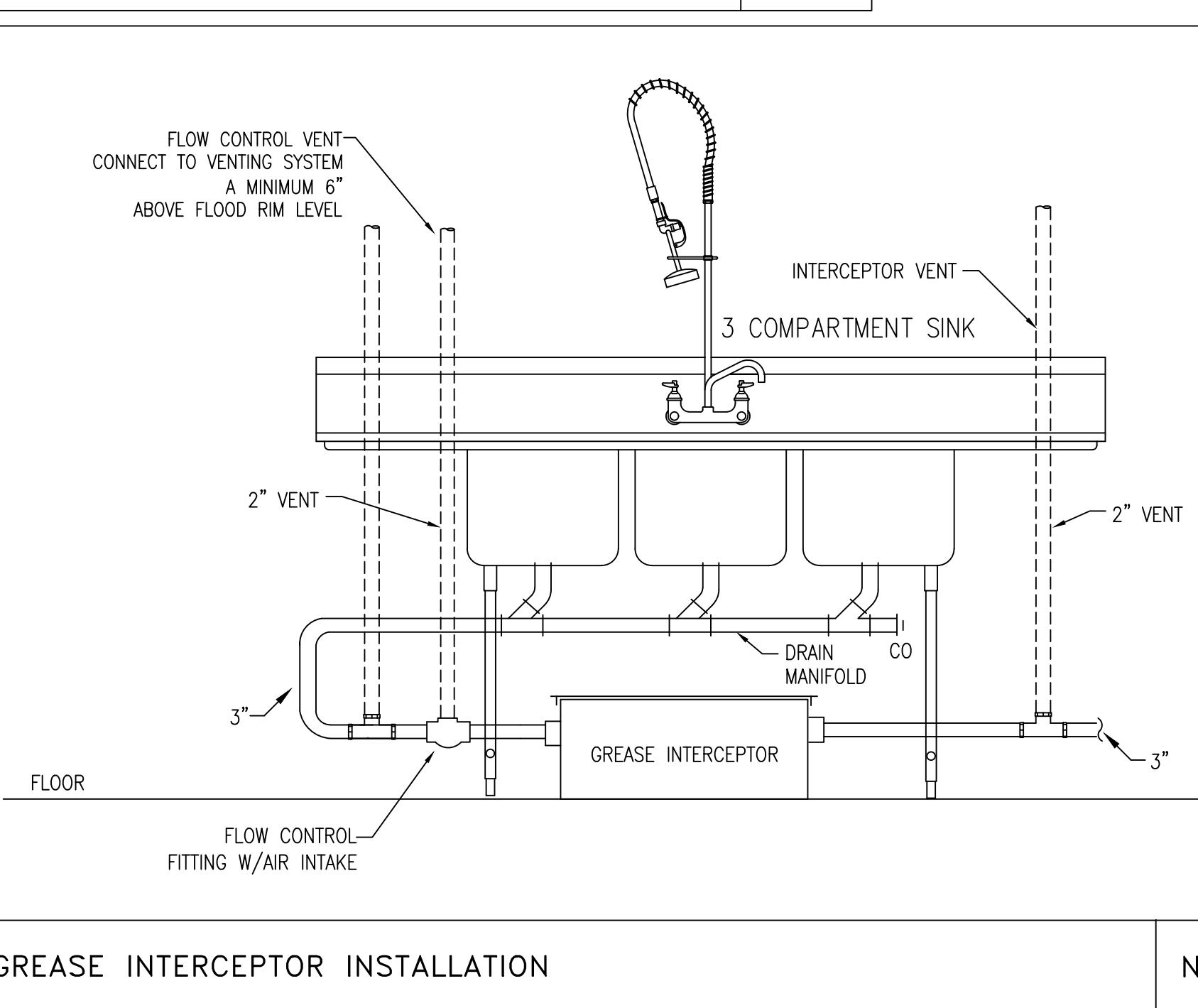
INDIRECT WASTE PIPING DIAGRAM

N.T.S.



WATER FILTRATION SYSTEM

NOT TO SCALE



GREASE INTERCEPTOR INSTALLATION

N.T.S.

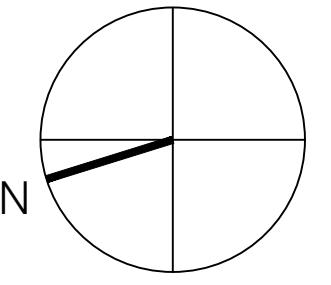
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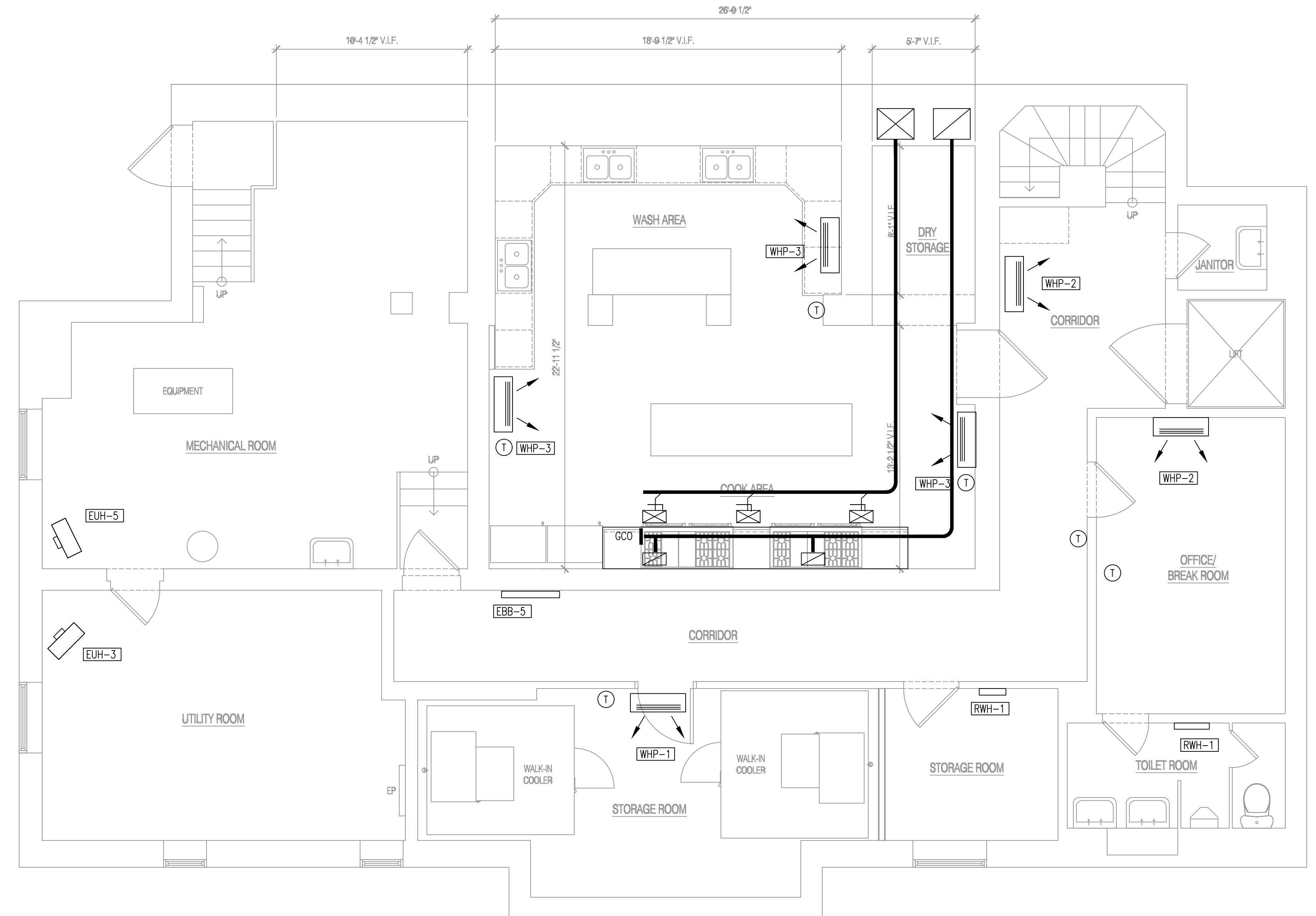


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project name  
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Basement HVAC  
Plan

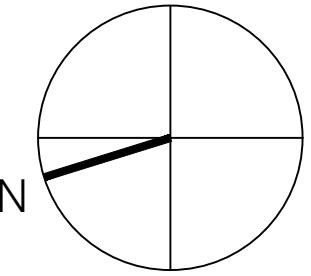
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CONSULTING ENGINEERS  
1 BILLINGS ROAD STE 306, QUINCY, MA 02171  
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EMAIL zade@zadeengineering.com

H-1



Mohammed Zade

1000



NEW COMMERCIAL SPACE  
2 ELIOT STREET  
MILTON, MA 02186

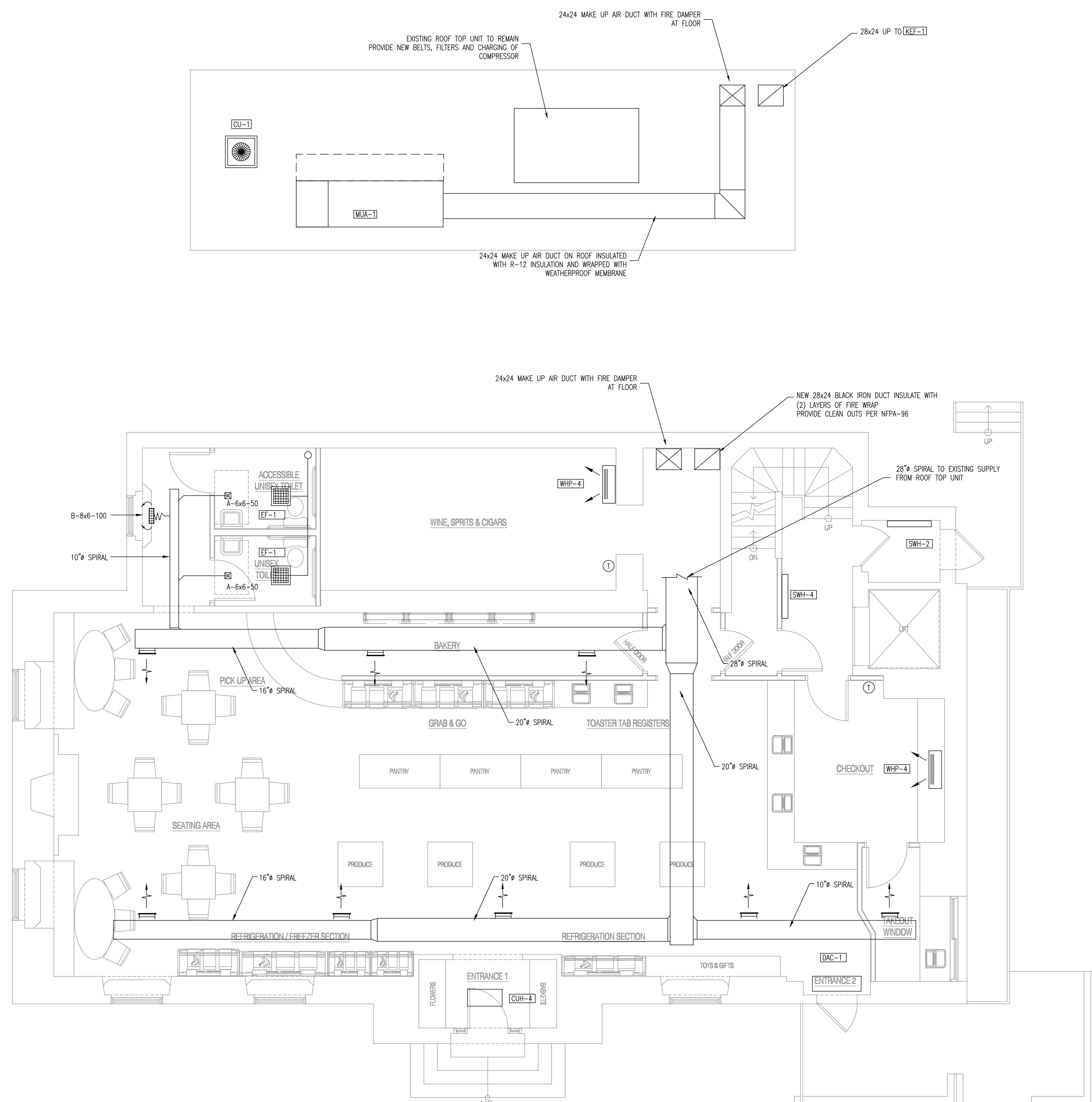
project name

GPH design  
architecture • planning

proj.no  
24025.00  
date  
DECEMBER 30, 2024  
scale  
1/4" = 1'-0"

# First Floor & Roof HVAC Plan

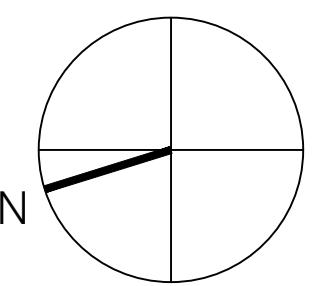
sheet H-2



**ZADE ENGINEERING LLC**  
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LC

DIFFUSER/REGISTER SCHEDULE	
LEGEND: <img alt="Legend for grille and diffuser types: A=6x6, B=8x8, C=10x10, D=12x12, E=14x14, F=16x16, G=18x18, H=20x20, I=24x24, J=28x28, K=32x32, L=36x36, M=40x40, N=48x48, O=52x52, P=56x56, Q=60x60, R=64x64, S=68x68, T=72x72, U=76x76, V=80x80, W=84x84, X=88x88, Y=92x92, Z=96x96, AA=100x100, BB=104x104, CC=108x108, DD=112x112, EE=116x116, FF=120x120, GG=124x124, HH=128x128, II=132x132, JJ=136x136, KK=140x140, LL=144x144, MM=148x148, NN=152x152, OO=156x156, PP=160x160, QQ=164x164, RR=168x168, SS=172x172, TT=176x176, UU=180x180, VV=184x184, WW=188x188, XX=192x192, YY=196x196, ZZ=200x200, AA=204x204, BB=208x208, CC=212x212, DD=216x216, EE=220x220, FF=224x224, GG=228x228, HH=232x232, II=236x236, JJ=240x240, KK=244x244, LL=248x248, MM=252x252, NN=256x256, OO=260x260, PP=264x264, QQ=268x268, RR=272x272, SS=276x276, TT=280x280, UU=284x284, VV=288x288, WW=292x292, XX=296x296, YY=300x300, ZZ=304x304, AA=308x308, BB=312x312, CC=316x316, DD=320x320, EE=324x324, FF=328x328, GG=332x332, 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NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186

project name

**GPH** design  
architecture • planning

proj.no 24025.00  
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1 BILLINGS ROAD STE 306, QUINCY, MA 02171  
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HVAC Details

**H-4**  
sheet

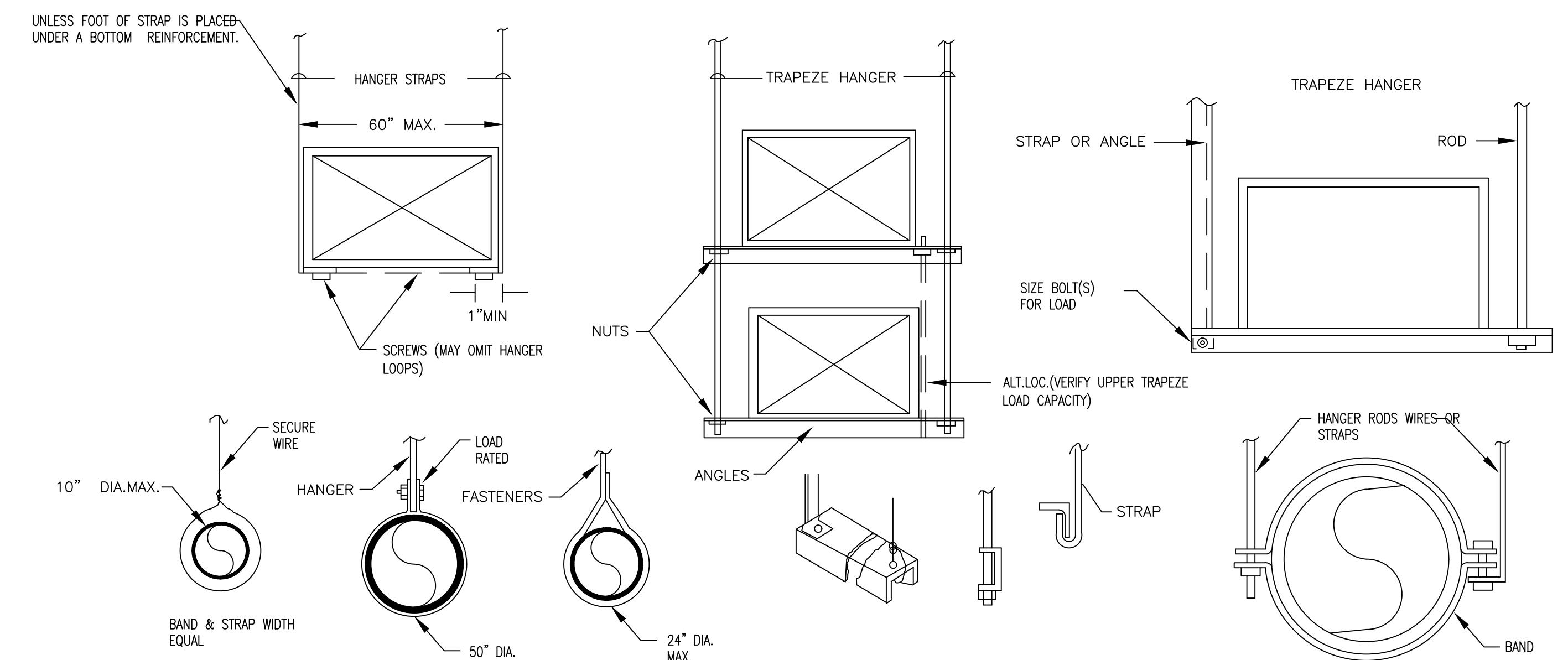
### KITCHEN HOOD REQUIREMENTS

Provide and/or verify the following items with regards to Commercial Hood:

1. A return air intake for re-circulating air-conditioning can be no closer than 10 feet from cooking appliances.
2. Per NFPA 96 5.3.4, a fire damper actuated at a maximum of 286 degrees, which must be installed in the supply plenum.
3. No dampers can be installed in the exhaust system, per NFPA 96 9.1.1.
4. Per NFPA 96 8.1.1 Upblast exhaust fans must be hinged, supplied with flexible weatherproof electric cable, and service hold-open retainers. For in-line or utility set exhaust fans see NFPA 96 8.1.2 and 8.1.3.
5. Per NFPA 96 10.10, A portable alkaline extinguisher listed for extra hazard class fires must be ten (10) to twenty (20) feet from cooking equipment and five (5) feet above the floor. NOTE: Class B gas-type portables such as CO2 and halon shall not be used in the kitchen cooking area (NFPA 96 10.10.3).

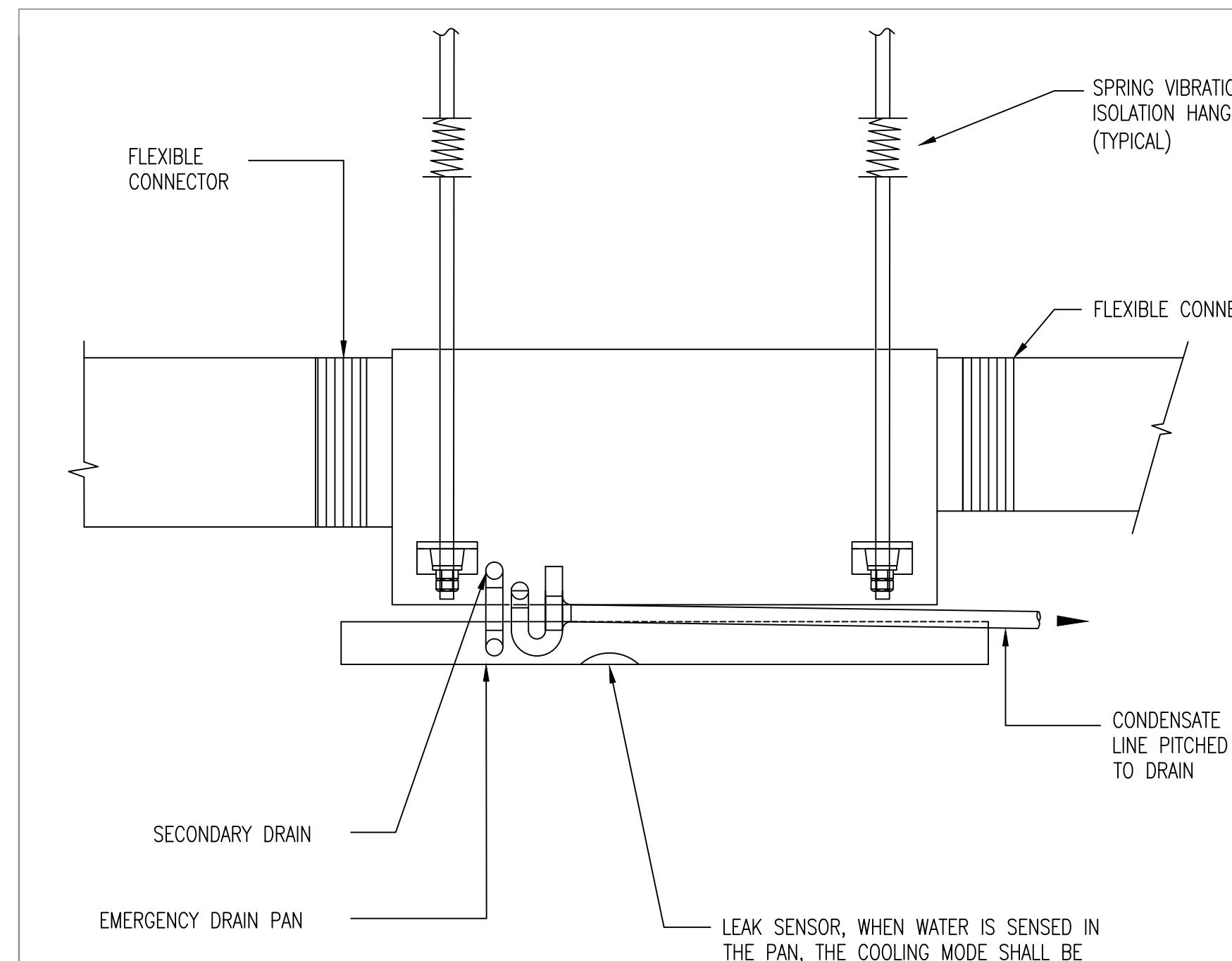
Please provide and/or verify the following items with regards to Exhaust Duct System:

1. That the exhaust ducts can not pass through fire rated partitions (without shaft protection) and must be independent of any other building ventilation or exhaust system as per NFPA 96 7.1.
2. Per NFPA 96 7.3.1 that the access panel openings must be provided at the sides or at the top of the duct, whichever is more accessible, and at changes of direction.
3. Per NFPA 96 7.1.2 that the exhaust duct must lead as directly as is practical to the exterior to decrease the fire hazard and must comply with the Following:
  - A. Ducts must be constructed of and supported by 16-gauge carbon steel or 18-gauge stainless steel (NFPA 96.7.5)
  - B. All seams, joints, and penetrations must have liquid tight external welds. ( NFPA 96 7.1.2)
  - C. An access panel must be provided for hoods with dampers on exhaust or supply ducts and for all openings required for accessibility. (NFPA 96 7.1.5)
4. Per NFPA 96 7.7, fire rated shaft protection is required for interior installation of duct systems.
  - A. One-hour rated shaft enclosure for ducts connecting three stories or less. ( NFPA 96 7.7.2.1)
  - B. Two-hour rated shaft enclosure for ducts connecting four stories or more. ( NFPA 96 7.7.2.1)
  - C. Ducts that pass through a rated roof/ceiling assembly must be enclosed by a shaft. (NFPA 96.7.7.1.2)
5. Per NFPA 96 4.2.1, Figure A 4.2 (d), where fire rated shaft enclosures are not required, hood, grease removal devices, exhaust fans, and ducts must have clearances as follows:
  - A. Minimum 18 inches to combustible materials. (NFPA 96 4.2.1)
  - B. Minimum three inches to limited combustible materials and zero inches to noncombustible materials.
  - C. Where the hood, duct, or grease removal device is listed for clearances less than those required by NFPA 96 4.2.1, the listed requirements shall be permitted. (NFPA 96 4.2.2)
6. Per NFPA 96 7.6, exterior installation of exhaust ducts must be vertical wherever possible, be located at least 18" from combustibles, 3" from limited combustibles, and must be painted or provided with some other means of weather protective coating (except stainless steel ducts).
7. Per NFPA 96 7.8.2(1) and 7.8.2(2), for roof termination, exhaust outlets must be located 10 feet from adjacent buildings or intake openings, and located a minimum of 5 feet from the outlet (fan housing) to any combustible structure.
8. Where the exhaust fan terminates at a wall, it must meet the following:
  - A. A clearance of ten feet from the outlet to adjacent buildings, property line, grade level, electrical equipment, or to any intake or operable door or window at or below the plane of exhaust termination. (NFPA 96 7.8)
  - B. The closest point of any air intake or operable door/window above the plane of exhaust termination must be minimum ten feet distance plus three inches for each one-degree from horizontal. [NFPA 96 7.8.3(2)].
  - C. All ductwork must be pitched to drain the grease back into hoods, or to container within the building, or into a remote grease trap. (NFPA 96 7.8.3(5))

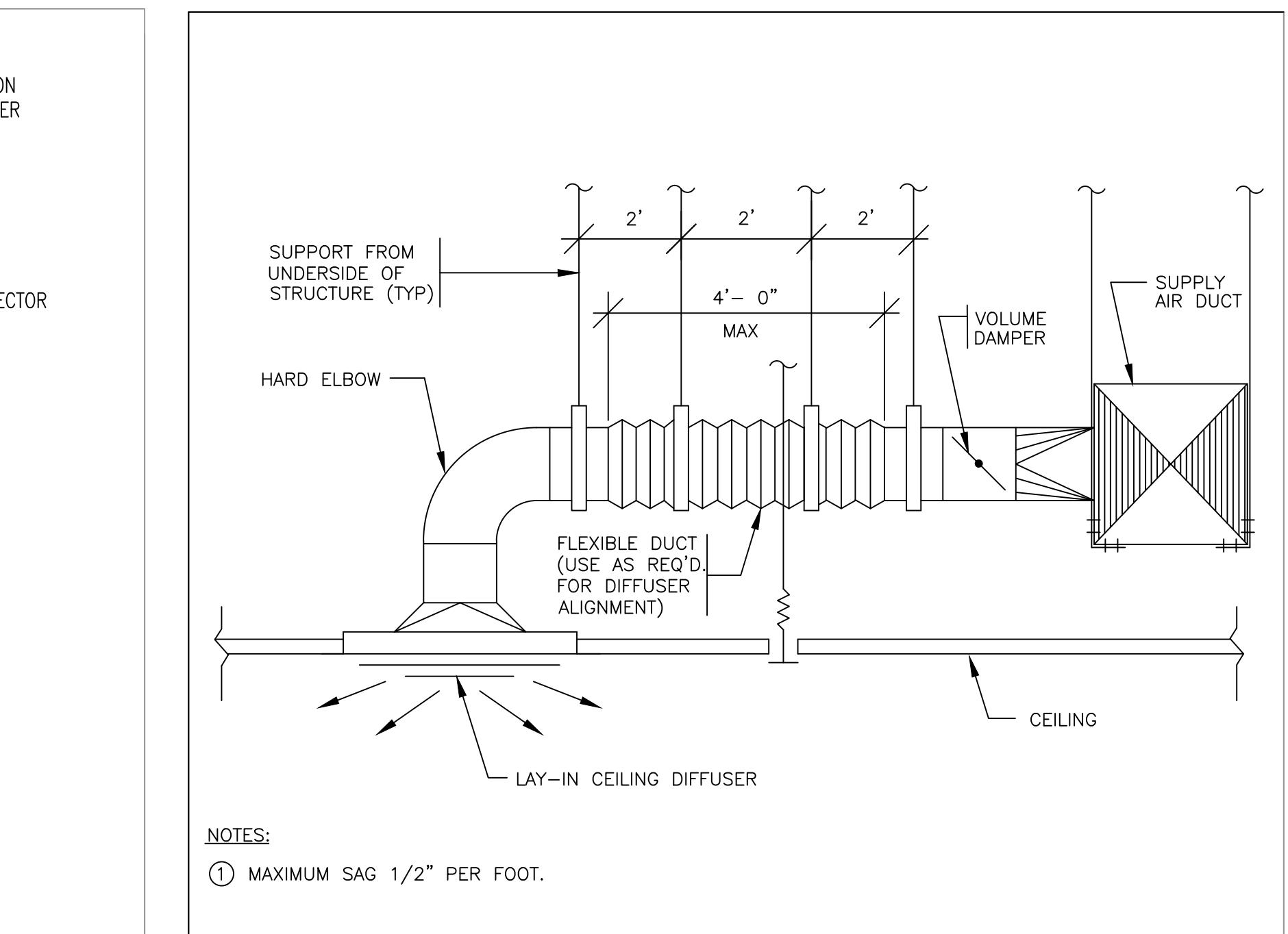


DUCT HANGER DETAIL

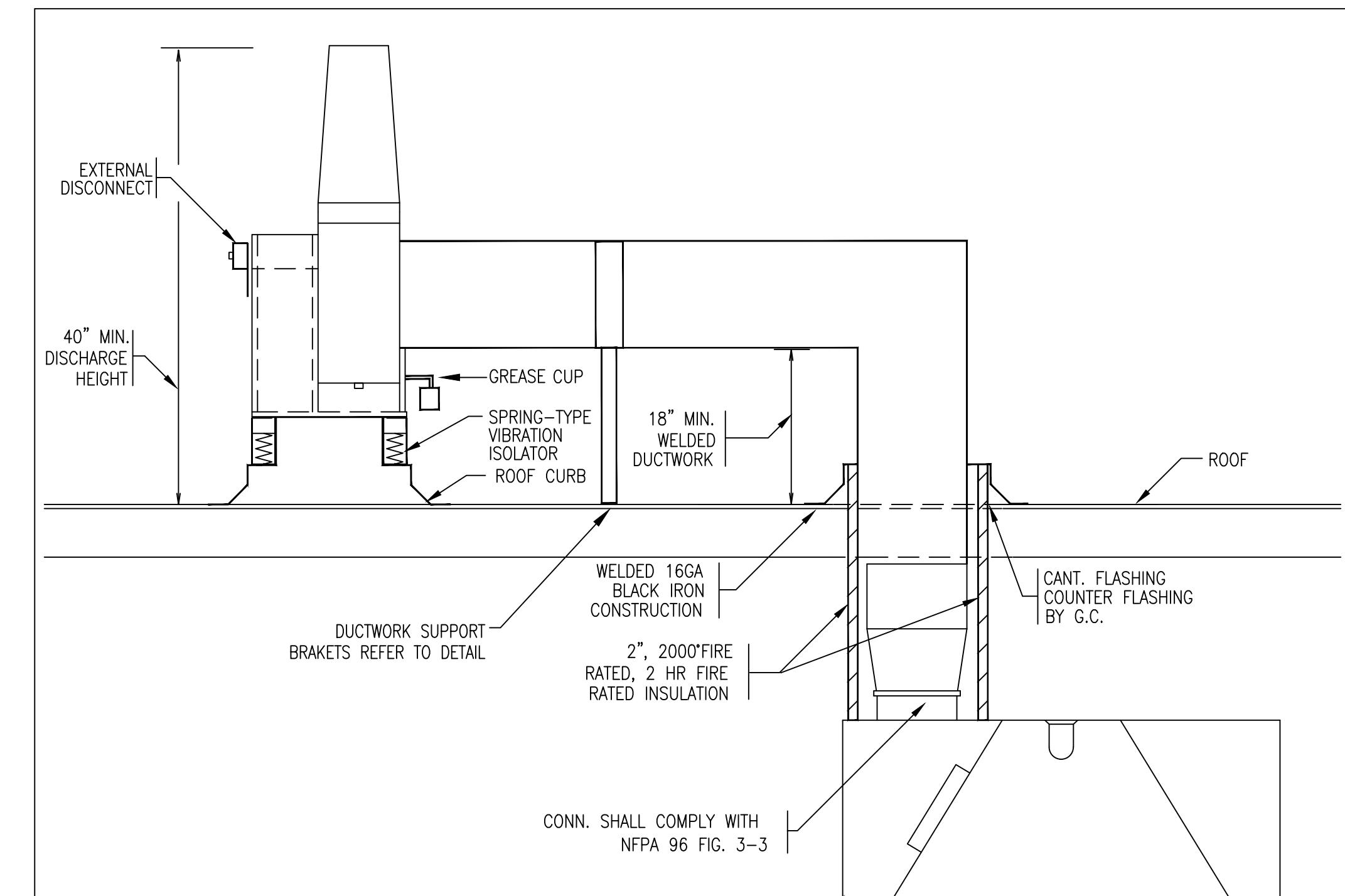
N.T.S.



TYPICAL HORIZONTAL HEAT PUMP DRAIN PAN DETAIL

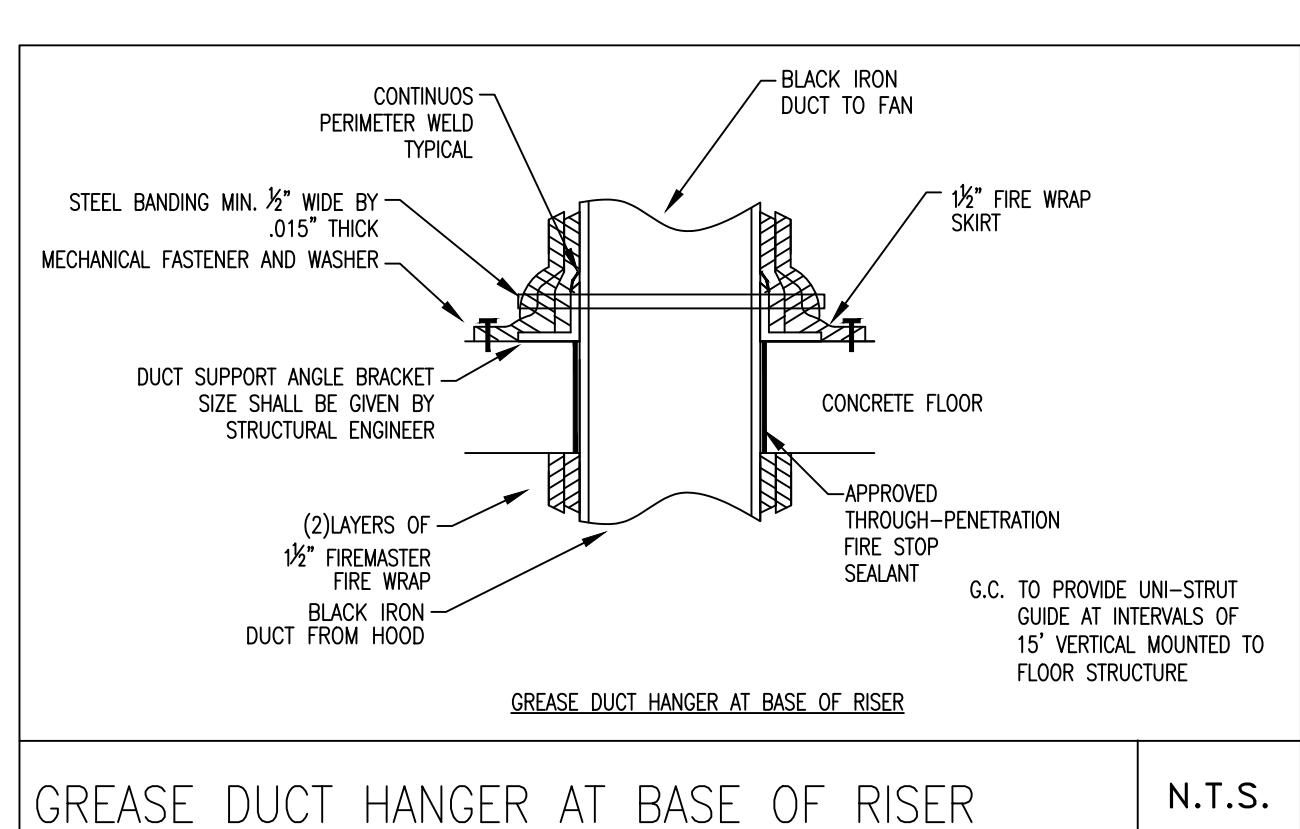


CEILING DIFFUSER BRANCH DUCTS

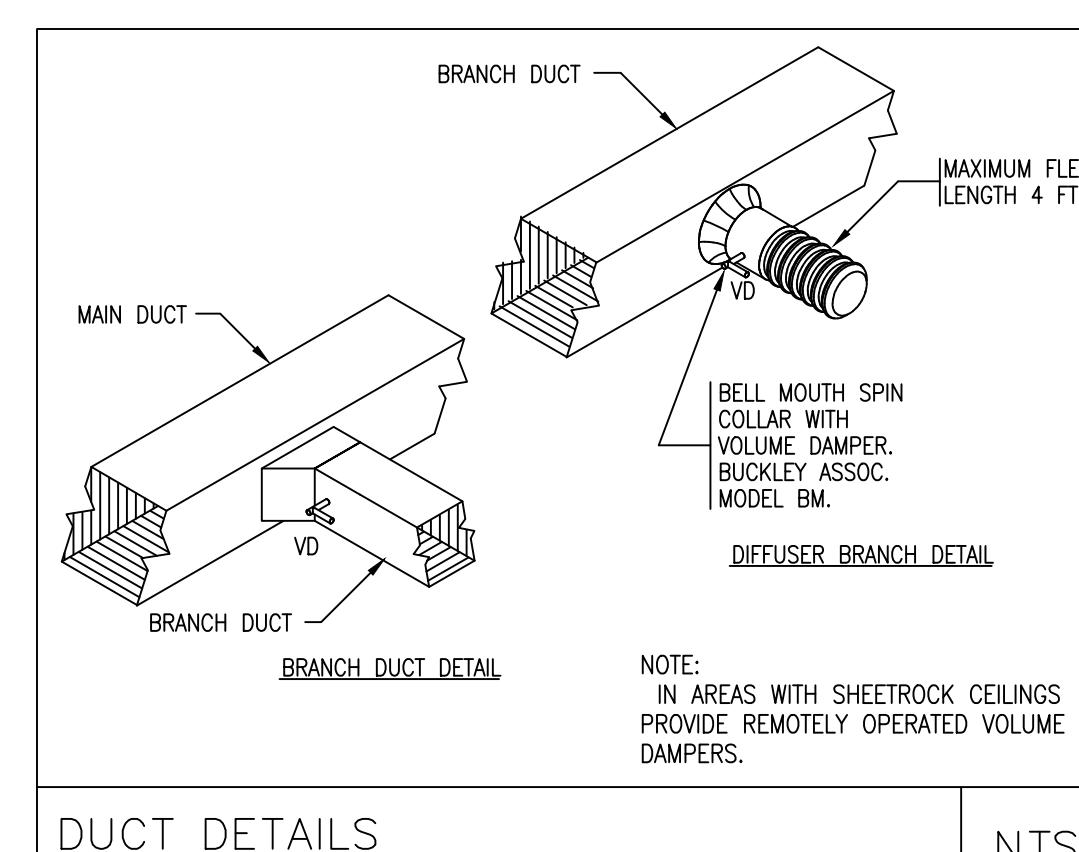


HOOD AND FAN DETAIL

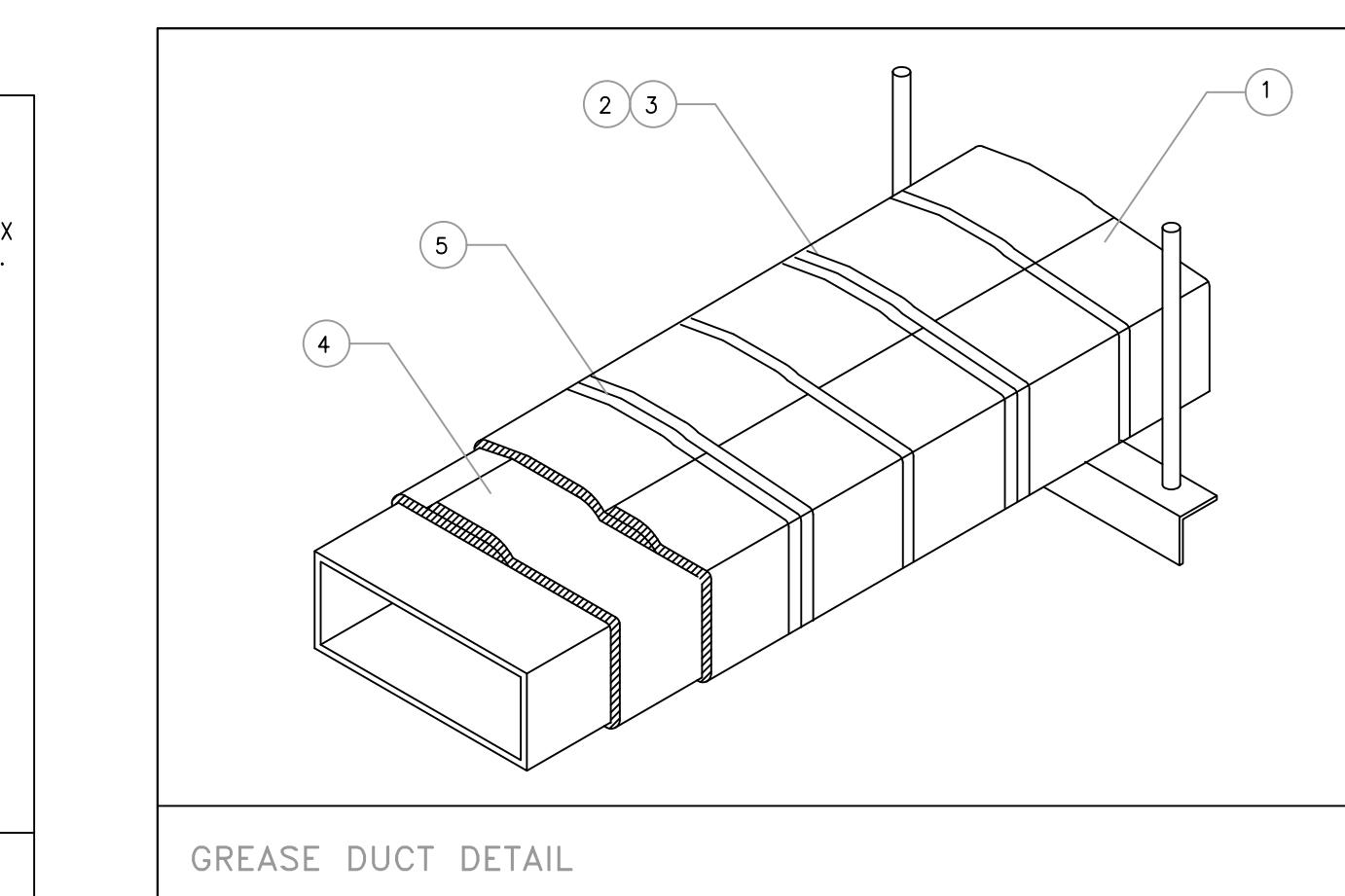
N.T.S.



GREASE DUCT HANGER AT BASE OF RISER



DUCT DETAILS

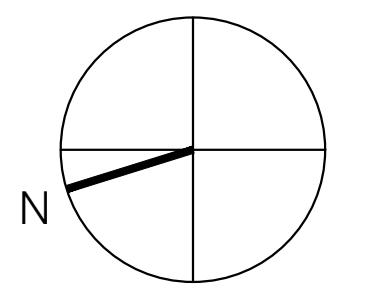


GREASE DUCT DETAIL

LEGEND	
1	TWO LAYERS CERAMIC FIBER DUCT WRAP
2	FILAMENT TAPE
3	STEEL BANDING
4	3" PERIMETER OVERLAP
5	3" LONGITUDINAL OVERLAP



seal



NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
BASEMENT FLOOR PLAN (LIGHTING)

proj.no

24025.00

date

DECEMBER 30, 2024

scale

1/4" = 1'-0"

E-1

CONNECT ALL EXIT SIGNS AND EMERGENCY BATTERIES TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY CONTROLS TYPICAL FOR ALL AREAS

WHERE CEILING IS FIRE RATED, ALL RECESSED FIXTURES AND EXHAUST FANS SHALL BE INSTALLED WITH FIRE RATED ENCLOSURES 3" MINIMUM LARGER THAN FIXTURES TO MAINTAIN INTEGRITY OF CEILING FIRE RATING AND COOLING OF THE FIXTURES.

EXACT LOCATION AND TYPES OF ALL LIGHTING FIXTURES, MOUNTING HEIGHTS AND MOUNTING DETAILS SHALL BE COORDINATED WITH ARCHITECTURAL REFLECTED CEILING PLANS AND ANY CONFLICTS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO ANY WORK DONE. OBTAIN LATEST COPY OF THE CEILING PLAN FROM ARCHITECT PRIOR TO ANY WORK DONE.

TO MEET IECC CONTRACTOR SHALL PROVIDE IN EACH SPACE (EXCEPT CORRIDORS, BATHROOMS AND UTILITY/MECHANICAL ROOMS), CEILING MOUNTED OCCUPANCY SENSOR TO CONTROL LIGHTS IN THE SPACE. INSTALL SELF CONTAINED TYPE OR RELAY TYPE CEILING MOUNT SENSORS AS REQUIRED TO MATCH LOAD AND VOLTAGE CHARACTERISTICS. LOCATE SENSOR IN CEILING AWAY FROM THE DOOR NOT TO PICK UP NUINANCE ACTIVATION.

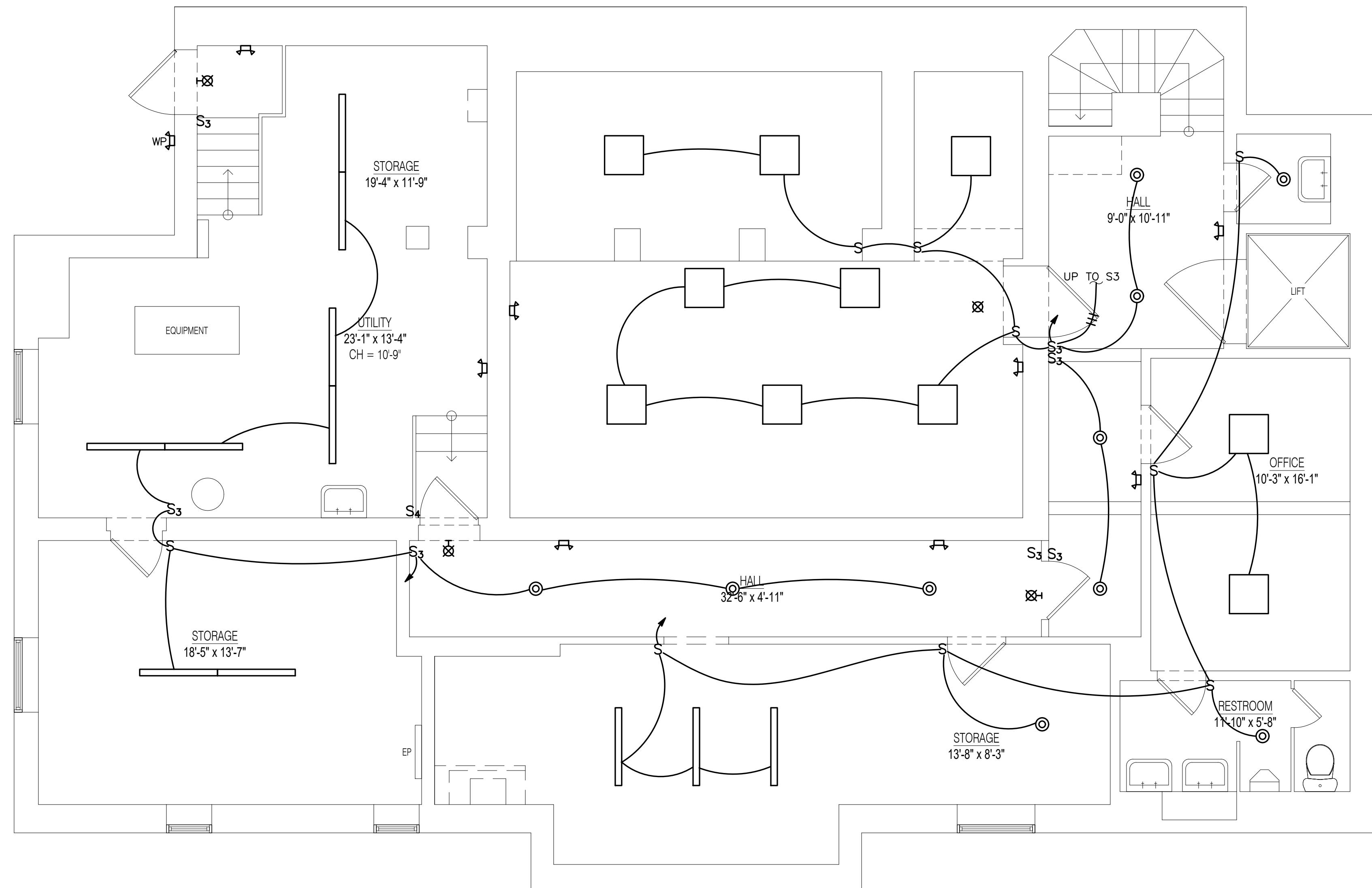
IN AREAS WHERE FIXTURES ARE MOUNTED INTO INSULATED CEILINGS, THIS CONTRACTOR SHALL PROVIDE HOODS, 3" LARGER THAN FIXTURES TO KEEP INSULATION AWAY FROM THE FIXTURES AND TO MAINTAIN INSULATION INTEGRITY OF THE CEILING. SEE ARCHITECTURAL DRAWINGS FOR AREAS WHERE THESE HOODS MAY BE REQUIRED.

**EP** INDICATES EXTERIOR MOUNTED EMERGENCY LIGHT. CONNECT ALL REMOTE EMERGENCY LIGHTS ON CIRCUITS SO THAT (WATTSXF) IS LESS THAN 3200 UNITS AND WIRE WITH #10 CU TO REMOTE BATTERY. PROVIDE 12V SEALED CALCIUM BATTERY UNIT AS REQUIRED OR AS SPECIFIED. BATTERY SHALL BE LOCATED IN A WARM ROOM AND FED FROM LIGHTING CIRCUIT SERVING THE AREA WHERE REMOTE HEADS ARE LOCATED.

BATTERY SHALL BE EMERGI-LITE 12LSM 220V OUTDOOR LIGHTS SHALL BE EMERGI-LITE EF11D

COORDINATE LOCATION OF SURFACE MOUNTED LIGHT FIXTURES WITH SPRINKLER CONTRACTOR PRIOR TO ANY INSTALLATION

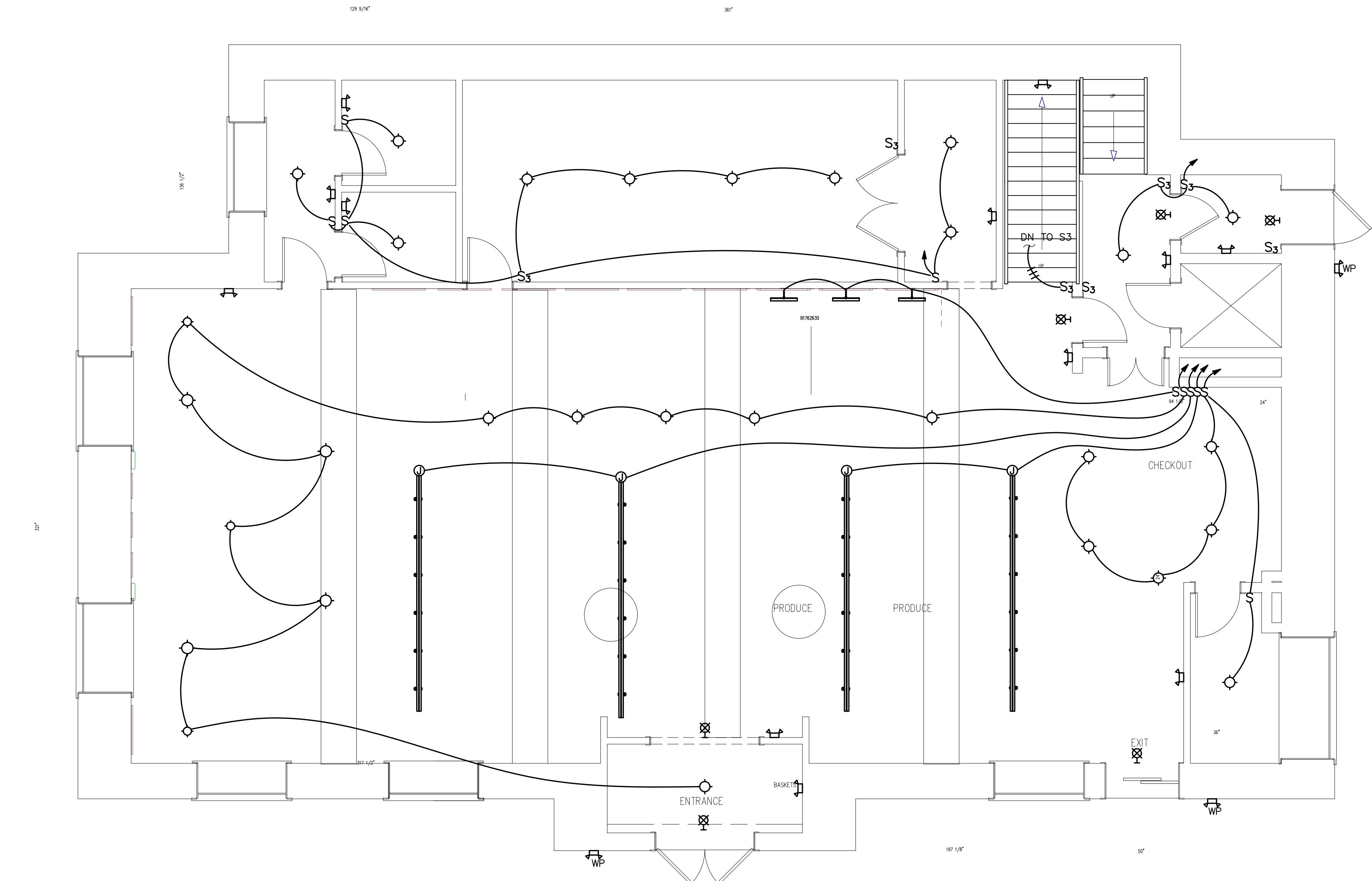
EC SHALL OBTAIN LATEST LIGHT FIXTURE AND CONTROL SPECIFICATIONS FROM ARCHITECT.



## FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	DESCRIPTION
EP	EMERGI-LITE	PRO2VM	120		EMERGENCY LIGHT WITH BUILT-IN BATTERY
☒	EMERGI-LITE	LEDPXN1/2R	120		EXIT SIGN

LAMPS AND BALLASTS SHALL BE IN COMPLIANCE WITH LOCAL UTILITY COMPANY REBATE PROGRAMS, SPECIFICATIONS ABOVE FOR THE FIXTURE TYPE ONLY. FLUORESCENT FIXTURES SHALL HAVE ELECTRONIC BALLASTS THD LESS THAN 215. FIXTURES MOUNTED IN INSULATED CEILINGS, EC SHALL PROVIDE HOODS TO KEEP INSULATION AWAY.



project name  
NEW COMMERCIAL SPACE  
2 ELIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
FIRST FLOOR PLAN (LIGHTING)

**GPH** design  
architecture • planning

proj.no  
24025.00  
date  
DECEMBER 30, 2024  
scale  
1/4" = 1'-0"

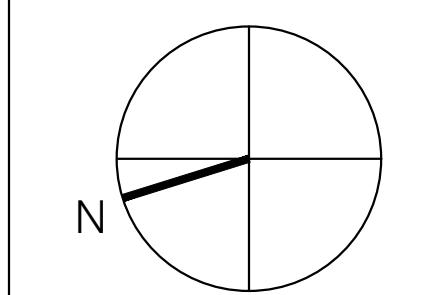
ZADE ENGINEERING LLC  
CONSULTING ENGINEERS  
1 BILLINGS ROAD STE 306, QUINCY, MA 02171  
TEL. (617) 338-4406  
FAX. (617) 451-2540  
EMAIL zade@zadeengineering.com

E-2

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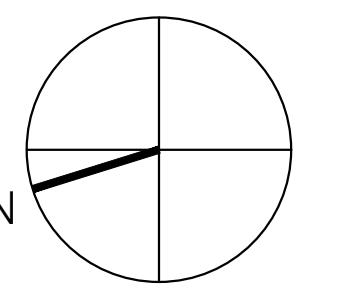
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purpose \_\_\_\_\_  
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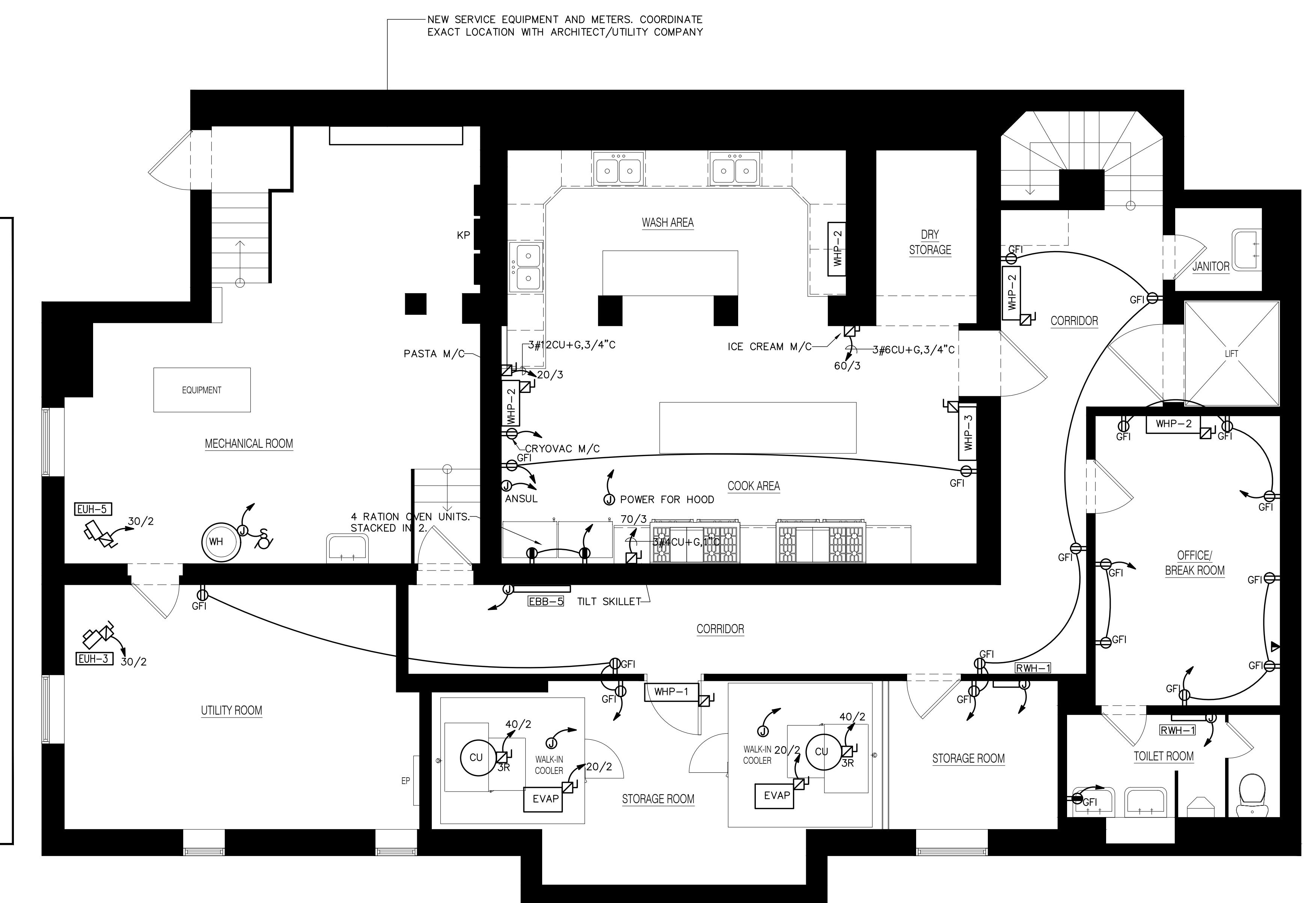
seal



project name  
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
BASEMENT FLOOR PLAN (POWER)

**DEMOLITION NOTES**

- Electrical contractor shall be responsible for all electrical demolition, removal and disposal of hazardous and non-hazardous material complete. To identify the scope of demolition, prior to bidding, electrical contractor shall visit the site and make himself familiar with the site conditions, scope of systems to be demolished.
- In general demolition work is shown on Architectural Demolition Floor Plans. Electrical Contractor shall be responsible for complete removal of all wiring and raceways for the parts of the system which rendered obsolete by this renovation.
- Major Demolition components are as follows:
  - Removal of existing panels due to demolition or re-location.
  - Removal of complete or partial lighting fixtures.
  - Removal of emergency lighting fixtures for demolition or re-location.
  - Removal of fire alarm devices for demolition or re-location.
  - Removal of all exposed wiring for the above listed systems.
- Pay maximum attention not to damage any remaining system and wiring in the space. Coordinate demolition work with the work of other disciplines.
- Maintain power to all remaining devices. If needed re-e outlets to nearest receptacle circuit.
- Provide plastic bags for all fixtures with open reflectors to prevent dusting during demolition.
- All circuits passing through the new openings for the new windows or doors shall be re-routed as needed.
- Any existing equipment which is to remain and made "dead" by removal on an adjacent device shall be fed from the nearest source.
- The procedure involved in the removal of equipment and materials shall not cause any weakening of existing structure members or bearing walls, equipment and materials removed from walls scheduled to remain, shall be accomplished with minimal damage to said walls.
- Removal of all existing obsolete Tel/Data wiring throughout the space. Prior to any demolition contractor shall confirm existing Tel/Data wiring not to damage any active lines. Contractor or his subcontractor shall be responsible for such identification.



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1/4" = 1'-0"

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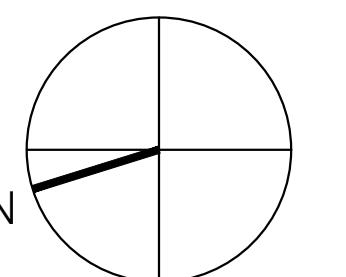
E-3

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Muqarrab Zadeh, PE

seal



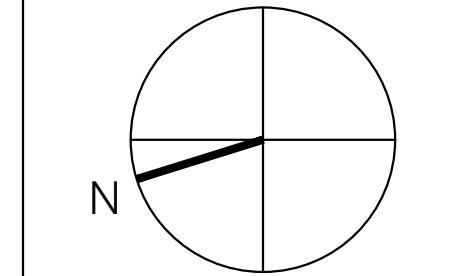
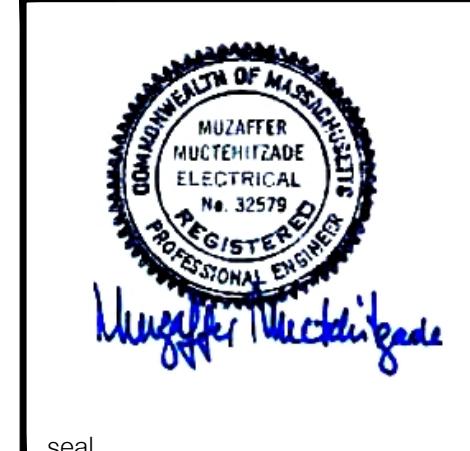
NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
FIRST FLOOR PLAN (POWER)

project name

proj.no  
24025.00  
date  
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scale  
1/4" = 1'-0"

E-4

sheet



NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
ELECTRICAL DETAILS

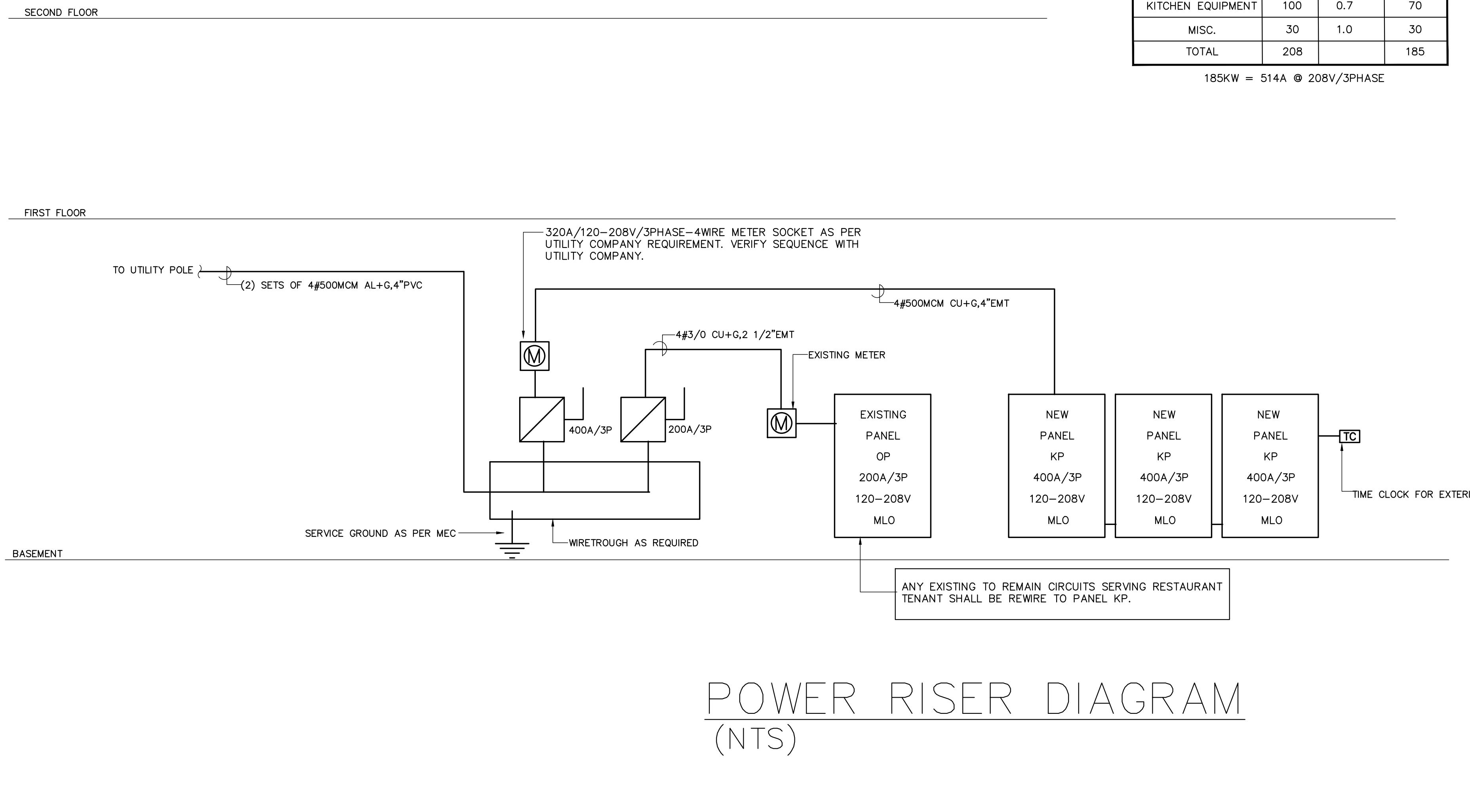
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scale  
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E-5

## SYMBOL LIST

○	CEILING MOUNTED LIGHT FIXTURE.
□	WALL MOUNTED LIGHT FIXTURE.
2'X2' OR 2'X4' FLUORESCENT LIGHT FIXTURE.	
S	1'X4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.
S <sub>3</sub>	SINGLE POLE LIGHT SWITCH
S <sub>0</sub>	THREE-WAY LIGHT SWITCHES
○	DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT
GFI	DUPLEX RECEPTACLE, 120V, 18" AFF.
○	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO Q.
○	120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE
○	DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO Q.
▼ <sup>W</sup>	TELEPHONE JACK COMPLETE W/JACK AND COVER, ("W" WALL MOUNTED @ 4'-0" A.F.F.)
▼	TELE/DATA OUTLETS, COMPLETE W/JACK AND COVER, HEIGHT AT 18" TO C AFF.
TV	CABLE TV OUTLET, COMPLETE W/JACK AND COVER, HEIGHT AT 18" TO C AFF.
○	MOTOR
3R	FUSED DISCONNECT SWITCH, (3R RAIN-PROOF).
□	STARTER
○	SYSTEM TYPE SMOKE DETECTOR
○	DUCT SMOKE DETECTOR W/REMOTE TEST SWITCH
○	HEAT DETECTOR
▽	FIRE ALARM PULL AND A/V DEVICE
○	FIRE ALARM PULL STATION CENTERLINE 4'-0" AFF
▽	FIRE ALARM AUDIO/VISUAL UNIT, MTD. @ 6'-8" AFF
○	FIRE ALARM LIGHT, MTD. @ 6'-8" AFF
○	TYPICAL WIRING, DIAGONAL LINES INDICATES QUANTITY OF CONDUCTORS.
—	HOMERUN TO PANEL WITH CONDUCTOR(HOT, NEUTRAL, GROUND)
J	JUNCTION BOX
—	LIGHTING & POWER PANEL, RECESSED
FACP	FIRE ALARM CONTROL PANEL
ANN	FIRE ALARM ANNUNCIATOR
TS	TAMPER SWITCH
FS	FLOW SWITCH
—	RACEWAY CONCEALED IN CEILING, PLUMIN OR WALLS
—	RACEWAY CONCEALED IN SLAB (FLOOR)
—	UNIVERSAL MOUNTING EXIT SIGN (DOUBLE FACED), ARROWS AS INDICATED.
○	EMERGENCY LIGHT WITH BUILT-IN BATTERY.
MS	OCCUPANCY SENSOR



PANEL SCHEDULE							
ITEM	VOLT/PHASE/WIRE	MLO	MCB	CIRC	F: Flush P: Plug S: Surf. B: Bolt	BRANCH BREAKERS	SPR=SPARE SPC=SPACE
NEW PANEL KP	120-208/3/4	400	-	126	S B	(1)110/3, (1)70/3 GFI, (1)60/3 GFI, (1)40/3, (1)30/3, (2)20/3 GFI, (2)40/2 GFI, (4)30/2 GFI, (4)30/2, (2)20/2 GFI, (2)20/2, (22)20/1GFI, (40)20/1	
EXISTING PANEL OP	120-208/3/4	200	-	42	S B	-	

SWITCHGEAR AND PANELBOARDS SHALL BE MANUFACTURED BY SQUARE D, SIEMENS OR GENERAL ELECTRIC

MAIN SWITCH AND MAIN DISTRIBUTION PANEL AND ALL CONSECUTIVE PANELS UP TO LAST TWO PANELS IN THE DISTRIBUTION GRID SHALL BE FULLY RATED AND LAST TO PANELS MAY BE SERIES RATED FOR AVAILABLE SHORT CIRCUIT RATINGS. IF SERIES RATINGS ARE APPLIED SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING PROPER SERIES RATED EQUIPMENT AS REQUIRED. AVAILABLE SHORT CIRCUIT CURRENT FOR THE MAIN SERVICE IS 100KA. SEE RISER DIAGRAM FOR CONNECTION DIAGRAM OF THE PANELS. NO LINE IMPEDANCES ARE TO BE CONSIDERED IN SERIES RATING APPLICATIONS.

### GENERAL POWER DISTRIBUTION NOTES

-BEFORE ORDERING ANY EQUIPMENT AND/OR START ANY CONSTRUCTION OR EXCAVATION ELECTRICAL CONTRACTOR AND/OR GENERAL CONTRACTOR SHALL CONTACT ELECTRIC/TELEPHONE/CATV COMPANIES FOR SERVICE POINT AND ROUTING SERVICE AVAILABILITY. THIS ENGINEER HAS MADE APPLICATION TO UTILITY COMPANY BUT YET NO CONFIRMATION HAS BEEN MADE BY THE UTILITY COMPANY. CONTRACTOR SHALL NOT PROCEED WITHOUT SUCH CONFIRMATION.

-FEEDERS ARE SIZED BASED ON 23 VD. CONTRACTOR SHALL FOLLOW THE FOLLOWING CRITERIA.

50A, UP TO 100FT #6, INCREASE BY ONE SIZE FOR EVERY 30FT. 100A, UP TO 100FT #3, INCREASE BY ONE SIZE FOR EVERY 30FT. 200A, UP TO 150FT #5/0, INCREASE BY ONE SIZE FOR EVERY 50 FT. 400A, UP TO 200FT #500, INCREASE BY ONE SIZE FOR EVERY 80FT.

-FOR SWITCHGEAR SHORT CIRCUIT RATINGS, SEE NOTES UNDER PANEL SCHEDULES.

-PRIOR TO ORDERING ANY SWITCHGEAR ELECTRICAL CONTRACTOR SHALL CONFIRM CIRCUIT BREAKER SIZES WITH HVAC AND OTHER MECHANICAL EQUIPMENT SHOP DRAWINGS. DUE TO SUBMITTAL TIMING FROM VARIOUS CONTRACTORS, ENGINEERS APPROVAL IS GIVEN FOR QUALITY ONLY.

-CONTRACTOR SHALL COORDINATE WITH OTHER TRADES SO THAT NO OTHER TRADE SHALL PASS THROUGH ELECTRIC ROOM OR ABOVE DEDICATED SPACES. INFORM ARCHITECT/ENGINEER ABOUT ANY INFRINGEMENTS PRIOR SUCH INSTALLATIONS OCCUR.

-ELECTRIC ROOM DIMENSIONS ARE BASED ON CERTAIN MANUFACTURER EQUIPMENT DIMENSIONS, CONTRACTOR SHALL CONFIRM ROOM DIMENSIONS PRIOR TO ORDERING EQUIPMENT

### ELECTRICAL SPECIFICATIONS

#### 1.1 General

- A. The General Conditions and Drawings issued for this Project shall be considered as part of the Electrical Specifications.
- B. The term "This Contractor" as used under this Section and wherever used on the Drawings shall mean the Electrical Contractor.

#### 1.2 Scope of Work

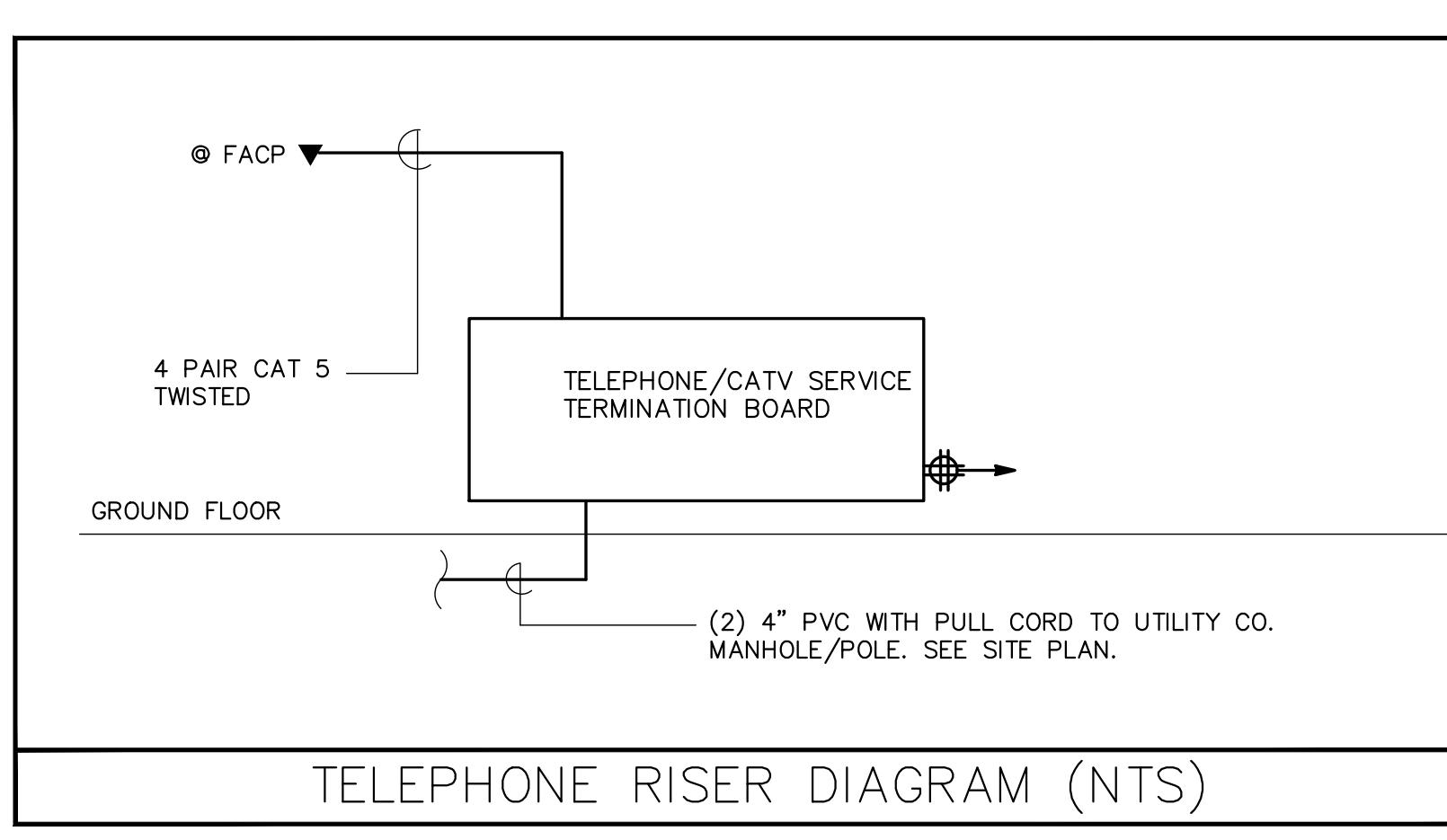
- A. The work under this Specification includes the furnishing of all labor and material as specified herein and as shown on the Drawings necessary to install a complete and ready for operation. Manufacturer's catalogue numbers are shown for reference purposes only. They are meant to provide a general description of the design and quality of materials required. Equivalent products by other manufacturers will be considered.

#### 1.3 Codes and Specifications

- A. The work shall be conducted in accordance with the latest rules and regulations of the State of MASSACHUSETTS and the local codes as most recently issued, OSHA codes, National Electrical Codes and NFPA.
- B. All exposed wiring shall be in electric metallic tubing. All concealed wiring shall be in accordance with local codes.
- C. All branch circuit conductors shall be copper, minimum #12 AWG size THHN or THW as required, 600V rated.
- D. All feeder conductors shall be copper, AWG size as noted XHHW insulation, 600V.

#### 1.4 Coordination of Work

- A. The Contractor shall schedule and coordinate his work with all trades involved to insure proper installation and operation.
- B. The Contract Drawings are diagrammatic only and indicate the extent, general locations and arrangement of the piping and wiring of equipment. The exact locations shall be coordinated with Architectural Drawings and Documents of other trades.
- C. This Contractor shall verify fixture mounting and location against plans, elevations and detail drawings. Exact location of all fixtures shall be confirmed with owner's representative prior to rough-in.
- D. Submit shop drawings to architect within thirty (30) days after award of the Contract. Check, stamp and mark with project name submittals before transmitting to Architect. Indicate deviations from Contract Documents.
- E. This Contractor shall give notices, file plans, obtain permits and licenses, pay fees and back charges, and obtain the necessary approvals from authorities that have jurisdiction.
- F. Material and equipment shall be UL, ASME and AGA approved for intended service.
- G. Guarantee work in writing for one year from date of final acceptance. Repair or replace defective materials or installation at no cost to Owner. Correct damage caused in making necessary repairs and replacements under guarantee at no cost to the Owner.
- H. Submit guarantee to Architect before final payment.



▼ : INDICATES TEL/DATA COMBINATION OUTLET WITH CAT 5 TEL/DATA JACK. E.C. SHALL WIRE EACH OUTLET HOME RUN 4 PAIR CAT 6 CLP FOR TELEPHONE AND 4 PAIR CAT 6 CLP FOR DATA TO TELEPHONE AND DATA TERMINATION BOARDS RESPECTIVELY. TERMINATE AT TWO SEPARATE PUNCH DOWN BLOCKS. ALL WIRING AND TERMINATION SHALL BE PER CAT 6 SPECIFICATIONS. ALL WIRES SHALL BE PROPERLY LABELED AND RINGED OUT. KEEP WIRES MINIMUM 18" FROM POWER FEEDS AND FIXTURE BALLASTS

UNLESS NOTED OTHERWISE ALL WIRING SHALL BE #12AWG, CU, AND FED FROM PANEL PP VIA 20A/1P C.B. CIRCUITS LONGER THAN 100FT SHALL BE #10 CU

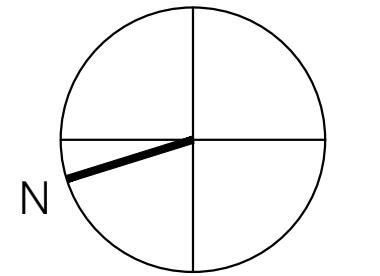
NO EXPOSED WIRING IS ALLOWED, ALL CONCEALED WIRING UNLESS NOTED SHALL BE "MC". ALL WIRING IN BLOCK WALLS SHALL BE CONCEALED, RUN IN CONDUIT.

LOCATION OF ALL MECHANICAL EQUIPMENT AND ELECTRICAL CHARACTERISTICS SHALL BE COORDINATED WITH MECHANICAL CONTRACTOR PRIOR TO ANY WORK DONE. ALL EQUIPMENT RELATING TO MECHANICAL COMPONENTS SHALL BE ORDERED ONLY AFTER THE APPROVAL OF MECHANICAL EQUIPMENT SHOP DRAWINGS



Muazzaf H. Zadeh, PE

seal



project name: NEW COMMERCIAL SPACE  
 2 ELIOT STREET  
 MILTON, MA 02186  
 PROPOSED RENOVATION  
 BASEMENT FLOOR PLAN (FIRE ALARM)



GPH design  
 architecture • planning

proj.no 24025.00  
 date DECEMBER 30, 2024  
 scale 1/4" = 1'-0"

FA-1

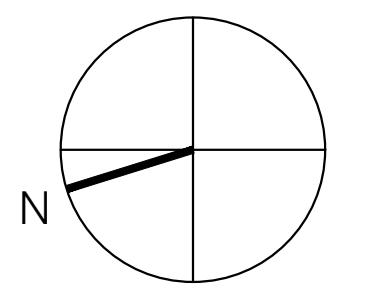
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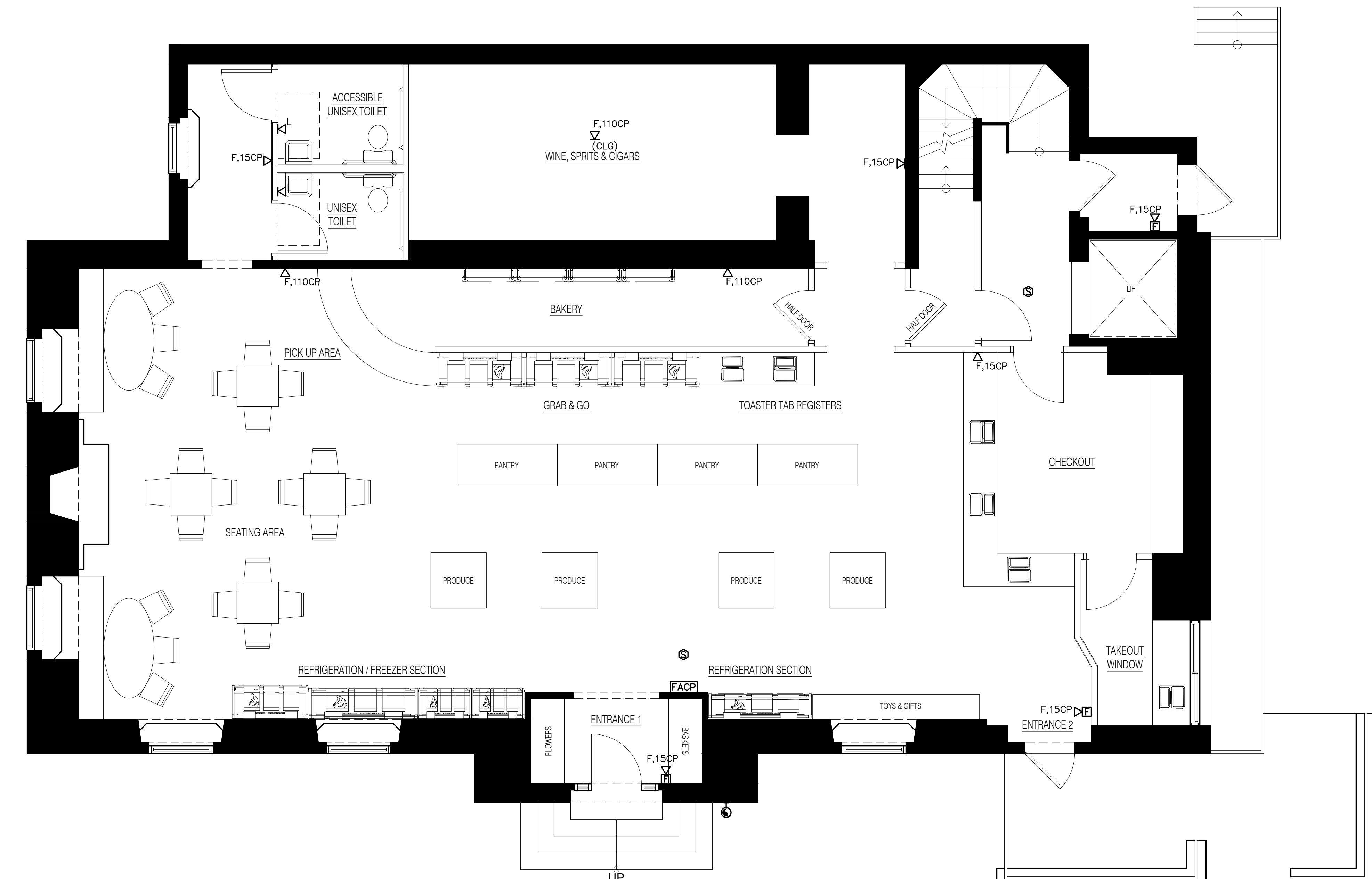


Muazzafur Zadeh, P.E.

seal



project name  
**NEW COMMERCIAL SPACE  
 2 ELIOT STREET  
 MILTON, MA 02186  
 PROPOSED RENOVATION  
 FIRST FLOOR PLAN (FIRE ALARM)**



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 date  
 DECEMBER 30, 2024  
 scale  
 1/4" = 1'-0"

FA-2

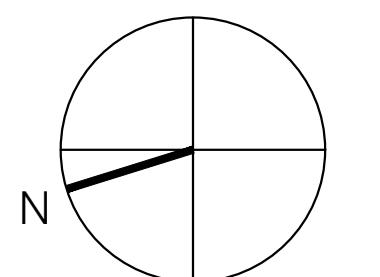
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Meegster Neckdrigade



object name

NEW COMMERCIAL SPACE  
2 ELIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
SECOND FLOOR PLAN (FIRE ALARM

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DECEMBER 30, 2024  
scale

FA-3

This architectural floor plan illustrates a building section with the following key features and dimensions:

- UP** (Up) is indicated at the top center.
- HVAC** is located in the **UTILITY** room.
- UTILITY** room dimensions: **13'-10" x 10'-1"**. It contains a **F,15CP** fixture.
- HALL** room dimensions: **9'-0" x 16'-5"**. It contains a **F,110CP** fixture.
- LIFT** is indicated by a cross-hatched area.
- BREAK ROOM** dimensions: **12'-1" x 15'-5"**. It contains a **F** fixture.
- OPEN TO BELOW** is indicated in the center-left area.
- Vertical circulation areas are labeled **DN** (Down) and **UP** (Up) at the top and bottom.
- Structural details include a central vertical column and a staircase.

# **SECOND FLOOR PLAN**

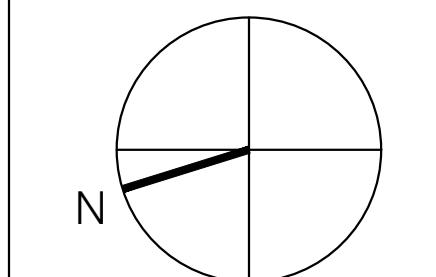
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**Ceiling Height = 7'-5"**

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Hussein H. Zadeh, PE

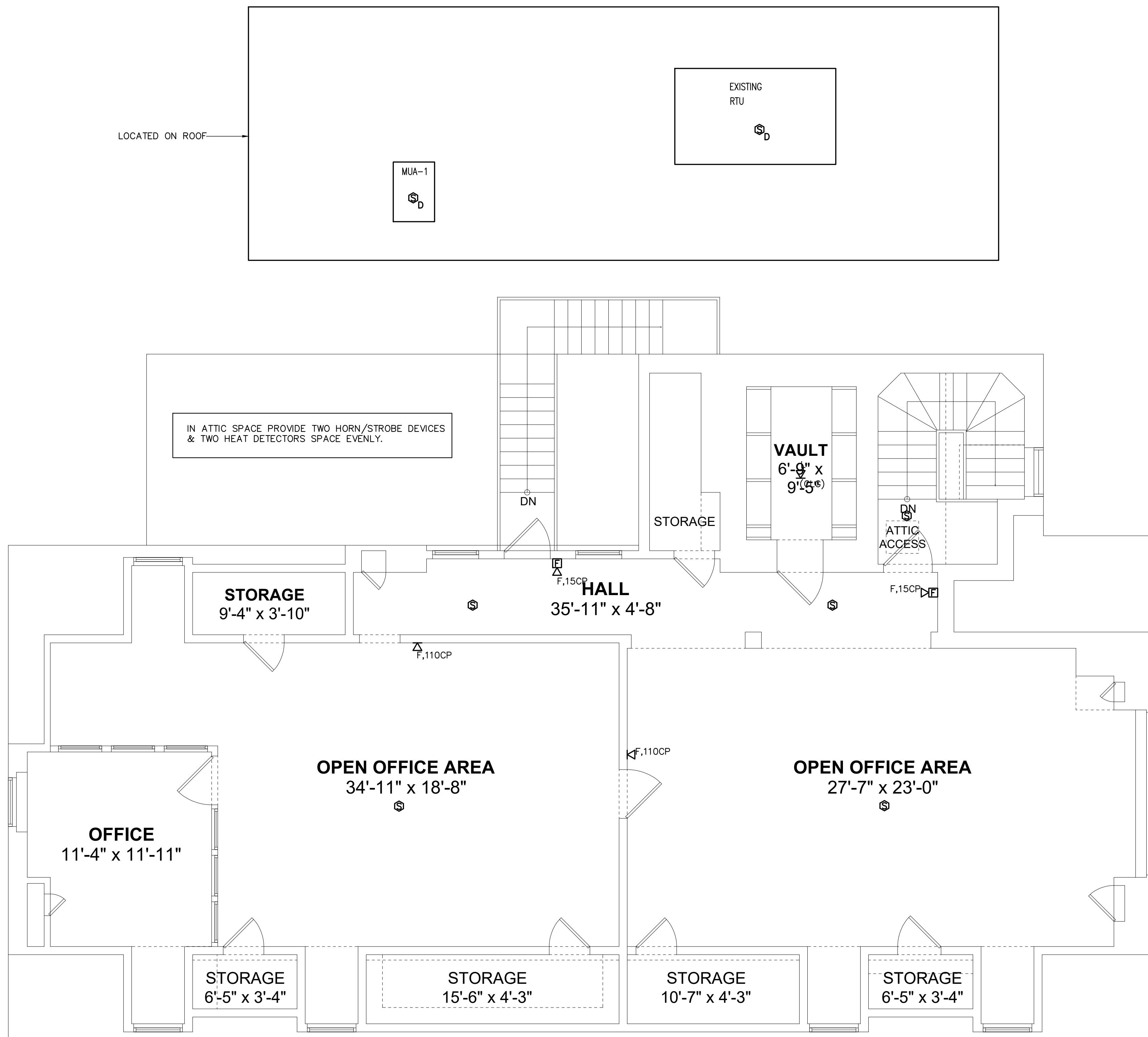


NEW COMMERCIAL SPACE  
2 ELLIOT STREET  
MILTON, MA 02186  
PROPOSED RENOVATION  
THIRD FLOOR PLAN (FIRE ALARM)

project name

GPH design  
architecture • planning

proj.no  
24025.00  
date  
DECEMBER 30, 2024  
scale  
1/4" = 1'-0"  
sheet



THIRD FLOOR PLAN  
Ceiling Height = 8'-9"

