



Town of Milton Planning Board
Town Hall Offices
525 Canton Avenue
Milton, MA 02186
617-696-5732

Reserved for the Office of the Town Clerk

FORM SPA

APPLICATION FOR APPROVAL OF A PROPOSED SITE PLAN

Date: 3/11/2025

To the Planning Board of the Town of Milton:

The undersigned, being the applicant, hereby submits for approval a PROPOSED SITE PLAN in accordance with Section VIII.D of the Rules & Regulations of the Milton Planning Board entitled:

2 Eliot Street Site Plan

Plans prepared by: Decelle, Burke, and Sala Associates, Inc. Dated: March 5, 2025

Parcel(s) Street Address: 2 Eliot Street Milton, MA 02186

The undersigned's title to said land is derived from: Quitclaim Deed

Milton Assessor's Map Number(s): E Parcel(s): E 1 1 Zoning District: B

Deed of Property Recorded in Norfolk County Registry Book number(s): 41281 page(s): 557

Registered in Norfolk County Registry District of the Land Court, Certificate of Title number(s): 209866

Number of Proposed Lots: 2 Total Acreage: 9267

Said land is current with regards to taxes and is free of encumbrances except for the following:

Owner: Joshua Wild

Applicant: Joshua Wild

Company: 2 Eliot Street, LLC

Company: 2 Eliot Street, LLC

Address: 174 Dorchester St

Address: 174 Dorchester St.

Boston, MA 02127

Boston, MA 02127

Phone: 978-771-9599

Phone: 978-771-9599

Signature of Owner:  Date: 3/11/2025

Signature of Applicant (or Agent):  Date: 3/11/2025

Application for Approval of a Proposed Site Plan

Submitted Pursuant to the Site Plan Approval Process



The Market at 2 Eliot Street - Site Plan Review

2 Eliot Street, Milton, MA 02186

Submitted to:

Town of Milton Planning Board
525 Canton Avenue
Milton, MA 02186

Submitted by:

Joshua Wild - Owner
2 Eliot Street, LLC
174 Dorchester St
Boston, MA 02127
Phone: 978-771-9599

Prepared by:

Decelle, Burke, and Sala Associates, Inc.
Dated: March 5, 2025

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-

Section 1 - Introduction

2 Eliot Street, LLC (the "Applicant") hereby requests Site Plan Approval for the proposed development of a retail food market at 2 Eliot Street, Milton, MA 02186 (the "Property"). This project is designed to activate and enhance the existing property while aligning with the Town of Milton's long-term planning goals, particularly as outlined in the Milton Village Mixed Use Overlay Master Plan. The proposal supports the town's vision of increased walkability, access to fresh and local foods, and economic revitalization in Milton Village.

The property is owned by 2 Eliot Street, LLC through a Quitclaim Deed and title as being derived from Book 41281, Page 557, Certificate of Title No. 209866, as recorded in the Norfolk County Registry of Deeds.

At The Market at 2 Eliot Street, we believe that food is more than just nourishment – it's also the key ingredient in bringing people together. Nestled in the heart of the community, our market is designed to bring families and friends together around delicious, wholesome, and thoughtfully sourced foods. We are more than just a store; we are a destination for those who value fresh, thoughtful ingredients and a commitment to living well.

Thoughtfully Sourced, Crafted with Care

We take pride in partnering with local farmers, artisans, and purveyors to bring you the freshest produce, farm-raised proteins, and hand-crafted pantry staples. Every item on our shelves is carefully selected to ensure it meets our high standards for quality, sustainability, and nutrition.

A Marketplace for Every Lifestyle

Whether you're looking for a quick, fresh meal on-the-go or stocking up on clean, whole-food essentials, The Market is your go-to spot for:

- Farm-Fresh Produce – Crisp, seasonal fruits and vegetables picked at peak ripeness.
- Artisan Bakery & Whole Grains – Freshly baked breads and minimally processed grains for healthy meal planning.
- Natural Proteins – Pasture raised beef, pork and poultry.
- Dairy & Dairy-Free Selections – Organic milk, artisanal cheeses, and plant-based alternatives for every preference.
- Grab-and-Go Lighter Fare – Nutrient-dense salads, grain bowls, yogurt parfaits and overnight oats.
- Cafe Drinks - Cold-Pressed Juices, fruit & vegetable smoothies, locally roasted coffees and fine teas.
- Guilt-Free Snacks – Mindfully sourced, minimally-processed treats that support an active lifestyle.
- Sustainable Living Products – Eco-friendly packaging, refill stations, and responsible sourcing to reduce waste.

A Family-Friendly Shopping Experience

From the moment you step into The Market, you'll feel at home in our warm and inviting space. Designed with our community and its many busy families in mind. Featuring family-focused meal solutions, kid-friendly smoothies, breakfast, lunch and snack options, and a variety of high quality products from local producers and makers. The Market will provide a place to grab a few groceries, the makings for a family dinner and a quick healthy snack, all during a stop in between games on a Saturday morning.

More Than a Market

We are committed to creating a community space with an ethos of thoughtfully sourced and prepared foods. Whether you're looking for a quick stop after your yoga class or a break from your day with a fresh snack or even just a quiet cup of coffee in our cozy cafe, the market is perfect for all of that and more. We are today's General Store, a place to see a friend or meet a new neighbor, to discover a new dish or gain inspiration for the next meal you'll cook at home. A place... well, a place created for our community.

Section 2 - Project Description

2.1 Site, Current Use, and Open Space

The project site is located in a Business zoning district suitable for its intended retail use. The Property has historically been used as a retail bank location but has remained vacant

since 2020. The proposed project will revitalize the space by transforming it into a quick-service market that prioritizes fresh, unprocessed foods.

The redevelopment efforts include:

- Maintaining the historic character of the building while enhancing functionality.
- Adding patio seating to promote community engagement and outdoor dining.
- Preserving and enhancing green space around the site to support sustainability.

The project proposes to activate the site through changing the retail concept to a quick service market, making exterior improvements through paint and landscape, and by adding exterior patio seating. All these improvements have been thoughtfully incorporated to preserve the historic character of the building but make it functional for today's usage.

2.2 Concept and Vision

This project aligns with the town's goals by providing greater access to healthy food options in a vibrant, family-friendly environment. The Market at 2 Eliot Street is not just a store; it is an opportunity to support local farmers, encourage an active lifestyle, and foster community interaction.

The market will feature:

- A curated selection of locally sourced foods, including fresh produce, organic products, and artisanal goods.
- A quick-service café offering fresh meals and snacks prepared with high-quality ingredients.
- A welcoming, family-oriented environment that encourages community interaction and supports a healthy lifestyle.
- Sustainable design elements, including eco-friendly packaging, energy-efficient operations, and waste reduction initiatives.

2.3 Proposed Development Details

The project consists of:

- Exterior improvements, including fresh paint, new signage, and patio seating.
- Upgraded lighting and security measures for safety and accessibility.
- Site access enhancements to streamline take-out services and pedestrian movement.
- Implementation of a waste reduction strategy, including composting bins and partnerships with local food recovery programs.

2.4 Parking and Traffic

The project preserves the existing parking layout, which consists of seven on-site spaces, supplemented by public street parking in Milton Village. Our analysis suggests that the expected customer flow aligns with prior bank usage, with no anticipated congestion.

To further enhance accessibility:

- Bicycle racks will be installed to encourage cycling.
- Delivery hours will be strategically scheduled to avoid peak business times.
- Sidewalk enhancements and designated pedestrian paths will improve walkability.

The project includes adequate parking spaces, including a designated accessible parking spot. The prior bank use operated with 7 on-site parking spaces as outlined in the Site Plan attached as Exhibit A.

All traffic patterns will remain the same and cars will enter through the existing curb cut off Adams Street. Many patrons will choose to use the transient street parking provided in Milton Village. Deliveries will use the parking lot during strict hours and provide loading and unloading through the Adams Street side door to the basement of the Property.

There will be two front entrances off Eliot Street with the reactivation of the central main entrance being the focal point of entry.

2.5 Utilities and Infrastructure

The site is currently served by adequate municipal water and sewer services. New improvements to include, but not be limited to:

1. New electrical service with an on-site pad mounted transformer to accommodate the new electrical demand.
2. New gas service to accommodate the increased gas demand.
3. Stormwater management measures will be reviewed to ensure compliance with town regulations, though no new impervious surfaces will be added.

2.6 Lighting and Landscaping

- Low-energy LED lighting will be used to comply with Dark Sky regulations, ensuring minimal light pollution while providing necessary illumination for safety and security.
- Native plants and additional green space will be incorporated to enhance the aesthetic and ecological value of the site.
- Permeable pavement options for patio areas will be used to improve stormwater absorption.

2.7 Construction Management and Phasing

Construction will be carried out in phases to minimize disruptions to the surrounding area. A Construction Management Plan will be implemented to address noise, dust, and traffic management. The construction will follow a structured 6-8 month phased timeline:

1. Demolition & site preparation (Month 1-2)
2. Interior renovations & mechanical installations (Months 2-3)
3. Exterior improvements (landscaping, lighting, signage) (Months 4-5)
4. Final finishing, inspections, and opening (Month 6-8)

An owner's representative and contractor will be available to provide updates and address concerns throughout construction.

Section 3 - Project Benefits and Impacts

3.1 Benefits

- Increased access to healthy, locally sourced foods in a convenient setting.
- Improved site aesthetics through landscaping and architectural enhancements.
- Enhances walkability and pedestrian engagement
- Ground floor retail activation in accordance with the Town's Milton Village Mixed Use Overlay Master Plan.
- The dedication and preservation of Open Space and additional outdoor seating options.
- Economic benefits through increased property value, new commercial tax revenue sources and local business support.
- Generates local employment opportunities
- Support for local farmers and food suppliers, strengthening the regional food economy.

3.2 Potential Impacts and Mitigation

- Traffic concerns addressed by a combination of on-site and public street parking.
 - Noise and construction disruptions are minimized through structured phasing and communication with residents.
 - Alignment of operations through the use of a local contractor, design team, business operator, and Property owner with care for the community it serves.
-

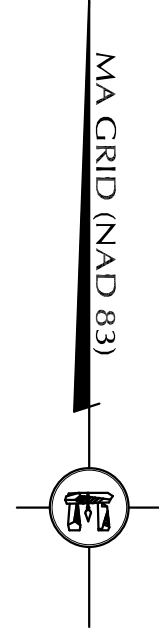
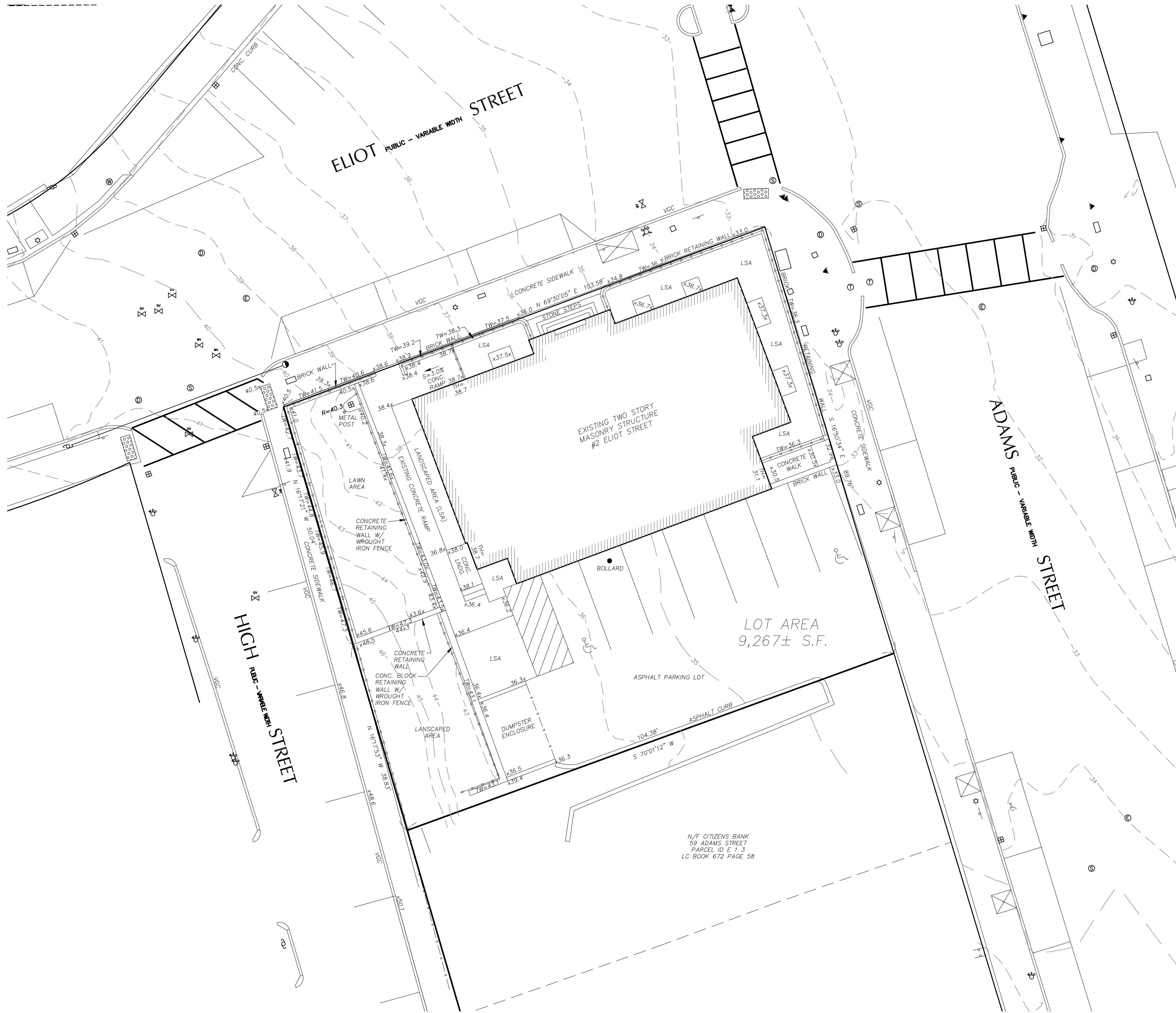
Section 4 – Conclusion

The Market at 2 Eliot Street is designed to revitalize an underutilized space while providing essential wholesome food options. By supporting local farmers, encouraging sustainability, and aligning with the town's strategic vision, this project will serve as a model for future retail developments in Milton.

The Applicant looks forward to continued collaboration with the Planning Board to ensure a smooth approval process and successful implementation.

Section 5 - Attachments

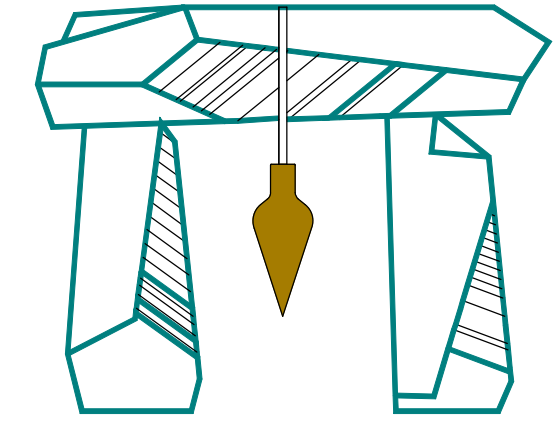
1. Site Plans (Prepared by Decelle, Burke, and Sala Associates, Inc.)
2. Architectural Plans



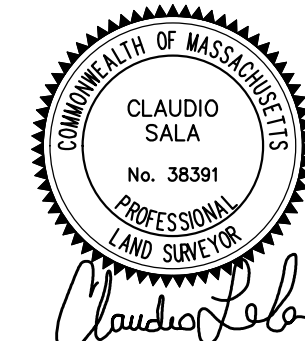
LEGEND:

| EXISTING: | |
|-----------|---------------------------------|
| | - LOCUS PROPERTY LINE |
| | - SEWER MANHOLE (SMH) |
| | - DRAIN MANHOLE (DMH) |
| | - COMMUNICATIONS MANHOLE (TMH) |
| | - ELECTRIC MANHOLE (EMH) |
| | - CATCH BASIN (CB) |
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| | - UTILITY POLE |
| | - NOW OR FORMERLY |
| | - LANDSCAPED AREA |
| | - GRADE |
| | - SPOT GRADE |
| | - CHAIN-LINK/WIRE FENCE |
| | - WROUGHT IRON DECORATIVE FENCE |
| | - HAND HOLES FOR UTILITIES |
| | - LIGHT POLE |
| | - TRAFFIC LIGHT |
| | - SIGN |
| | - CAPE COD BERM |
| | - VERTICAL GRANITE CURB |
| | - SLOPED GRANITE CURB |
| | - THRESHOLD ELEVATION |
| | - TOP OF WALL ELEVATION |
| | - TREE WELL |

DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



CLAUDIO SALA, PLS

GENERAL NOTES:

- LOCUS:
ASSESSORS ID: E 1 1
RECORD OWNER: 2 ELIOT STREET, LLC
DEED REFERENCE: CERTIFICATE #209866
BOOK 41281 PAGE 357
PLAN REFERENCE: LC PLAN #25662B
- DATE OF SURVEY: SEPTEMBER, 2024
- VERTICAL DATUM: NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON DATUM).
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- PARCEL IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM 25021C0064F, EFFECTIVE 06/09/2014. AS DELINEATED ON FEMA FLOOD MAP SERVICE CENTER ONLINE PORTAL.
- PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

PROJECT TITLE & LOCATION:

PROPOSED PATIO
AT
2 ELIOT STREET
MILTON, MASS.

PLAN TITLE:

EXISTING CONDITIONS

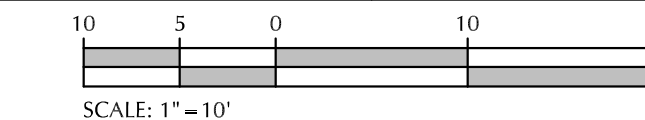
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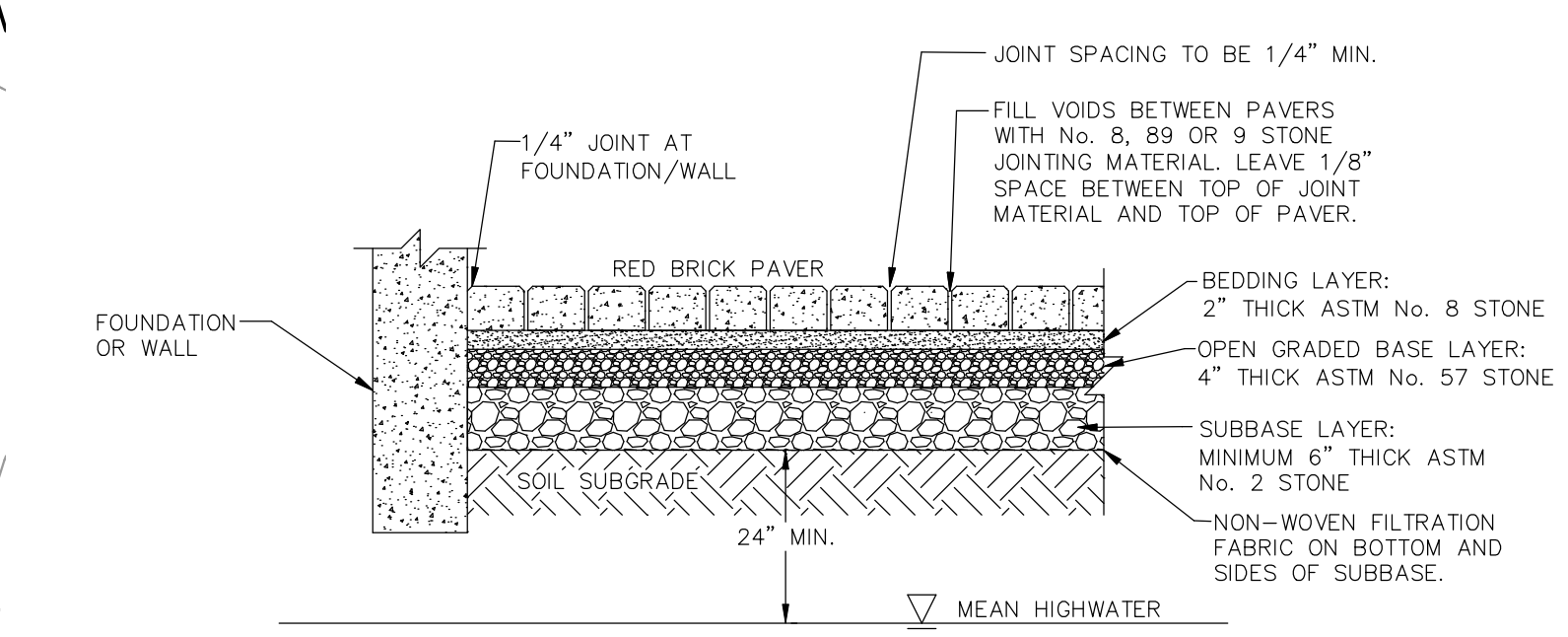
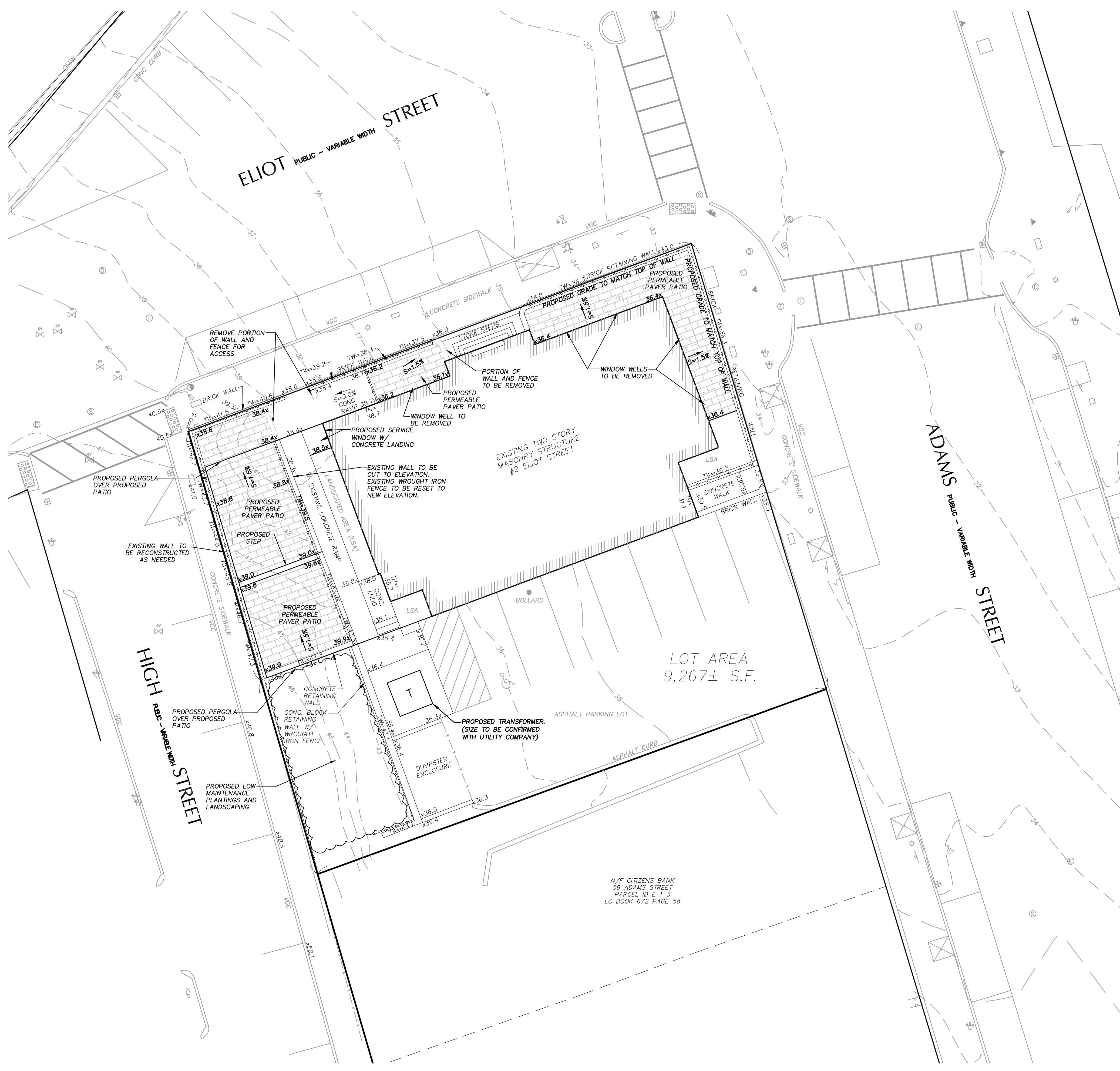
JOSHUA D WILD
2 ELIOT STREET, LLC
174 DORCHESTER ST
BOSTON, MA 02127

DATE: MARCH 5, 2025

JOB NUMBER: 24.048

SHEET 1 OF 2





- NOTE:
1. PERMEABLE PAVERS TO BE INSPECTED A MINIMUM OF ONCE A YEAR TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY.
 2. PERMEABLE PAVER PATIO TO BE SWEEPED REGULARLY TO ENSURE SEDIMENT DOES NOT BUILD UP BETWEEN THE PAVERS.
 3. AGGREGATE TO BE ADDED TO JOINTS IF MORE THAN 1/2" OF SPACE IS BELOW THE BOTTOM OF THE PAVER CHAMFER.

PERMEABLE PAVER DETAIL
NOT TO SCALE

| LEGEND: | |
|-----------|---------------------------------|
| EXISTING: | PROPOSED |
| | - LOCUS PROPERTY LINE |
| | - SEWER MANHOLE (SMH) |
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| | - TOP OF WALL ELEVATION |
| | - TREE WELL |
| | - TRANSFORMER |
| | - PERMEABLE PAVER PATIO |

DeCelle-Burke-Sala

& Associates, Inc.

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Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com

JAMES W. BURKE, P.E.

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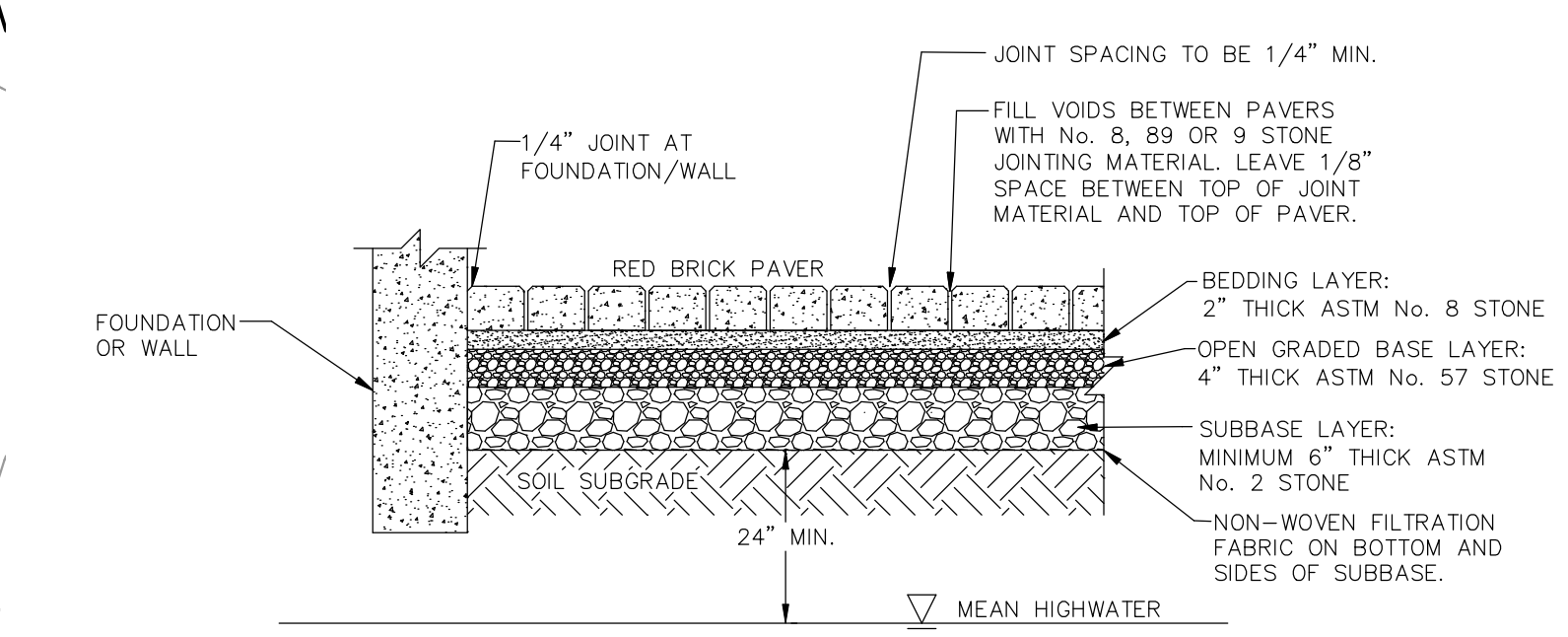
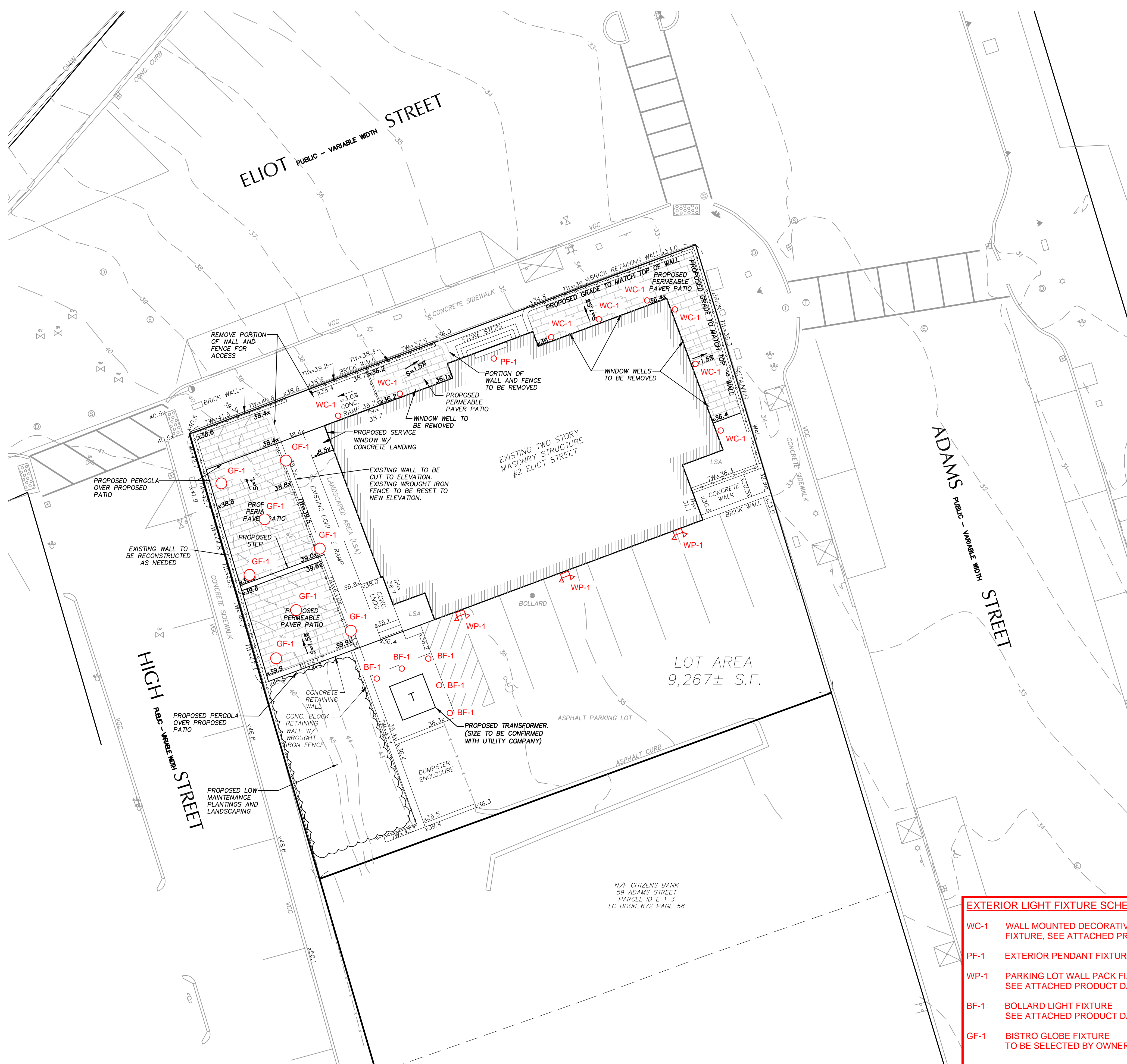
PREPARED FOR:

JOSHUA D WILD
2 ELIOT STREET, LLC
174 DORCHESTER ST
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DATE: MARCH 5, 2025

JOB NUMBER: 24.048 SHEET 2 OF 2

SCALE: 1" = 10'



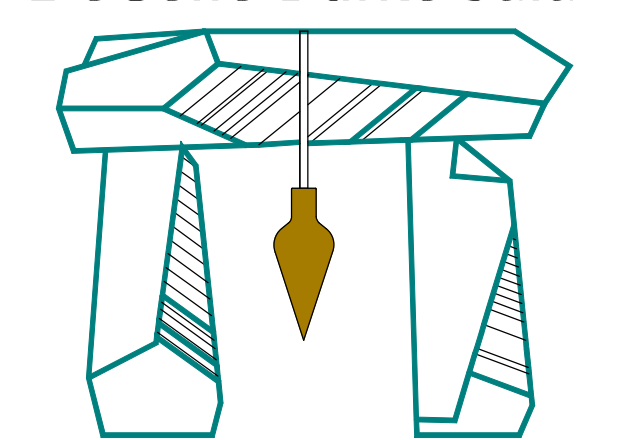
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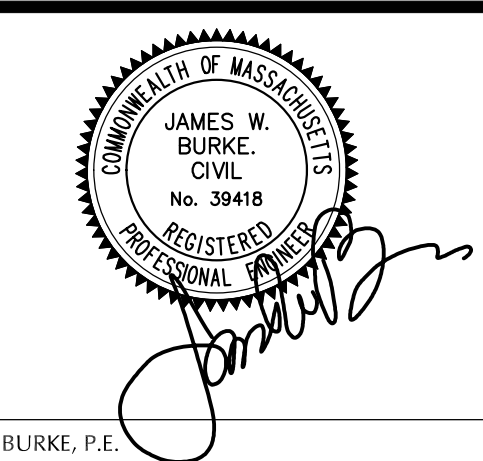
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| | - PERMEABLE PAVER PATIO |

| EXTERIOR LIGHT FIXTURE SCHEDULE | |
|---------------------------------|--|
| WC-1 | WALL MOUNTED DECORATIVE LIGHT FIXTURE, SEE ATTACHED PRODUCT DATA |
| PF-1 | EXTERIOR PENDANT FIXTURE |
| WP-1 | PARKING LOT WALL PACK FIXTURE SEE ATTACHED PRODUCT DATA |
| BF-1 | BOLLARD LIGHT FIXTURE SEE ATTACHED PRODUCT DATA |
| GF-1 | BISTRO GLOBE FIXTURE TO BE SELECTED BY OWNER |

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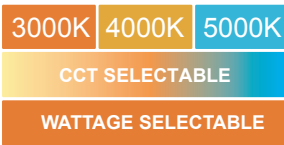
JOB NUMBER: 24.048 SHEET 2 OF 2

SCALE: 1" = 10'



WP-1

SELECTABLE SLIM WALL PACK



PRODUCT DESCRIPTION

The selectable & adjustable architectural Slim Wall Packs, featured by wattage and CCT selectable. Injection die-cast aluminium housing. Tempered glass lens. Installation made simple and easy with a hinged junction box. Ideal for landscape, wall/surface, low level pathway, apartment buildings, schools, multi-use facilities.

FEATURES

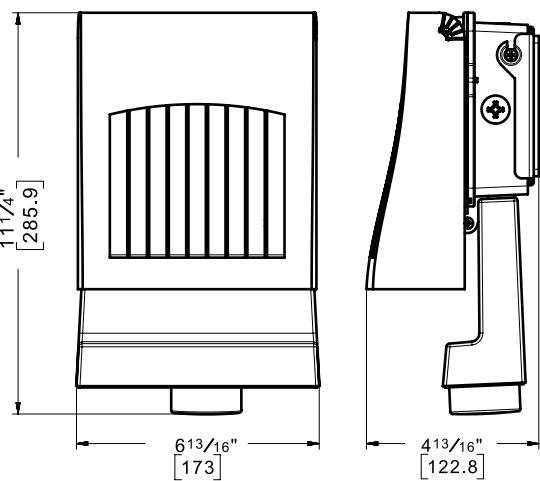
- Architectural low profile design
- 0-90 degree angle adjustable
- 3000K, 4000K and 5000K selectable
- Wattage selectable
- Die-cast aluminum housing
- Tempered glass lens
- Sensor is available

ELECTRICAL SYSTEM

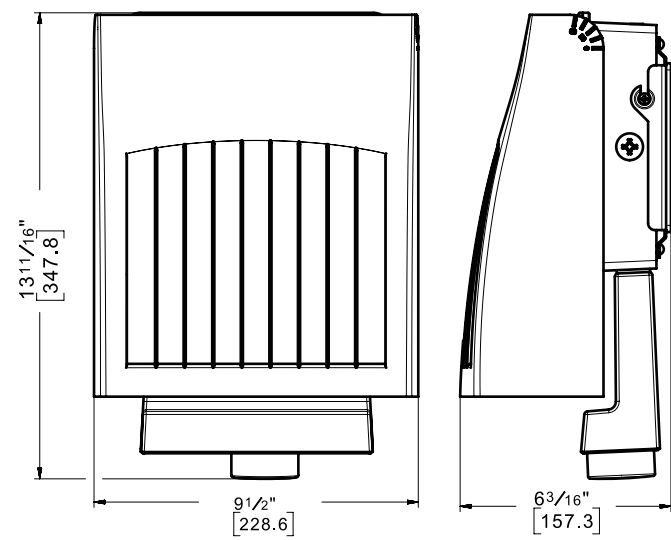
- Input voltage:120-347V
- 50/60Hz
- Power Factor: >0.9
- Total Harmonic Distortion: <20% at full load
- Working Temperature: -40 - 104°F (-40 - 40°C)

DIMENTION

20/24W with Sensor
Net Weight: 4.4 lbs



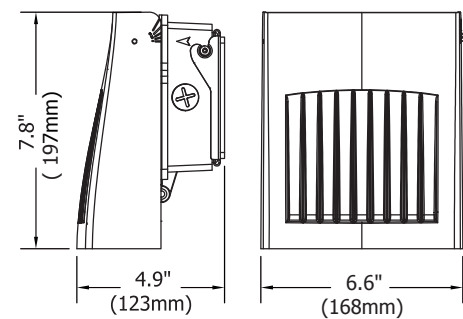
40/60/75W with Sensor
Net Weight: 9.3 lbs



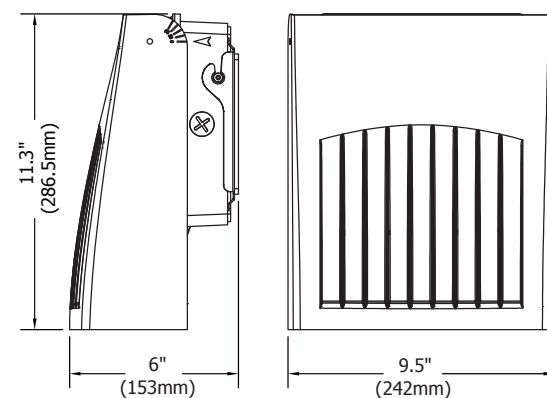
1135 Thomas Busch Highway,
Pennsauken, NJ 08110
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866-222-8866
info@abovealllighting.com
www.AboveAllLighting.com

20/24W
Net Weight: 3.97 lbs



40/60/75W
Net Weight: 8.93 lbs



With Sensor



Without Sensor

Ordering Information

Example: SSWP-SPS-SW8-MSW

| Name | Watts | - CCT | Voltage | - Control | - Finish |
|------|---|--|------------|---|----------------|
| SSWP | SPS - Selectable Power 20W/24W ¹ | - SW - Selectable White 3000K/4000K/5000K ² | 8-120-347V | Blank - None | Blank - Bronze |
| | SPL - Selectable Power 40W/60W/75W ¹ | | | MSW - Microwave Dimming Sensor ³ | |
| | | | | PC - Button Photocontrol ⁴ | |

Notice:

- 24W and 75W are default setting. If need other wattage, please contact Customer Service in advance to change the setting in factory or change the setting in the field.
- 4000K is default setting. If need other CCT please contact Customer Service in advance to change the setting in factory or change the setting in the field.
- Dimming level 50%, 75% and 100% are for mounting height 49ft (15m) max. Dimming levels 25% is for mounting height 39ft (12m) max. Dimming default setting is Bi-Level dim and dimming to 50% and none Cut Off. Besides, daylight sensor default setting is disable. Other dimming levels, ON/OFF function and daylight sensor can be set by the remote controller MH10.
- Photocontrol is 120-277V.

* Bronze finish is standard. Additional charges will apply for all the other colors. Please contact customer service for premium adder.

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Pennsauken, NJ 08110
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info@abovealllighting.com
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TEAR SHEET

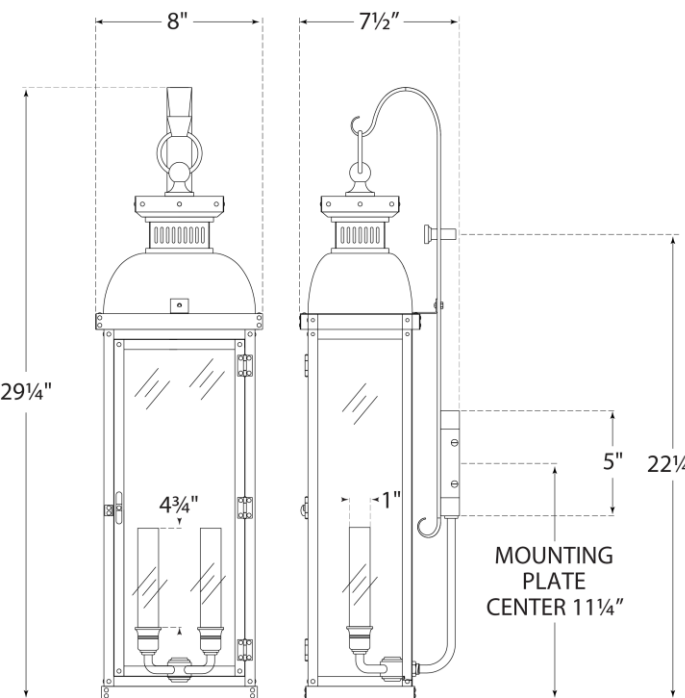
WC-1



Suffork Tall Scroll Arm Lantern
Item # CHO 2067NC

Designer: Chapman & Myers

Height: 29.25"
Width: 8"
Extension: 7.5"
Backplate: 4.5" x 5" Rectangle
Finishes: NC
Glass Options: CG
Socket: 2 - E12 Candelabra
Wattage: 2 - 60 C11
Weight: 11 Pounds
©EFC DESIGNS



VISUAL COMFORT & CO.



Dome Top Flat Top Peak Top

BF-1

STANDARD LED BOLLARD



PRODUCT DESCRIPTION

The Standard LED Bollard is designed with a modern cylindrical shape with dome, flat, and peak tops available. This LED Bollard is constructed with a high-quality extrusion aluminum body and a clear polycarbonate lens. This Bollard is ideal for parks, lawns, plazas, and residential applications.

FEATURE

- Dome, flat and peak tops for option
- High quality extrusion aluminum body
- Stainless steel silicone rubber sealing
- IP 66 rated for wet location
- Side shield for option

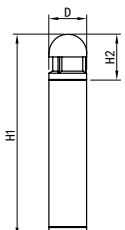
ELECTRICAL SYSTEM

- Input Voltage: 120-277V
- 50/60Hz
- Minimum Ambient -40°F, maximum ambient 104°F
- Power Factor: > 0.9 @120Vac
- Total Harmonic Distortion: < 20%

SPECIFICATION

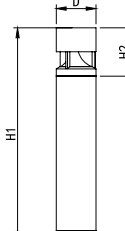
Dome Top

D: 7.90"
H1:42.10"
H2: 9.53"
Max Weight:18.3lbs



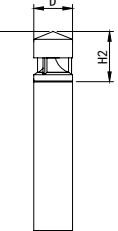
Flat Top

D: 7.90"
H1:42.10"
H2: 9.53"
Max Weight:18.3lbs



Peak Top

D: 7.90"
H1:42.10"
H2: 10.08"
Max Weight:18.3lbs



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Ordering Information

Example: DB24401-V

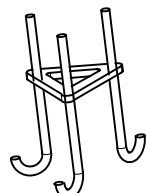
| Top | Watts | CCT | Voltage | Controls | Distribution | Lens | Finish |
|------------------------------------|--------------------------|----------------------------------|--------------|--------------|--------------|-----------------------|---|
| DB = Dome Top Bollard ¹ | 12 - 12W | 22 - Amber in 2200K ² | 1 - 120-277V | Blank - None | V - Type V | Blank - PC clear lens | Standard Blank - Bronze |
| FB = Flat Top Bollard | 24 - 24W | 30 - 3000K ³ | | | | | Optional* BK - Black WH - White GY - Grey (See Notes) |
| PB = Peak Top Bollard | 40 - 4000K 50 - 5000K | | | | | | |

Notes:

- DLC is only available for 24W Dome Top.
- The 2200K is for Amber LED use. More information is in the following wavelength chart. It is special and may need long lead time, please contact Customer Service for details.
- DLC is not available for 2200K and 3000K.

* Standard Finish is Dark Bronze. Allow 4-6 weeks for optional finish. Additional charge will apply.

ACCESSORIES (ORDER SEPARATELY)



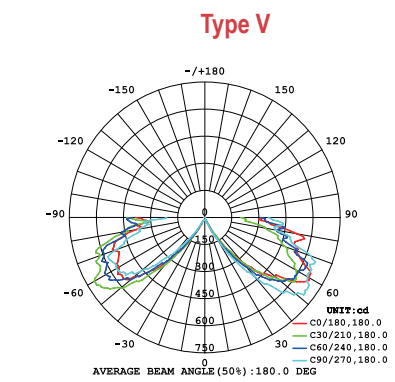
90245
ABMK01
Anchor bolt (M10) mounting kits for standard bollard



90541
BOLLARD-SS-180°
180° SIDE SHIELD for standard bollard

PHOTOMETRY

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory.



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PERFORMANCE DATA

LUMEN OUTPUT

Lumen values are measured by third party certified laboratories performed in accordance with IESNA LM-79-08 as well as Lighting Facts listed.

| Watts | Lumen Output | AC Input 120V | CRI | CCT | Dist. Type | LPW |
|-------|--------------|---------------|-----|-------|------------|-----|
| 12W | 1340lm | 0.19A | >70 | 4000K | Type V | 112 |
| 24W | 2500lm | 0.22A | >70 | 4000K | Type V | 104 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the LED bollard in a 77°F ambient, (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

| Operating Hours | 0 | 6,000 | 14,000 | 29,000 | 127,000 |
|--------------------------|-----|-----------|-----------|-----------|-----------|
| Lumen Maintenance Factor | 0.1 | 0.98(L98) | 0.96(L96) | 0.92(L92) | 0.70(L70) |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperature from -40-104°F (-40-40°C).

| Ambient | | |
|---------|------------|------------|
| Celsius | Fahrenheit | Multiplier |
| 0 | 32 | 1.02 |
| 10 | 50 | 1.01 |
| 20 | 68 | 1.00 |
| 25 | 77 | 1.00 |
| 30 | 86 | 1.00 |
| 40 | 104 | 0.99 |

BUG Rating

Performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory.

| Model | BUG Rating |
|-----------|------------|
| DB24401-V | B2-U3-G2 |
| FB24401-V | B2-U3-G2 |
| PB24401-V | B2-U3-G2 |

Warranty

Five year limited warranty.

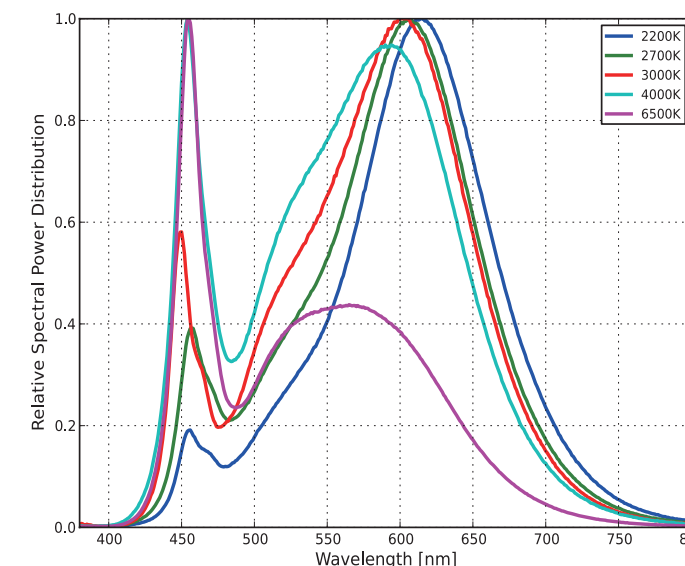
Specifications subject to change without notice.

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LED WAVELENGTH

The 2200K is for Amber LED use. It's wavelength is quite similar with the standard Amber LED.



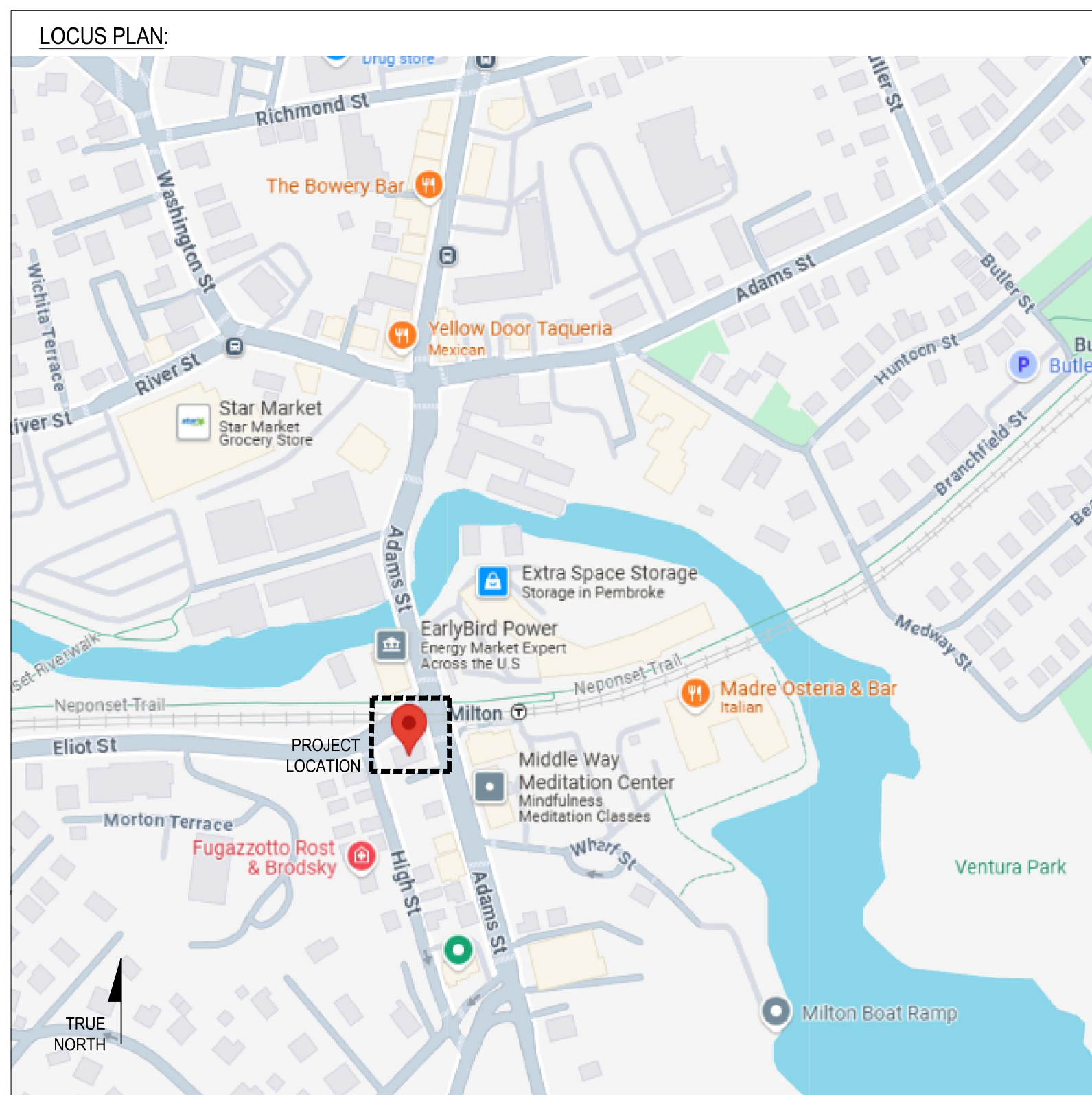
2 ELIOT STREET
MILTON, MA

PROPOSED PATIO

EXTERIOR LIGHT FIXTURES


MARCH 26, 2025


2 Eliot Street
Milton, MA 02186



LIST OF DRAWINGS:

KEY:

 INCLUDED IN SET

 REVISED AND INCLUDED IN SET

[illegible]

SUBMISSIONS :

JANUARY 6, 2025 | PERMIT SET

PROJECT INFORMATION :

| | |
|-----------------------|--|
| OWNER | <p>Joshua Wild ELEVATED REALTY, LLC 174 DORCHESTER STREET BOSTON, MA 02127 PHONE #: 617.729.2761 EMAIL : jdwild@elevatedboston.com</p> |
| ARCHITECT | <p>SIGNATURE</p> <p>GPHdesign, LLC 1 ADAMS STREET AT LOWER MILLS MILTON, MA 02186 PHONE #: 617.823.3093 EMAIL : glen.hoffman@gphdesign.com</p> |
| MEP/FP ENGINEERS | <p>SIGNATURE</p> <p>ZADE ENGINEERING, LLC CONSULTING ENGINEERS 1 BILLINGS ROAD, SUITE 306 QUINCY, MA 02171 PHONE #: 617.338.4406 EMAIL : zade@zadeengineering.com</p> |
| GENERAL CONTRACTOR | <p>SIGNATURE</p> |
| CIVIL/ SURVEY | <p>PHONE # : EMAIL :</p> <p>DECELLE-BURKE-SALA & ASSOCIATES 1286 FURNACE BROOK PARKWAY, SUITE 401 QUINCY, MA 02169 PHONE #: 617.405.5100 EMAIL : burke@decelle-burke.com</p> |

SUBMISSIONS :

JANUARY 6, 2025 | PERMIT SET

[illegible]

name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
PROJECT COVER & TABLE OF CONTENTS

GPH design
architecture • planning
ONE ADAMS STREET AT LOWER MILLS
MILTON, MA 02186
phone: (617) 823-3093
email: glen.hoffman@gphdesign.com

| |
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| proj.no |
| 24025.00 |
| date |
| JANUARY 6, 2025 |
| scale |
| $1/4" = 1'-0"$ |

A0.01

sheet

GENERAL CONSTRUCTION NOTES :

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING SITE.
2. ALL EXTERIOR WINDOWS & SLIDING DOORS TO HAVE INSULATED GLASS. MAXIMUM U-FACTOR OF WINDOWS SHALL BE 0.32.
3. VENT ALL DRYERS AND BATHROOMS TO THE EXTERIOR. DO NOT EXHAUST DRYERS OR BATHROOMS TO ATTIC OR BASEMENT. LOCATE AWAY FROM WINDOWS AND OPENINGS AS REQUIRED BY CODE.
4. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF MA 527 CMR 12.00.
5. DESIGN BUILD ELECTRICAL CONTRACTOR TO DESIGN & INSTALL CODE COMPLIANT ELECTRICAL SYSTEM UPGRADES & INTERCONNECTED FIRE ALARM SYSTEM.
6. DESIGN BUILD MECHANICAL CONTRACTOR(S) TO DESIGN & INSTALL CODE-COMPLIANT HVAC & PLUMBING SYSTEM.
7. DESIGN BUILD FIRE PROTECTION CONTRACTOR(S) TO DESIGN & INSTALL NEW CODE-COMPLIANT FIRE PROTECTION SYSTEM SYSTEM.

GENERAL DEMOLITION NOTES :

ALL DEMOTION WORK IS BEING PERFORMED UNDER SEPARATE CONTRACT BY THE OWNER / LANDLORD. DEMOLITION IS BEING SHOWN FOR COORDINATION PURPOSES ONLY.

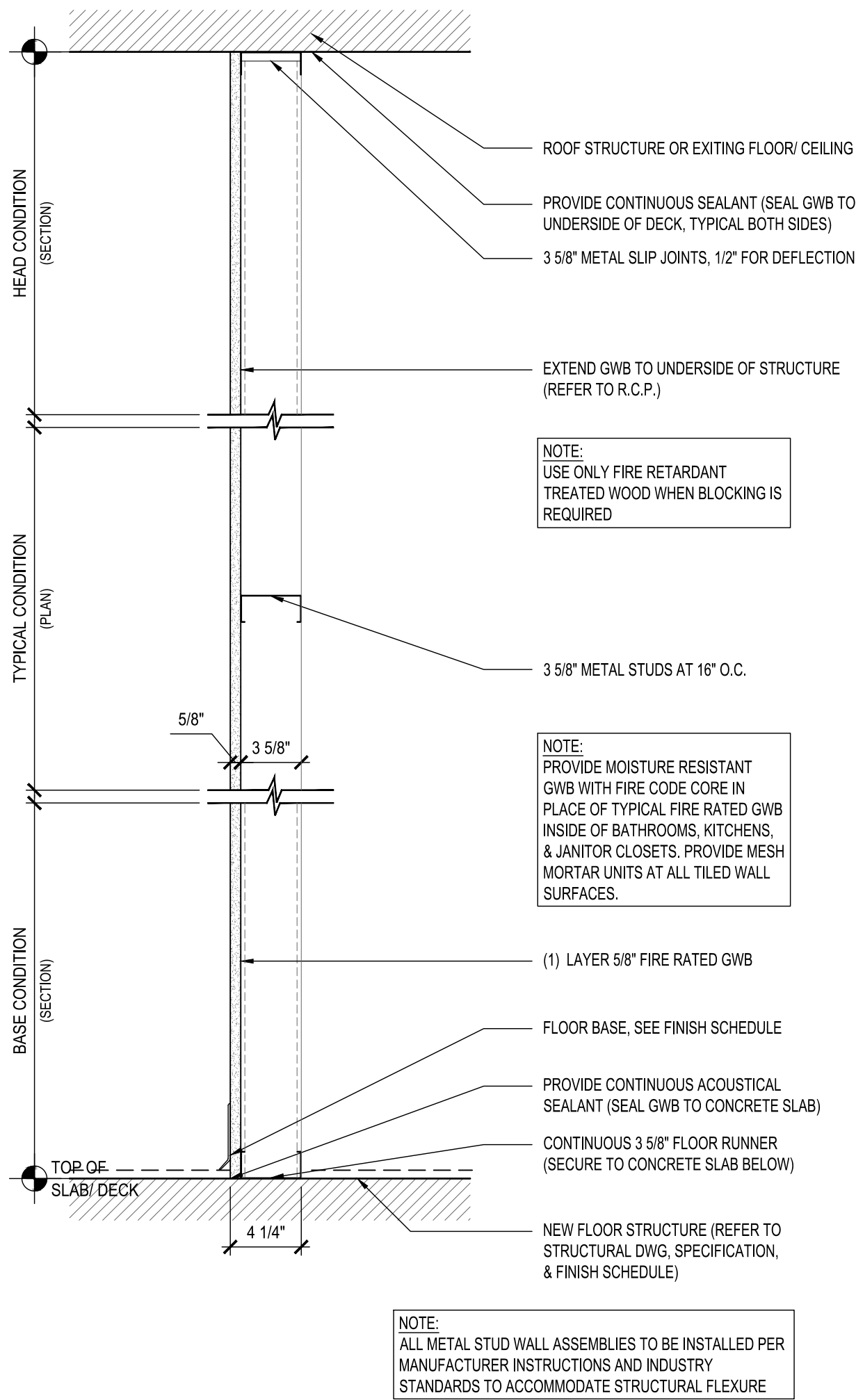
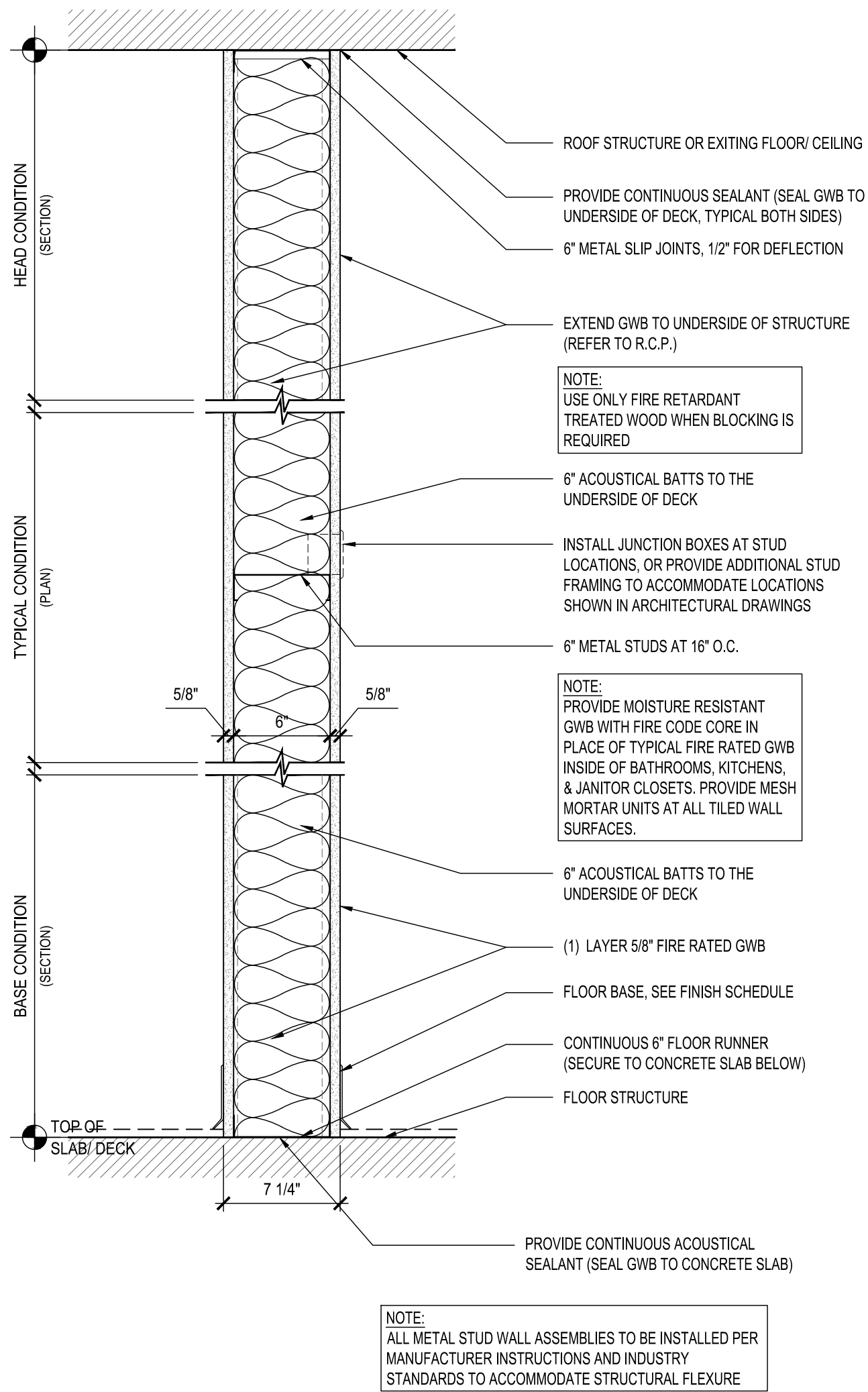
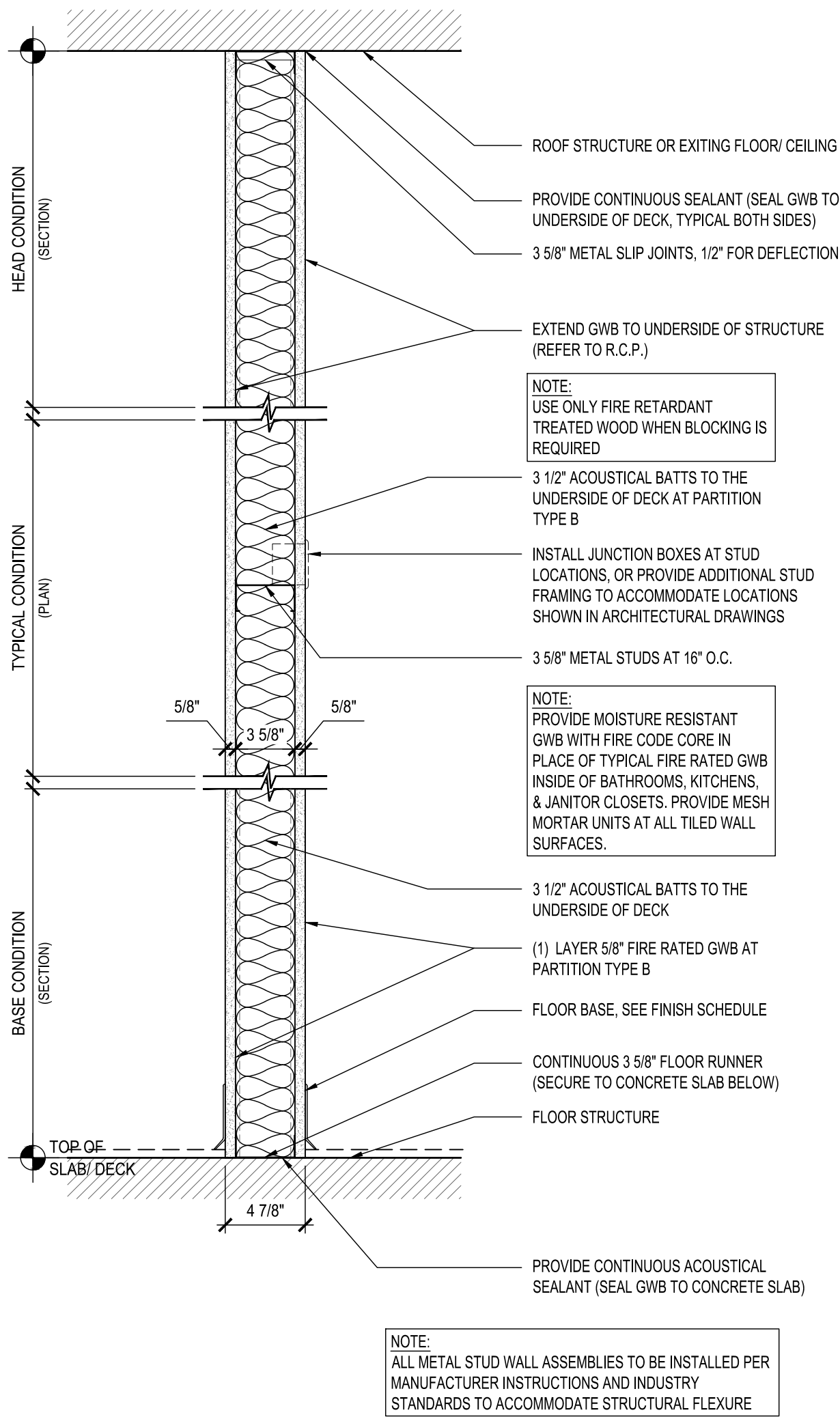
THE DEMOLITION WORK SHALL INCLUDE ALL OF THE ITEMS LISTED BELOW AS WELL AS ANY STRUCTURE, FITTINGS, FINISHES, OR APPURTENANCES, WHICH IN ANY WAY MAY HINDER THE EXECUTION OF THE NEW WORK OR WOULD BE INCONSISTENT WITH THE NEW WORK AS OUTLINED. THE OWNER / LANDLORDS GENERAL CONTRACTOR SHALL COORDINATE PHASING OF DEMOLITION WITH PHASED CONSTRUCTION OF THE VARIOUS AREAS.

ADDITIONAL DEMOLITION REQUIREMENTS :

1. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, EQUIPMENT, SERVICES AND TRANSPORTATION REQUIRED FOR THE COMPLETION OF DEMOLITION.
2. THESE DEMOLITION DRAWINGS HAVE BEEN COMPLETED FROM THE AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. THE DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, PLUMBING, FIRE PROTECTION, HVAC, AND ELECTRICAL DRAWINGS, ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
3. FAILURE OF THE CONTRACTOR TO VISIT THE SITE AND FULLY INFORM HIMSELF AS TO ALL BIDDING DOCUMENTS, APPLICABLE LAWS, RULES, REGULATIONS, AND CODES, AND SITE CONDITIONS WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT, SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO HIS PROPOSAL / FEE.
4. REMOVAL OF HAZARDOUS MATERIAL IS NOT PART OF THIS CONTRACT WORK. NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OR CONTACT WITH HAZARDOUS MATERIAL.
5. SCOPE OF WORK SHALL INCLUDE, BUT NOT BE RESTRICTED TO DEMOLITION AND REMOVAL OF ALL ELEMENTS AS REQUIRED TO ACCOMMODATE THE EXECUTION OF THE FINAL DESIGN CONDITIONS.
6. REMOVE ALL EXPOSED ABANDONED EQUIPMENT AND PIPING IN BUILDING.
7. REFER TO ARCHITECTS DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL MATERIALS, TRASH AND DEBRIS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL RUBBISH SHALL BE LEGALLY REMOVED FROM THE BUILDING AND THE PREMISE AT THE END OF EACH DAY. BUILDING HALLWAYS, VESTIBULES, AND MEANS OF EGRESS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES. PROVIDE TRASH DISPOSAL CERTIFICATES AS REQUESTED BY OWNER.
9. CONTRACTOR SHALL BEGIN DEMOLITION ONLY AFTER WALK THROUGH WITH OWNER AND IDENTIFICATION OF AREA AND ITEMS TO REMAIN HAVE BEEN TAGGED.
10. CONTRACTOR TO SURVEY ALL EXISTING CONDITIONS AND VERIFY ALL AREAS TO BE DEMOLISHED. CONTRACTOR TO NOTIFY ARCHITECT PRIOR TO COMMENCING OF WORK IF THERE ARE ANY DISCREPANCIES IN THE PLANS.
11. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE ARCHITECT, UNLESS ALREADY NOTED IN THE DRAWINGS AS PART OF THE WORK.
12. WHERE CONCRETE OR MASONRY WORK IS REQUIRED TO BE CUT, CUTTING SHALL BE DONE BY ABRASIVE WHEELS, SAWS OR CORING.
13. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS.
14. PROVIDE AND MAINTAIN TEMPORARY LIGHT AND POWER FOR THE EXECUTION OF THE WORK.
15. ALL DEMOLITION FOR WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATIONS FOR EXISTING TENANTS. COORDINATE DEMOLITION HOURS WITH OWNER.
16. NO DEMOLITION SHALL BE DONE IN ANY WAY WHICH MIGHT CREATE A HAZARD TO ANY PERSON OR STRUCTURALLY WEAKEN ANY PORTION OF THE PROPERTY.
17. DAMAGE TO EXISTING BUILDING OR CONTENTS CAUSED BY THE DEMOLITION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE WITH LIKE MATERIAL WITHOUT ADDITIONAL COST TO THE OWNER. CONTRACTOR TO EXAMINE EXISTING WET STACK LOCATIONS PRIOR TO CONSTRUCTION TO DETERMINE IF DAMAGED.
18. REMOVE AND STORE ALL ELEMENTS DESIGNATED FOR FUTURE USE IN A DRY, WEATHER PROTECTED, AND SECURE PLACE.

GENERAL PROJECT REQUIREMENTS :

1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
2. DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2015 AND THE MASSACHUSETTS BUILDING CODE 9th EDITION 2015 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.
3. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
4. ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
5. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
6. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
7. CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
8. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
9. ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
10. DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
12. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
13. THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK, SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
14. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
15. PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
16. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
17. ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
18. ALL WALL FRAMING SHALL BE 3 5/8" METAL STUDS OR AS INDICATED AT 16" ON CENTER UNLESS OTHERWISE NOTED.
19. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
20. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.



C TYPICAL CHASE WALL
SCALE: 1 1/2" = 1'-0" UL DES

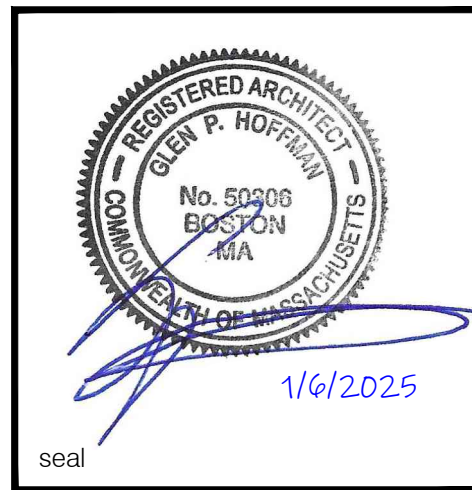
C1 TYPICAL CHASE WALL - 6" METAL STUD
SCALE: 1 1/2" = 1'-0" UL DES

A INTERIOR PARTITION
SCALE: 1 1/2" = 1'-0" UL DES

B INTERIOR PARTITION
SCALE: 1 1/2" = 1'-0" UL DES

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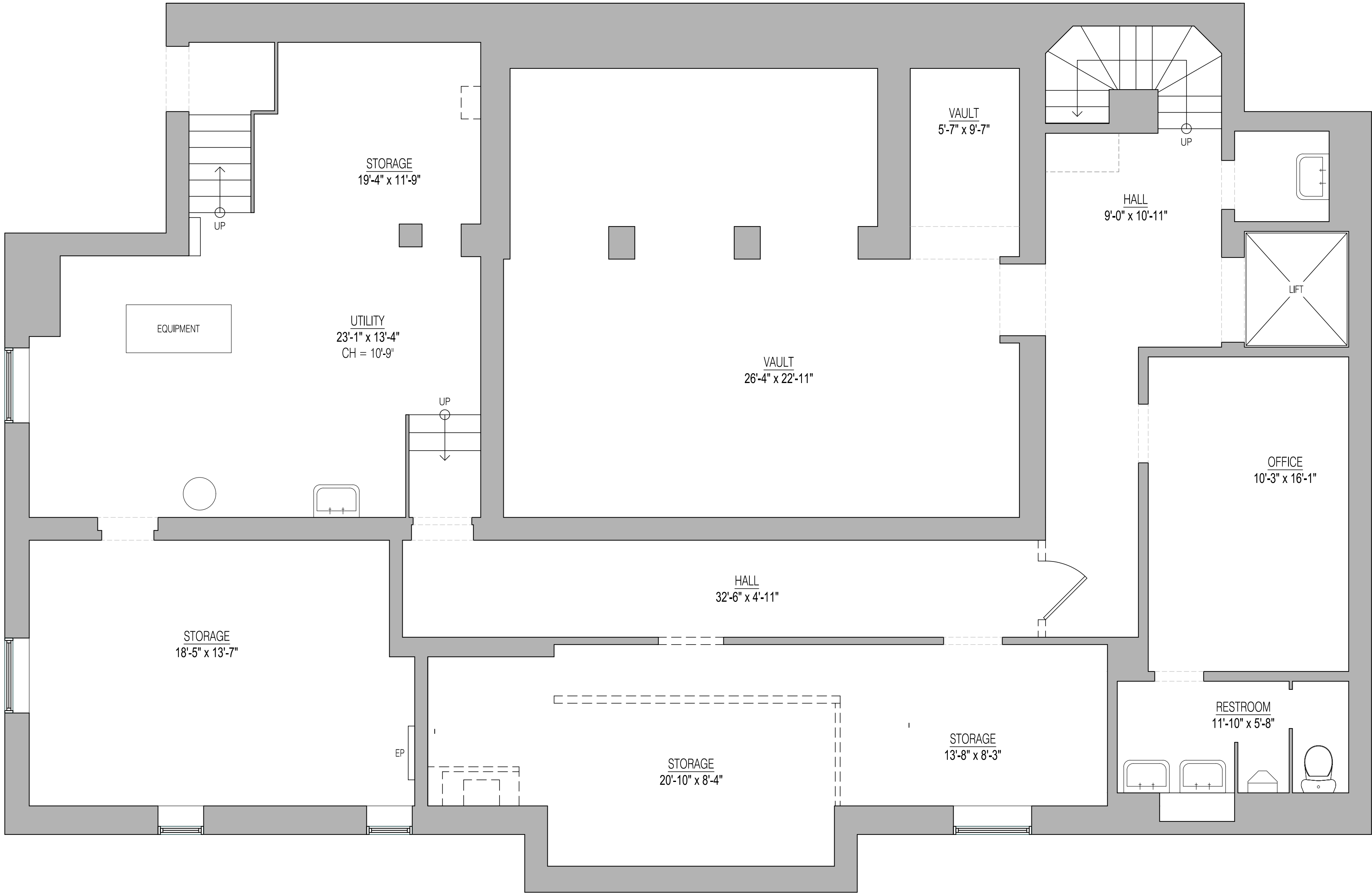


project name
NEW COMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
GENERAL NOTES & PARTITION TYPES

GPH design
architecture • planning
ONE ADAMS STREET AT LOWER MILLS
MILTON, MA 02186
phone: (617) 823-3093
email: glen.hoffman@gphdesign.com

proj.no
24025.00
date
JANUARY 6, 2025
scale
AS NOTED

A0.02
sheet



00 BASEMENT REMOVALS PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES :

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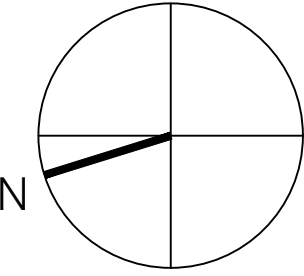
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- REMOVE AND STORE ALL ELEMENTS DESIGNATED FOR FUTURE USE IN A DRY, WEATHER PROTECTED, AND SECURE PLACE.

DEMOLITION FLOOR PLAN LEGEND

- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING WALL TO BE DEMOLISHED
- DENOTES EXISTING DOOR TO REMAIN
- DENOTES EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED

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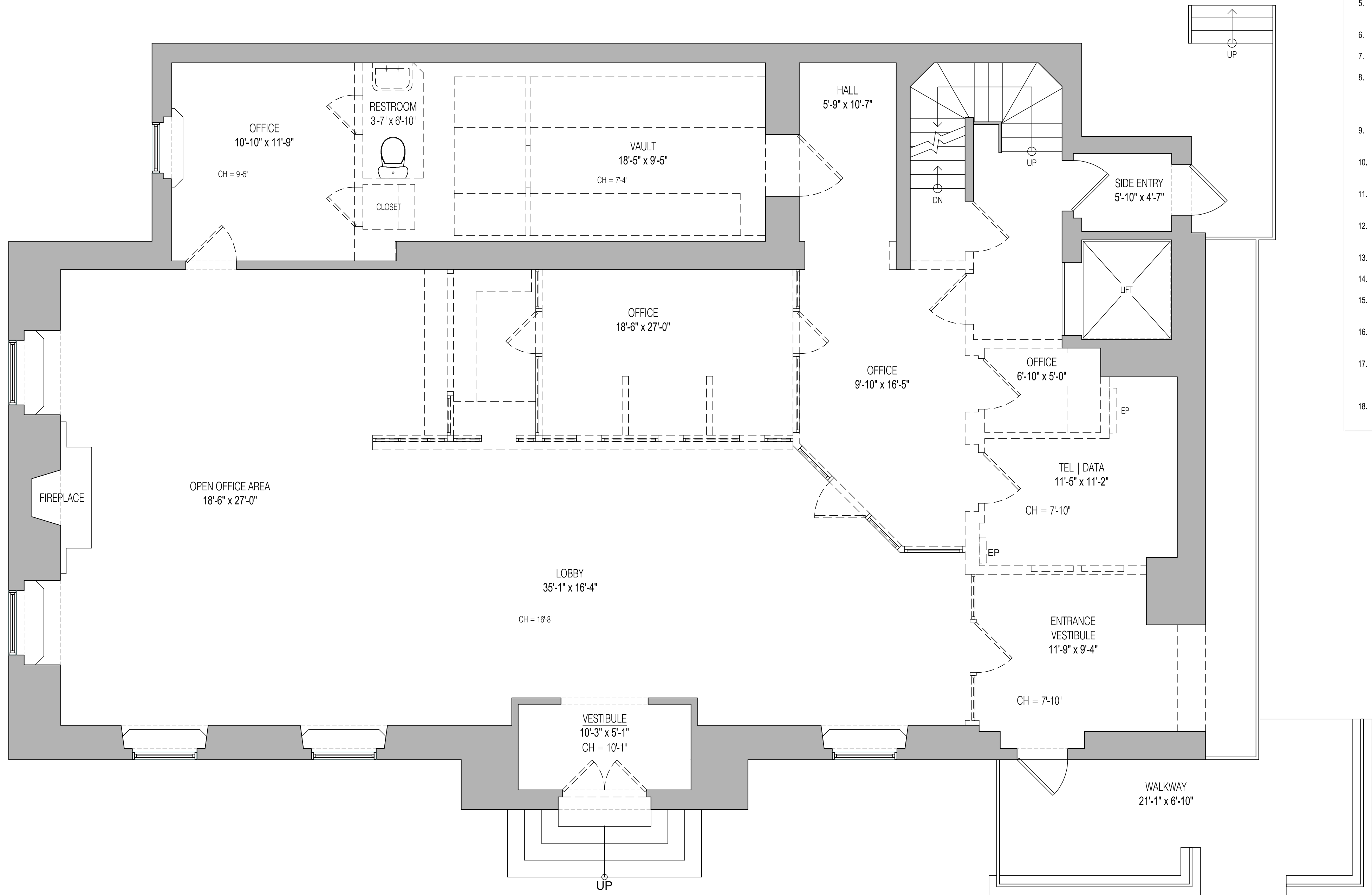


project name
NEW COMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
BASEMENT REMOVALS PLAN

GPH design
architecture • planning
ONE ADAMS STREET AT LOWER MILLS
MILTON, MA 02186
phone: (617) 823-3093
email: glen.hoffman@gphdesign.com

proj.no
24025.00
date
NOVEMBER 19, 2024
scale
1/4" = 1'-0"

D1.00
sheet



10 FIRST FLOOR REMOVALS PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES :

THE DEMOLITION WORK SHALL INCLUDE ALL OF THE ITEMS LISTED BELOW AS WELL AS ANY STRUCTURE, FITTINGS, FINISHES, OR APPURTENANCES, WHICH IN ANY WAY MAY HINDER THE EXECUTION OF THE NEW WORK OR WOULD BE INCONSISTENT WITH THE NEW WORK AS OUTLINED. GENERAL CONTRACTOR SHALL COORDINATE PHASING OF DEMOLITION WITH PHASED CONSTRUCTION OF THE VARIOUS AREAS.

ADDITIONAL DEMOLITION REQUIREMENTS :

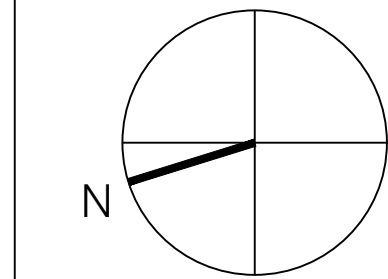
1. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, EQUIPMENT, SERVICES AND TRANSPORTATION REQUIRED FOR THE COMPLETION OF DEMOLITION.
2. THESE DEMOLITION DRAWINGS HAVE BEEN COMPLETED FROM THE AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS, NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. THE DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, PLUMBING, FIRE PROTECTION, HVAC, AND ELECTRICAL DRAWINGS, ENCOMPASS FURTHER WORK REQUIRING DEMOLITION AND REMOVAL AND ARE HEREBY INCLUDED UNDER THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN SUPPLIED.
3. FAILURE OF THE CONTRACTOR TO VISIT THE SITE AND FULLY INFORM HIMSELF AS TO ALL BIDDING DOCUMENTS, APPLICABLE LAWS, RULES, REGULATIONS, AND CODES, AND SITE CONDITIONS WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT, SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO HIS PROPOSAL / FEE.
4. REMOVAL OF HAZARDOUS MATERIAL IS NOT PART OF THIS CONTRACT WORK. NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OR CONTACT WITH HAZARDOUS MATERIAL.
5. SCOPE OF WORK SHALL INCLUDE, BUT NOT BE RESTRICTED TO DEMOLITION AND REMOVAL OF ALL ELEMENTS AS REQUIRED TO ACCOMMODATE THE EXECUTION OF THE FINAL DESIGN CONDITIONS.
6. REMOVE ALL EXPOSED ABANDONED EQUIPMENT AND PIPING IN BUILDING.
7. REFER TO ARCHITECTS' DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL MATERIALS, TRASH AND DEBRIS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL RUBBISH SHALL BE LEGALLY REMOVED FROM THE BUILDING AND THE PREMISE AT THE END OF EACH DAY. BUILDING HALLWAYS, VESTIBULES, AND MEANS OF EGRESS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES. PROVIDE TRASH DISPOSAL CERTIFICATES AS REQUESTED BY OWNER.
9. CONTRACTOR SHALL BEGIN DEMOLITION ONLY AFTER WALK THROUGH WITH OWNER AND IDENTIFICATION OF AREA AND ITEMS TO REMAIN HAVE BEEN TAGGED.
10. CONTRACTOR TO SURVEY ALL EXISTING CONDITIONS AND VERIFY ALL AREAS TO BE DEMOLISHED. CONTRACTOR TO NOTIFY ARCHITECT PRIOR TO COMMENCING OF WORK IF THERE ARE ANY DISCREPANCIES IN THE PLANS.
11. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITHOUT THE APPROVAL OF THE ARCHITECT, UNLESS ALREADY NOTED IN THE DRAWINGS AS PART OF THE WORK..
12. WHERE CONCRETE OR MASONRY WORK IS REQUIRED TO BE CUT, CUTTING SHALL BE DONE BY ABRASIVE WHEELS, SAWS OR CORING.
13. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS.
14. PROVIDE AND MAINTAIN TEMPORARY LIGHT AND POWER FOR THE EXECUTION OF THE WORK.
15. ALL DEMOLITION FOR WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATIONS FOR EXISTING TENANTS. COORDINATE DEMOLITION HOURS WITH OWNER.
16. NO DEMOLITION SHALL BE DONE IN ANY WAY WHICH MIGHT CREATE A HAZARD TO ANY PERSON OR STRUCTURALLY WEAKEN ANY PORTION OF THE PROPERTY.
17. DAMAGE TO EXISTING BUILDING OR CONTENTS CAUSED BY THE DEMOLITION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE WITH LIKE MATERIAL WITHOUT ADDITIONAL COST TO THE OWNER. CONTRACTOR TO EXAMINE EXISTING WET STACK LOCATIONS PRIOR TO CONSTRUCTION TO DETERMINE IF DAMAGED.
18. REMOVE AND STORE ALL ELEMENTS DESIGNATED FOR FUTURE USE IN A DRY, WEATHER PROTECTED, AND SECURE PLACE.

DEMOLITION FLOOR PLAN LEGEND

- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING WALL TO BE DEMOLISHED
- DENOTES EXISTING DOOR TO REMAIN
- DENOTES EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED

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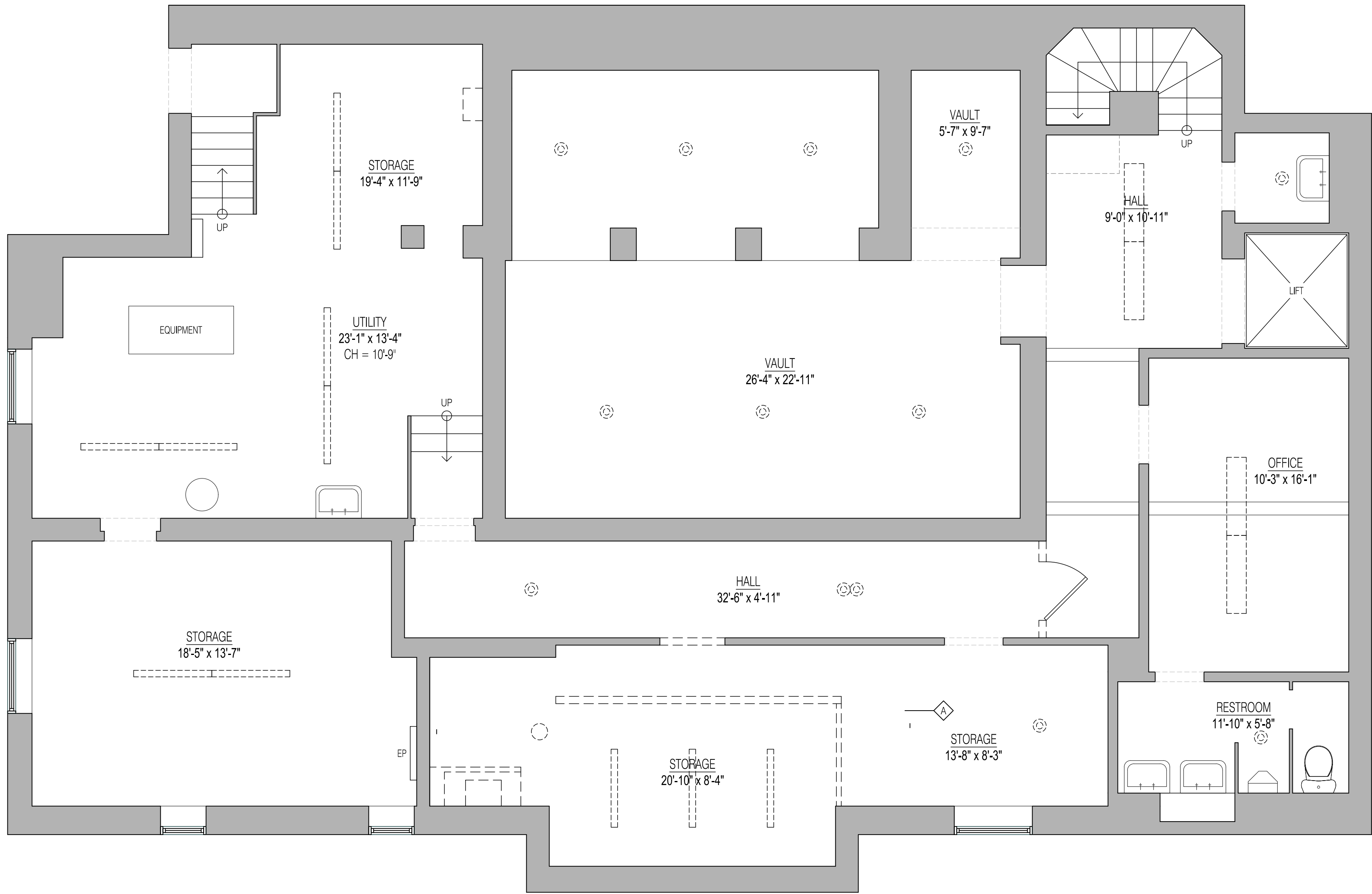


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FIRST FLOOR REMOVALS PLAN

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00 BASEMENT REFLECTED CEILING REMOVALS PLAN
SCALE: 1/4" = 1'-0"

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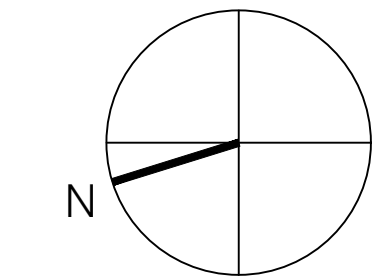
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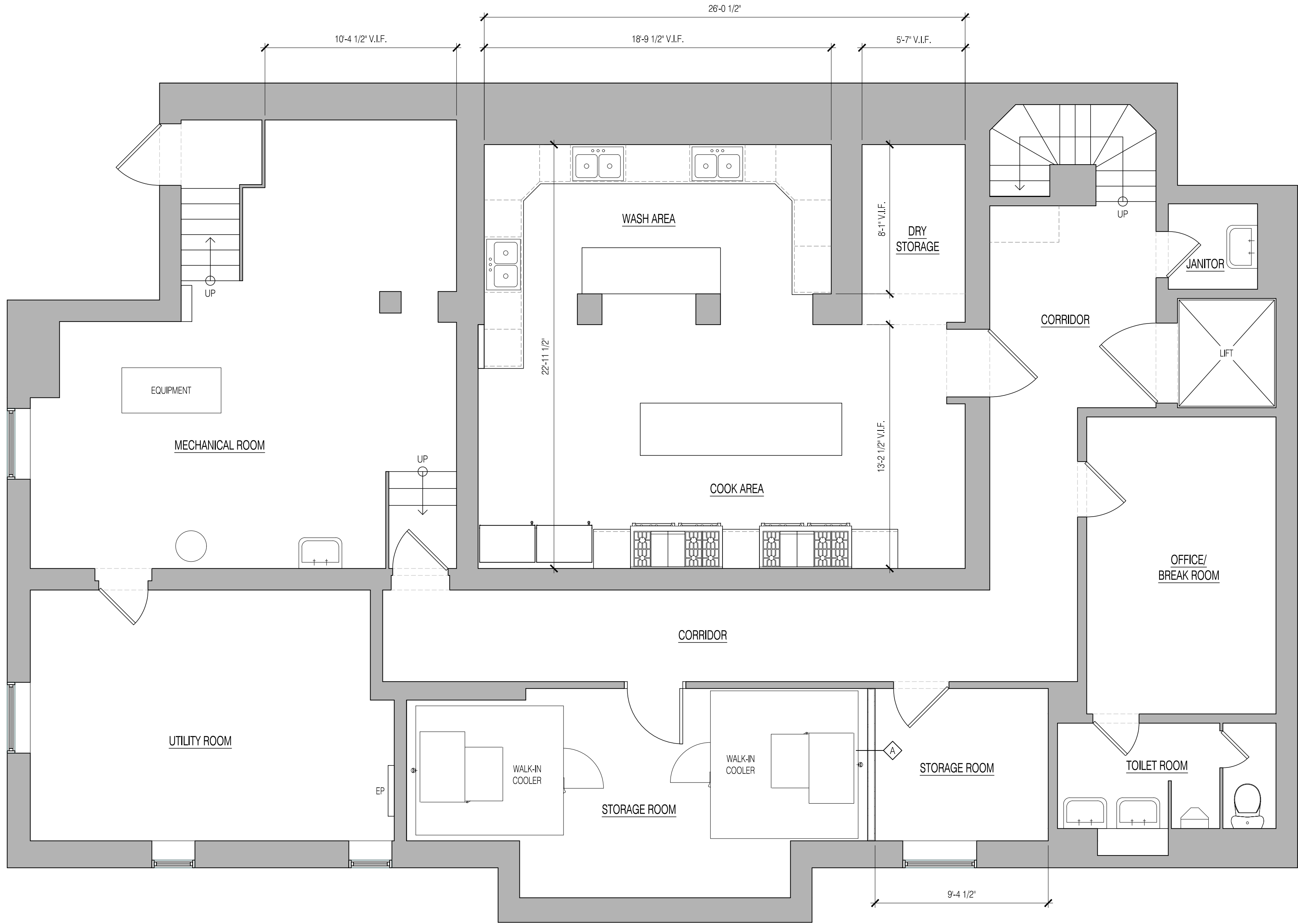


project name
NEW COMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
BASEMENT REFLECTED CEILING REMOVALS PLAN

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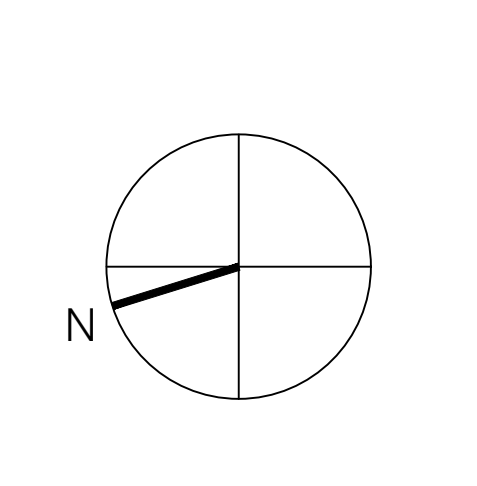
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01 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

| FLOOR PLAN LEGEND | |
|-------------------|-----------------------------------|
| | DENOTES EXISTING WALL TO REMAIN |
| | DENOTES NEW WALL |
| | DENOTES NEW INTERIOR BEARING WALL |
| | DENOTES EXISTING DOOR TO REMAIN |
| | DENOTES NEW DOOR |

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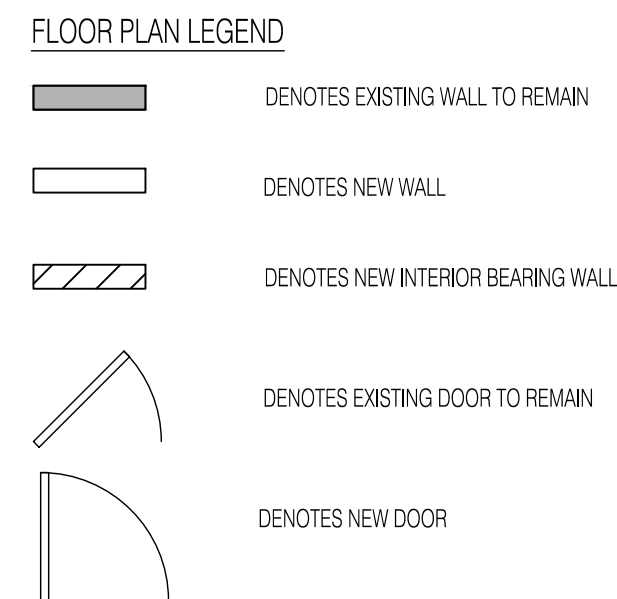
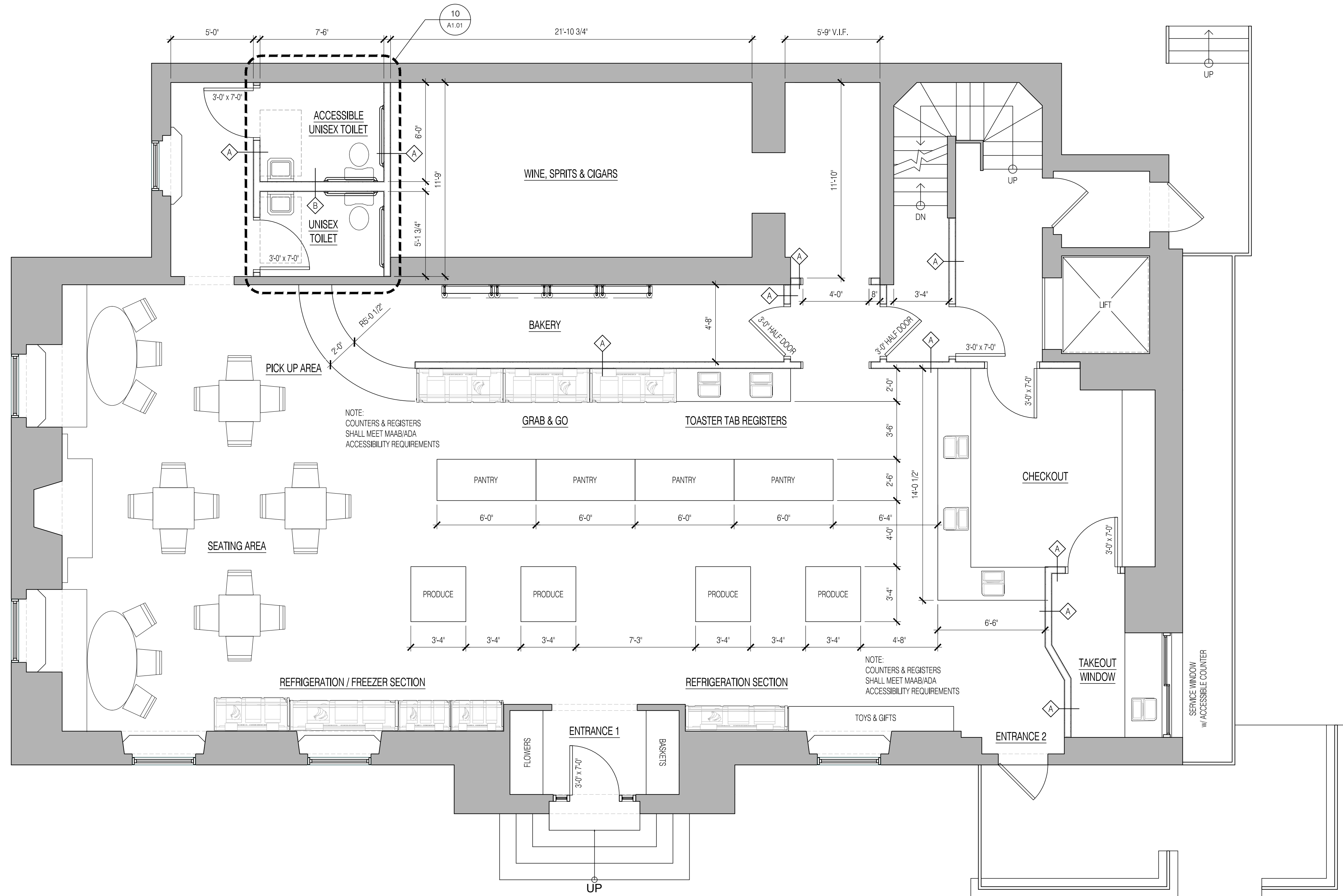
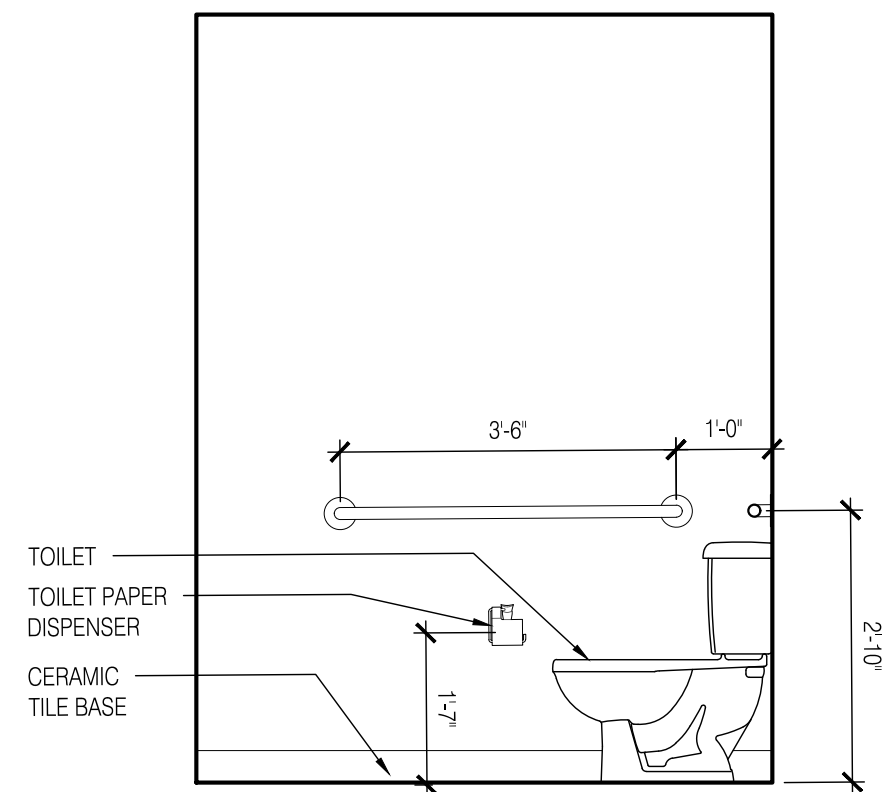
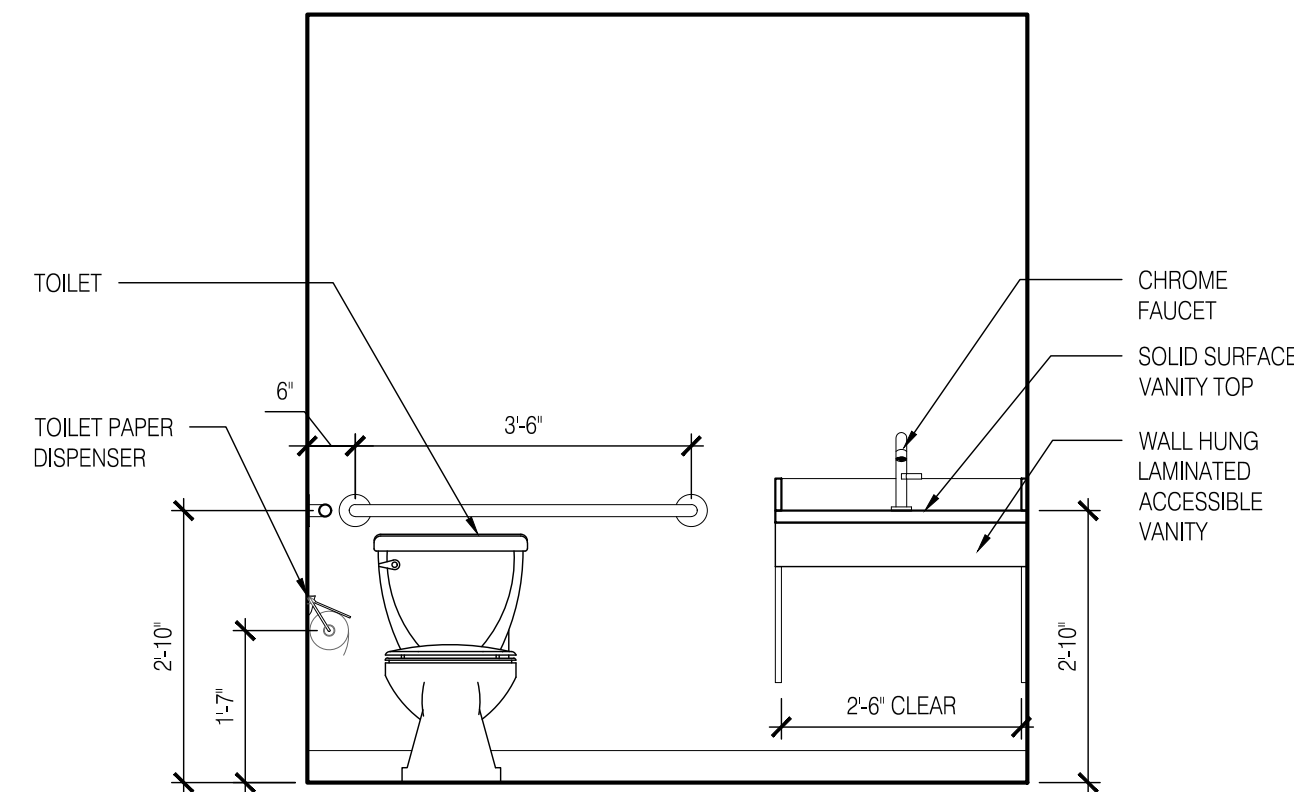
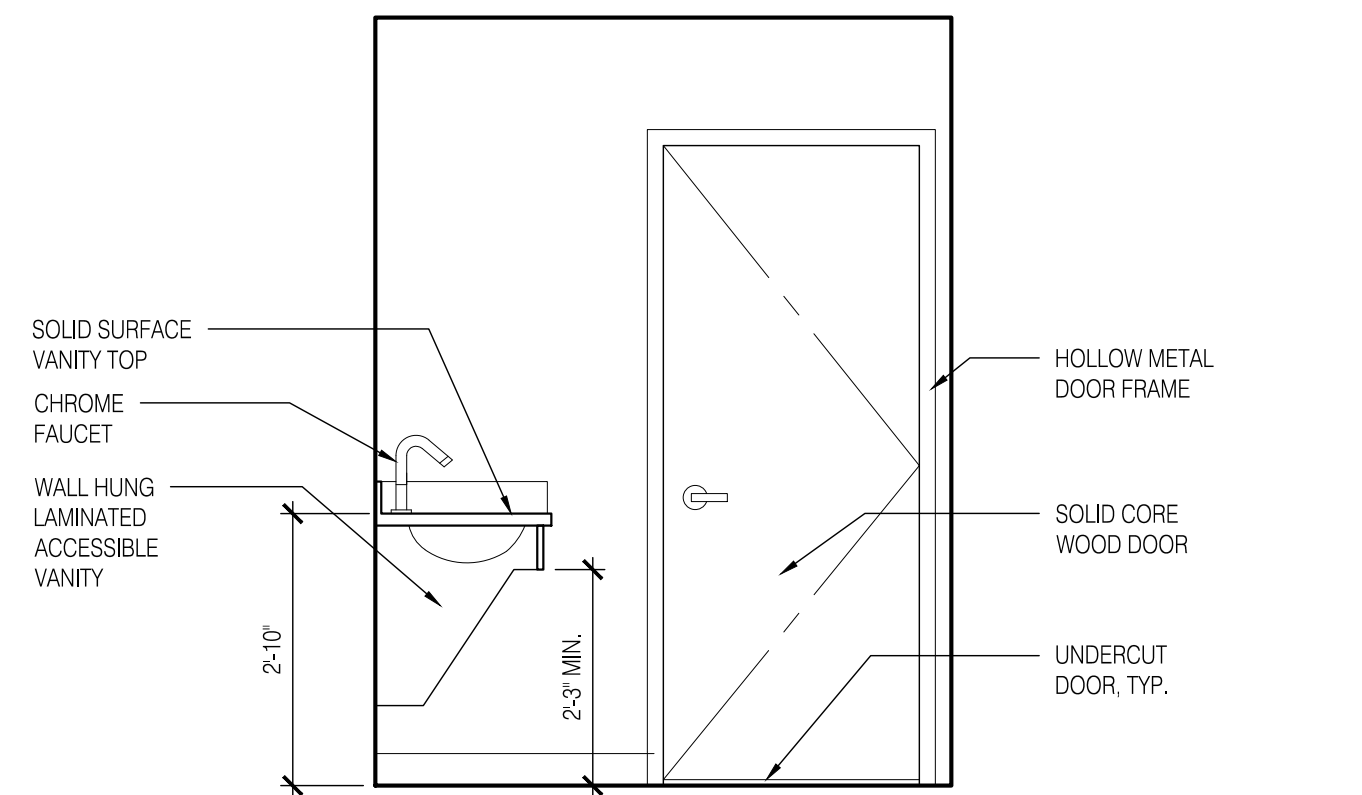
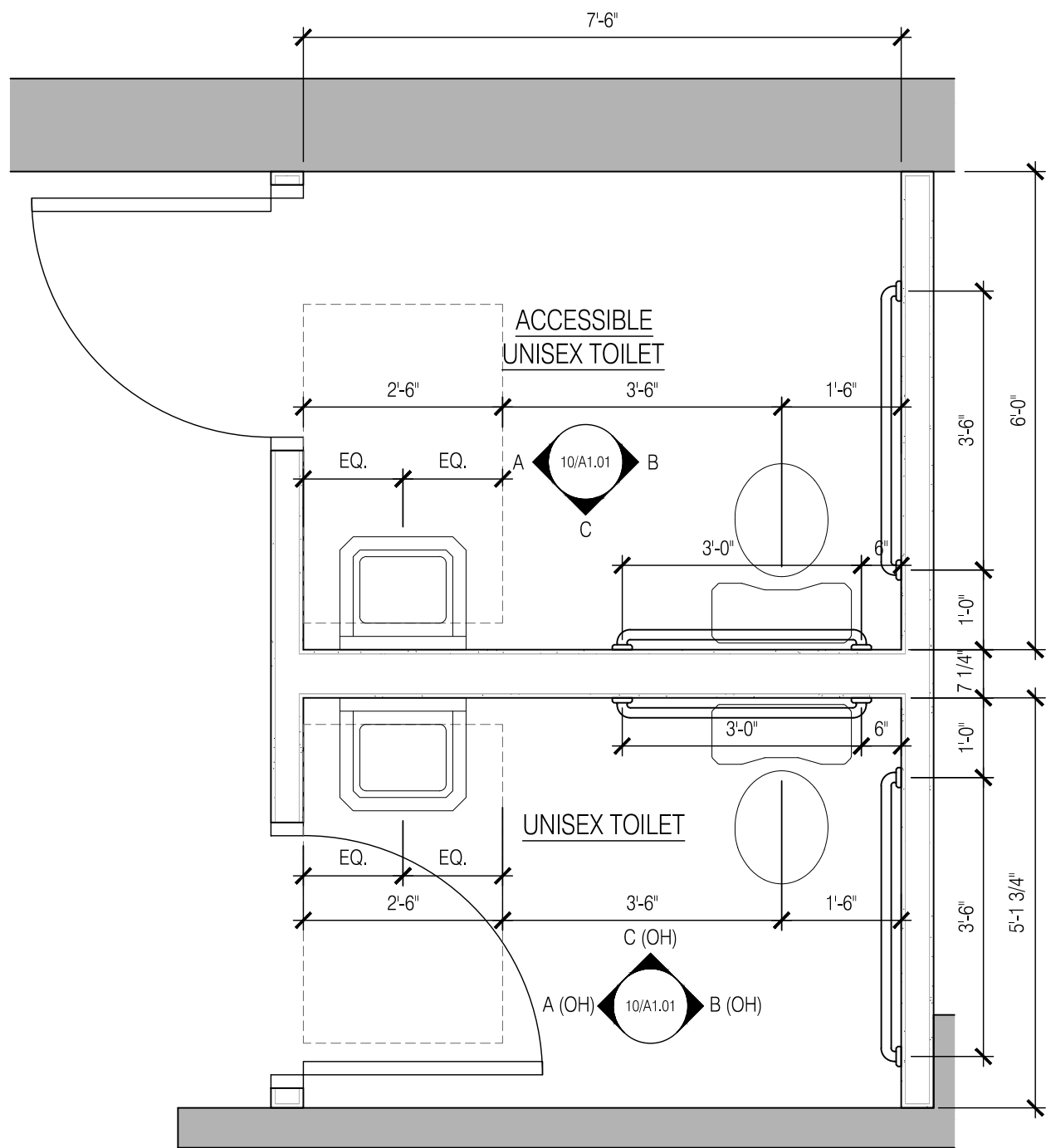


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NEW COMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
BASEMENT PLAN

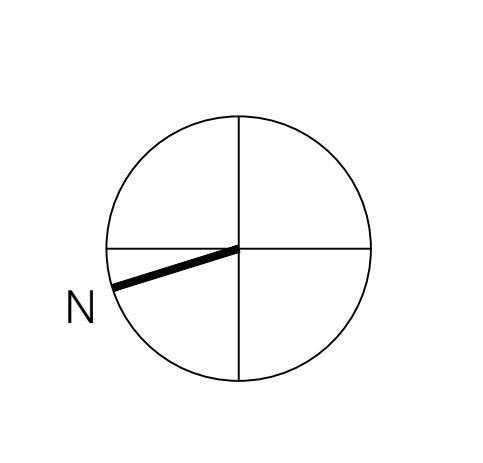
GPH design
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 ONE ADAMS STREET AT LOWER MILLS
 MILTON, MA 02186
 phone: (617) 823-3093
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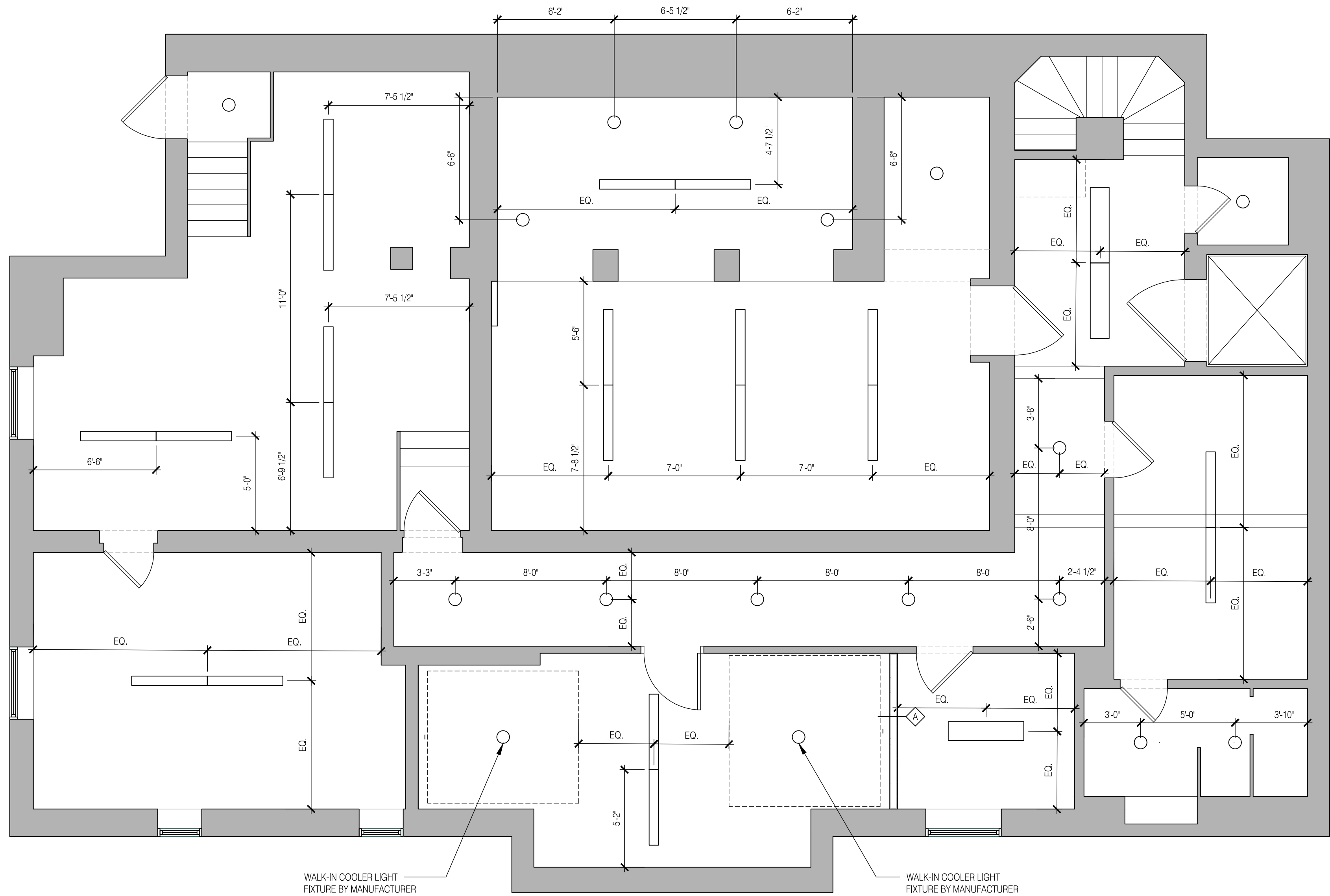


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NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
FIRST FLOOR PLAN

GPH design
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01 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

CEILING LEGEND

- 6" x 4'-0" PENDANT MOUNT LIGHT FIXTURE
- 6" x 8'-0" PENDANT MOUNT LIGHT FIXTURE
- 1'-0" x 4'-0" SURFACE MOUNT LIGHT FIXTURE
- 8" Ø SURFACE MOUNT LIGHT FIXTURE

rev. date purpose drwn

REGISTERED ARCHITECT

GLEN P. HOFFMAN

No. 50200

BOSTON

MA

SEAL OF THE BOARD OF ARCHITECTS

1/6/2025

seal

N

project name

NEW COMERCIAL SPACE

2 ELIOT STREET

MILTON, MA 02186

PROPOSED RENOVATION

BASEMENT REFLECTED CEILING PLAN

GPH

design

architecture • planning

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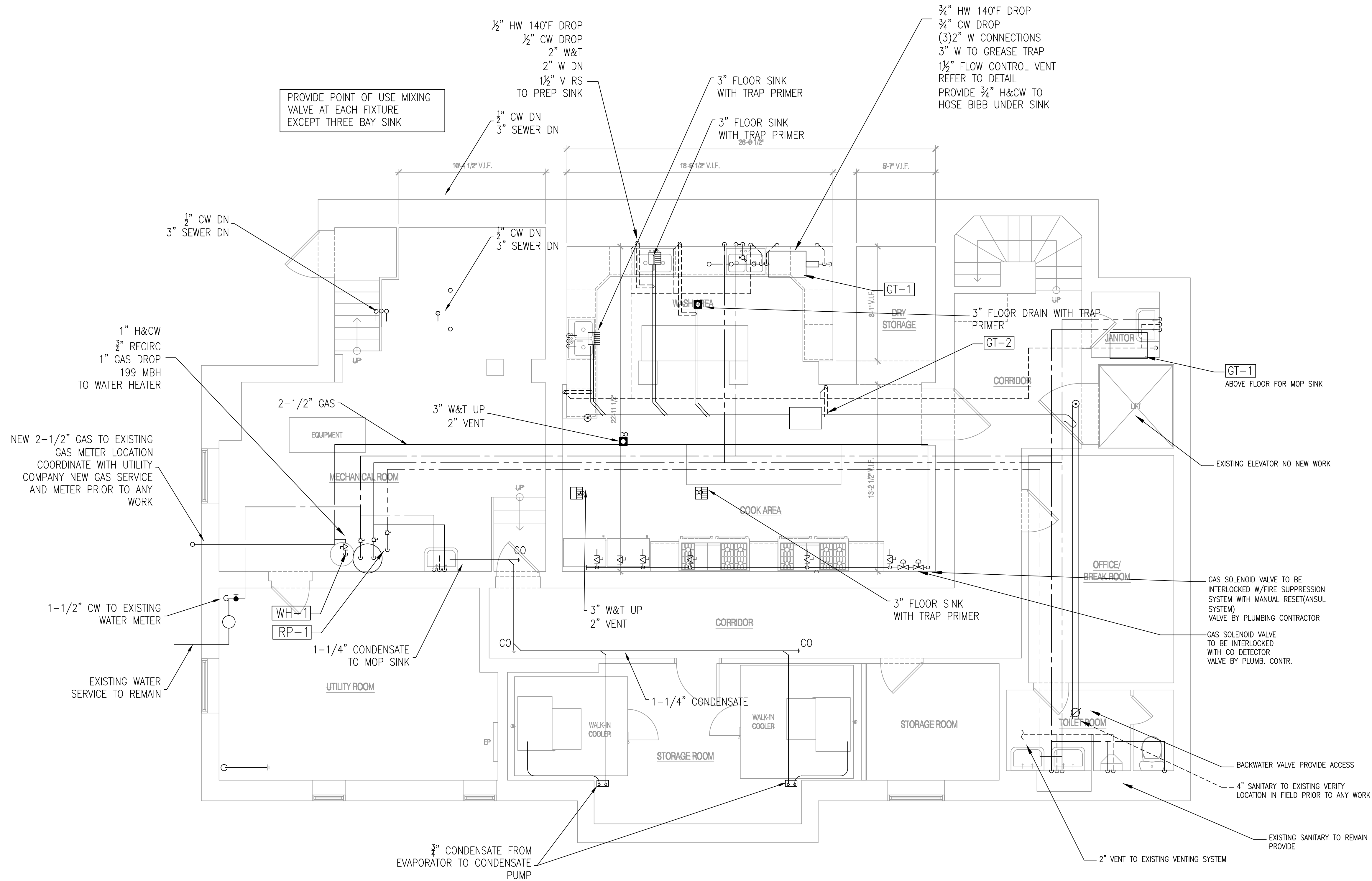
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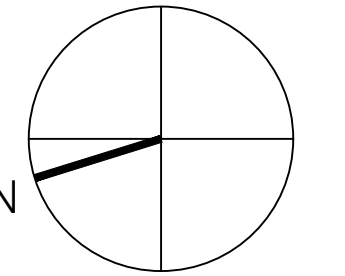


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seal



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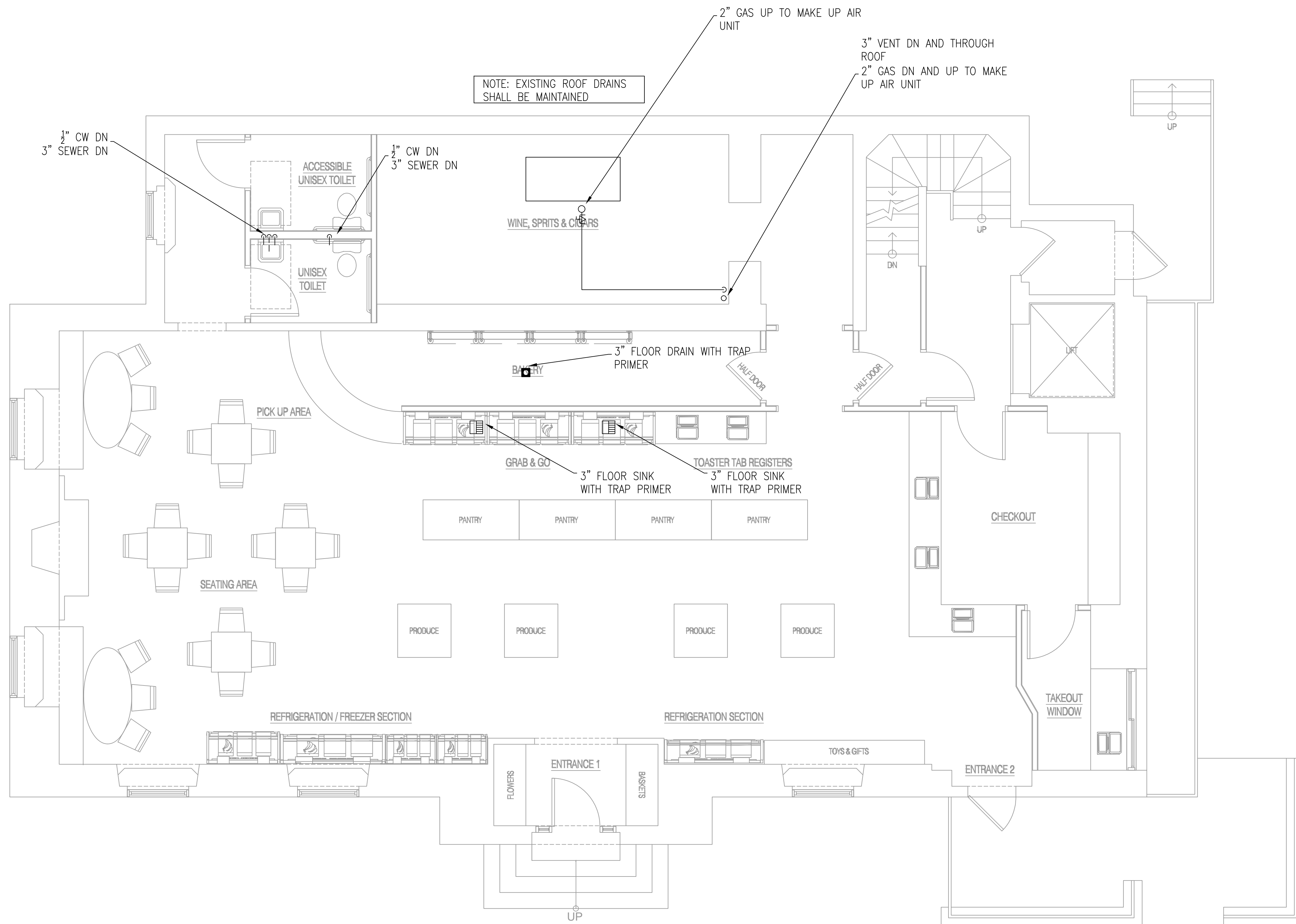
Basement
Plumbing Plan

P-1

sheet


ZADE ENGINEERING LLC

CONSULTING ENGINEERS
1 BILLINGS ROAD STE 306, QUINCY, MA 02171
TEL. (617) 338-4406
FAX. (617) 451-2540
EMAIL. zade@zadeengineering.com

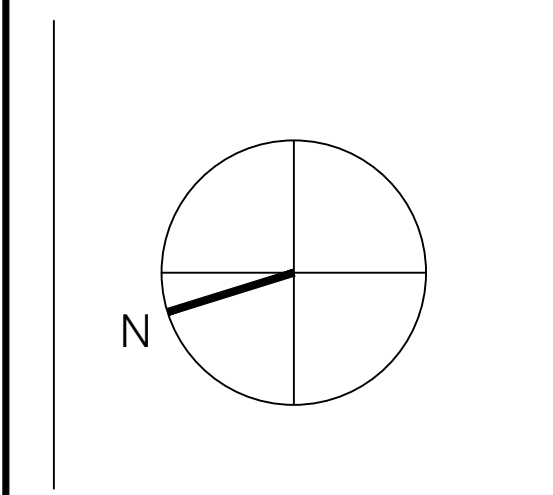


NOTE: EXISTING ROOF DRAINS SHALL BE MAINTAINED

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seal



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First Floor
Plumbing Plan

sheet **P-2**

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TEL. (617) 338-4406
FAX. (617) 451-2540
EMAIL zade@zadeengineering.com

PLUMBING SPECIFICATION

| | |
|--|--|
| PLUMBING SCOPE | C. EXECUTION |
| A. SCOPE OF WORK | 1. PRIOR TO BIDDING THE JOB THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING CONDITIONS. REPORT ADVERSE CONDITIONS IN WRITING TO ARCHITECT. |
| 1. SANITARY WASTE AND VENT PIPING SYSTEM. | 2. ALL PLUMBING WORK SHALL COMPLY TO STATE AND LOCAL CODE REQUIREMENTS. |
| 2. GREASE INTERCEPTORS | 3. PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS. |
| 3. CONNECTION TO EXISTING SANITARY. | 4. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR THE PROPER AND COMPLETE INSTALLATION OF ALL PLUMBING WORK SHOWN ON THE DRAWING. |
| 4. PLUMBING FIXTURES: | 5. ALL NEW WASTE AND VENT PIPING SHALL BE APPROVED BY LOCAL INSPECTOR. |
| 5. GAS PIPING, WATER PIPING, VALVES, AND FITTINGS. | 6. INSTALL BALL VALVE AND UNION ON ALL HOT AND COLD WATER CONNECTIONS TO EQUIPMENT. |
| 6. INSULATION AND HANGERS | 7. GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. |
| 7. PERMITS. | 8. ALL WATER PIPING IN EXTERIOR WALLS SHALL BE RUN ON THE WARM SIDE OF INSULATION |
| 8. ALL CORE DRILLING AND PATCHING. | |
| B. MATERIALS | |
| 1. PIPING MATERIALS: | |
| SANITARY : S.W.C.I. WITH HUSKY BAND CLAMPS | |
| VENT : S.W.C.I. WITH HUSKY BAND CLAMPS | |
| GAS PIPING : BLACK STEEL THREAD JOINTS | |
| WATER PIPING :TYPE "L" COPPER SOLDER JOINTS | |
| 2. INSULATE ALL COLD WATER PIPING WITH 1/2" FIBERGLASS INSULATION WITH ALL SERVICE JACKET. | |
| INSULATE ALL HOT WATER AND RECIRC. PIPING WITH 1" FIBERGLASS INSULATION WITH ALL SERVICE JACKET. | |
| INSULATE PIPING BELOW HANDICAPPED LAVATORIES. | |
| 3. PLUMBING FIXTURES: | |
| REFER TO PLUMBING FIXTURE SCHEDULE | |

GENERAL NOTES

- 1) FOR EXACT LOCATION OF PLUMBING FIXTURES SEE ARCHITECTURAL DRAWINGS.
- 2) EXAMINE ALL CONTRACT DRAWINGS, GERNERAL CONDITIONS AND SPECIFICATIONS WHICH MAY AFFECT THE WORK.
- 3) ALL PLUMBING WORK MUST BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
- 4) CHECK INVERT ELEVATIONS AND EXACT LOCATIONS OF ALL OUTSIDE UTILITIES BEFORE INSTALLING ANY UNDERGROUND.
- 5) NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- 6) NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
- 7) ALL PLUMBING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LOCAL AND STATE PLUMBING CODES.
- 8) ROUGHING DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH GENERAL CONTRACTOR.
- 9) INSTALL ALL HOT AND COLD WATER PIPING AS PER SPECIFICATIONS.
- 10) INSTALL SHUTOFF GATE VALVES ON ALL BRANCH SUPPLY LINES AND AT THE BASE OF HOT AND COLD WATER RISERS.
- 11) ALL ACCESS PANELS SHALL BE BY GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATIONS.
- 12) INSTALL ALL FLOOR CLEANOUTS TO CLEAR EQUIPMENT.
- 13) PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES AND CHARGES IN CONNECTION WITH HIS WORK.
- 14) PLUMBING CONTRACTOR SHALL PROVIDE WATERTIGHT SLEEVES FOR ALL PIPES PASSING THRU BASEMENT WALLS.
- 15) INSTALL CLEANOUTS AT THE BASE OF ALL SANITARY STACKS.
- 16) INSTALL ALL HORIZONTAL RUNS OF PIPING AS HIGH AS POSSIBLE, PITCH ALL WATER PIPING TO DRAIN, DRAW OFFS AT ALL POINTS.
- 17) PLUMBING CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO OUTSIDE UTILITIES.

PLUMBING FIXTURE SPECIFICATION SCHEDULE

| DESIGNATION | FIXTURE SYMBOL | SYMBOL | MANUFACTURER | FIXTURE | | | FITTING | | | | CARRIER | LOCATION | REMARKS |
|-------------|----------------|--------|--------------|---------|------|------|--------------|------|--------|------|---------|----------|---------|
| | | | | MODEL | TYPE | SIZE | MANUF/MODEL# | TYPE | SUPPLY | TRAP | | | |
| | | | | | | | | | | | | | |

REFER TO ARCHITECTURAL SPECIFICATIONS FOR PLUMBING FIXTURES

SCHEDULE OF CIRCULATOR PUMP

| DESIGNATION | NAME | LOCATION | DESCRIPTION |
|-------------|--------------------|-----------------|--|
| RP-1 | RECIRCULATION PUMP | MECHANICAL ROOM | PROVIDE GRUNDFOS UP-15-55 SFC/SUC SET AT 3 GPM @ 12' OF HEAD, WITH TIMER, INTEGRAL CHECK VALVE, AQUASTAT, LINE CORD. 115V,1Ø |
| | | | |

GREASE TRAP SIZING

| | | | |
|-------------|------|--|--------------------------------|
| GREASE TRAP | GT-1 | GREASE RECEIVING FIXTURES: | SIZE: |
| | | -TRIPLE POT SINK | 24Lx18"Wx14"D-EACH COMPARTMENT |
| | | CALCULATION OF GREASE TRAP-THREE BAY SINK | |
| | | STEP 1: CUBIC CONTENT OF SINK | |
| | | 24Lx18"Wx14"D=4,480 CU. IN | |
| | | 6,048 CU IN x 3 COMPARTMENTS=18,144 CU IN. | |
| | | STEP 2: CAPACITY IN GALLONS | |
| | | 18,144 CU IN. /231=78.54 GAL. | |
| | | STEP 3: ACTUAL DRAINAGE LOAD | |
| | | 78.54 GAL. x .75 CAPACITY= 58.90 GAL. | |
| GREASE TRAP | GT-2 | STEP 4: CALCULATE FLOW RATE | |
| | | 58.90 GAL. AT A 1 MIN. DRAIN | |
| | | 58.90 GAL/2 = 29.45 GAL. AT A 2 MIN. DRAIN | |
| | | | |
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| | | | |
| GREASE TRAP | GT-2 | GREASE RECEIVING FIXTURES: | SIZE: |
| | | -(3) DUMP SINKS | 24Lx18"Wx14"D-EACH SINK |
| | | | |
| | | | |
| | | -DISHWASHER | 4.0 GPM |
| | | -MOP SINK | 2.5 GPM |
| | | | |
| | | CALCULATION OF GREASE TRAP-THREE BAY SINK | |
| | | STEP 1: CUBIC CONTENT OF SINK | |
| | | 24Lx18"Wx14"D=4,480 CU. IN | |
| GREASE TRAP | GT-2 | 6,048 CU IN x 3 COMPARTMENTS=18,144 CU IN. | |
| | | STEP 2: CAPACITY IN GALLONS | |
| | | 18,144 CU IN. /231=78.54 GAL. | |
| | | STEP 3: ACTUAL DRAINAGE LOAD | |
| | | 78.54 GAL. x .75 CAPACITY= 58.90 GAL. | |
| | | STEP 4: CALCULATE FLOW RATE | |
| | | 58.90 GAL. AT A 1 MIN. DRAIN | |
| | | 58.90 GAL/2 = 29.45 GAL. AT A 2 MIN. DRAIN | |
| | | | |
| | | | |
| GREASE TRAP | GT-2 | ADD ALL FLOW RATES FLOW RATES | |
| | | 58.9 GPM + 8.5 GPM = 67.4 GPM | |
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GREASE TRAP SIZING

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|-------------|------|--|-------------------------|
| GREASE TRAP | GT-2 | GREASE RECEIVING FIXTURES: | SIZE: |
| | | -(3) DUMP SINKS | 24Lx18"Wx14"D-EACH SINK |
| | | | |
| | | | |
| | | -DISHWASHER | 4.0 GPM |
| | | -MOP SINK | 2.5 GPM |
| | | | |
| | | CALCULATION OF GREASE TRAP-THREE BAY SINK | |
| | | STEP 1: CUBIC CONTENT OF SINK | |
| | | 24Lx18"Wx14"D=4,480 CU. IN | |
| GREASE TRAP | GT-2 | 6,048 CU IN x 3 COMPARTMENTS=18,144 CU IN. | |
| | | STEP 2: CAPACITY IN GALLONS | |
| | | 18,144 CU IN. /231=78.54 GAL. | |
| | | STEP 3: ACTUAL DRAINAGE LOAD | |
| | | 78.54 GAL. x .75 CAPACITY= 58.90 GAL. | |
| | | STEP 4: CALCULATE FLOW RATE | |
| | | 58.90 GAL. AT A 1 MIN. DRAIN | |
| | | 58.90 GAL/2 = 29.45 GAL. AT A 2 MIN. DRAIN | |
| | | | |
| | | | |
| GREASE TRAP | GT-2 | ADD ALL FLOW RATES FLOW RATES | |
| | | 58.9 GPM + 8.5 GPM = 67.4 GPM | |
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SCHEDULE OF WATER HEATER

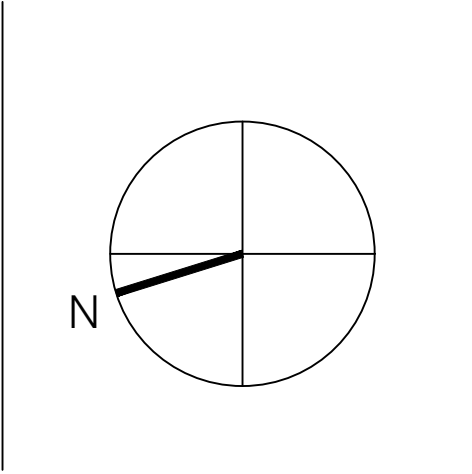
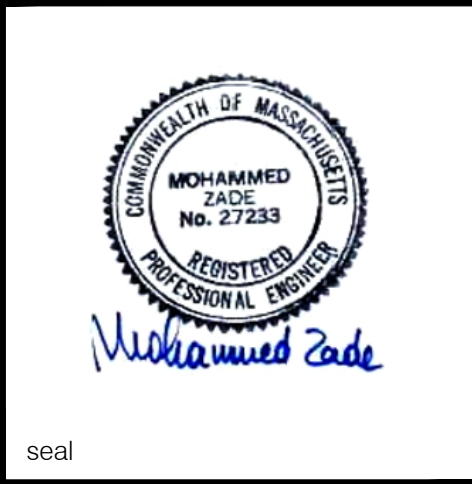
| DESIGNATION | NAME | LOCATION | DESCRIPTION |
|-------------|--------------|----------|--|
| WH-1 | WATER HEATER | BASEMENT | "STATE" SUF119 300 NEA, GAS FIRED WATER HEATER, 119 GAL. CAP., 361 GAL. FIRST HOUR RATING, 349 GPH @ 100°F RISE RECOVERY. 300 MBH INPUT 120/1Ø |
| | | | |

GREASE TRAP SCHEDULE

| | | |
|-------------|------|---|
| GREASE TRAP | GT-1 | JOSAM 60115-SA SERIES EPOXY COATED FABRICATED STEEL SEMI-AUTOMATIC GREASE INTERCEPTOR, LOW TYPE, PDI RATED AT 35 GPM AND 70 LBS, 3" INLET AND OUTLET SHALLOW ON-FLOOR TYPE, THREADED CONNECTIONS, INTERNAL AIR-RELIEF, VISIBLE DOUBLE WALL TRAP, REMOVABLE BAFFLE, GASKETED NON-SKID COVER GREASE RECOVERY CONE, FLEXIBLE HOSE, GREASE DRAW-OFF VALVE AND FLOW CONTROL FITTING. |
| GREASE TRAP | GT-2 | JOSAM 60107-SA-RT SERIES EPOXY COATED FABRICATED STEEL SEMI-AUTOMATIC GREASE INTERCEPTOR,PROVIDE RECESSED CONCRETE ENCLOSURE OR RECESSED TRAP, PDI RATED AT 35 GPM AND 75 LBS, 3" INLET AND OUTLET SHALLOW ON-FLOOR TYPE, THREADED CONNECTIONS, INTERNAL AIR-RELIEF, VISIBLE DOUBLE WALL TRAP, REMOVABLE BAFFLE, GASKETED NON-SKID COVER GREASE RECOVERY CONE, FLEXIBLE HOSE, GREASE DRAW-OFF VALVE AND FLOW CONTROL FITTING. |
| GREASE TRAP | GT-3 | JOSAM 60102-SA SERIES EPOXY COATED FABRICATED STEEL SEMI-AUTOMATIC GREASE INTERCEPTOR,PROVIDE RECESSED CONCRETE ENCLOSURE OR RECESSED TRAP, PDI RATED AT 7 GPM AND 15 LBS, 3" INLET AND OUTLET SHALLOW ON-FLOOR TYPE, THREADED CONNECTIONS, INTERNAL AIR-RELIEF, VISIBLE DOUBLE WALL TRAP, REMOVABLE BAFFLE, GASKETED NON-SKID COVER GREASE RECOVERY CONE, FLEXIBLE HOSE, GREASE DRAW-OFF VALVE AND FLOW CONTROL FITTING. |

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project name

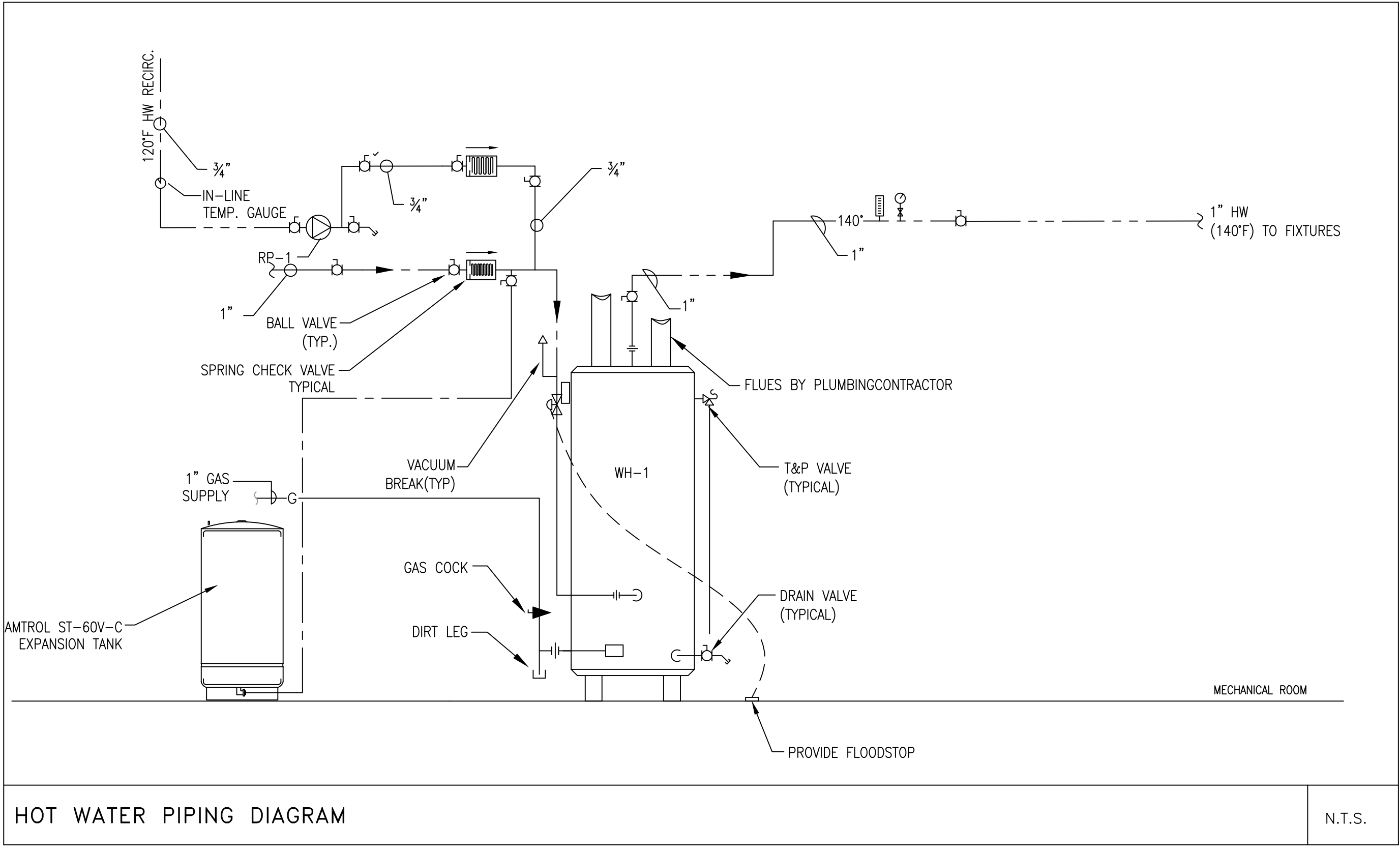
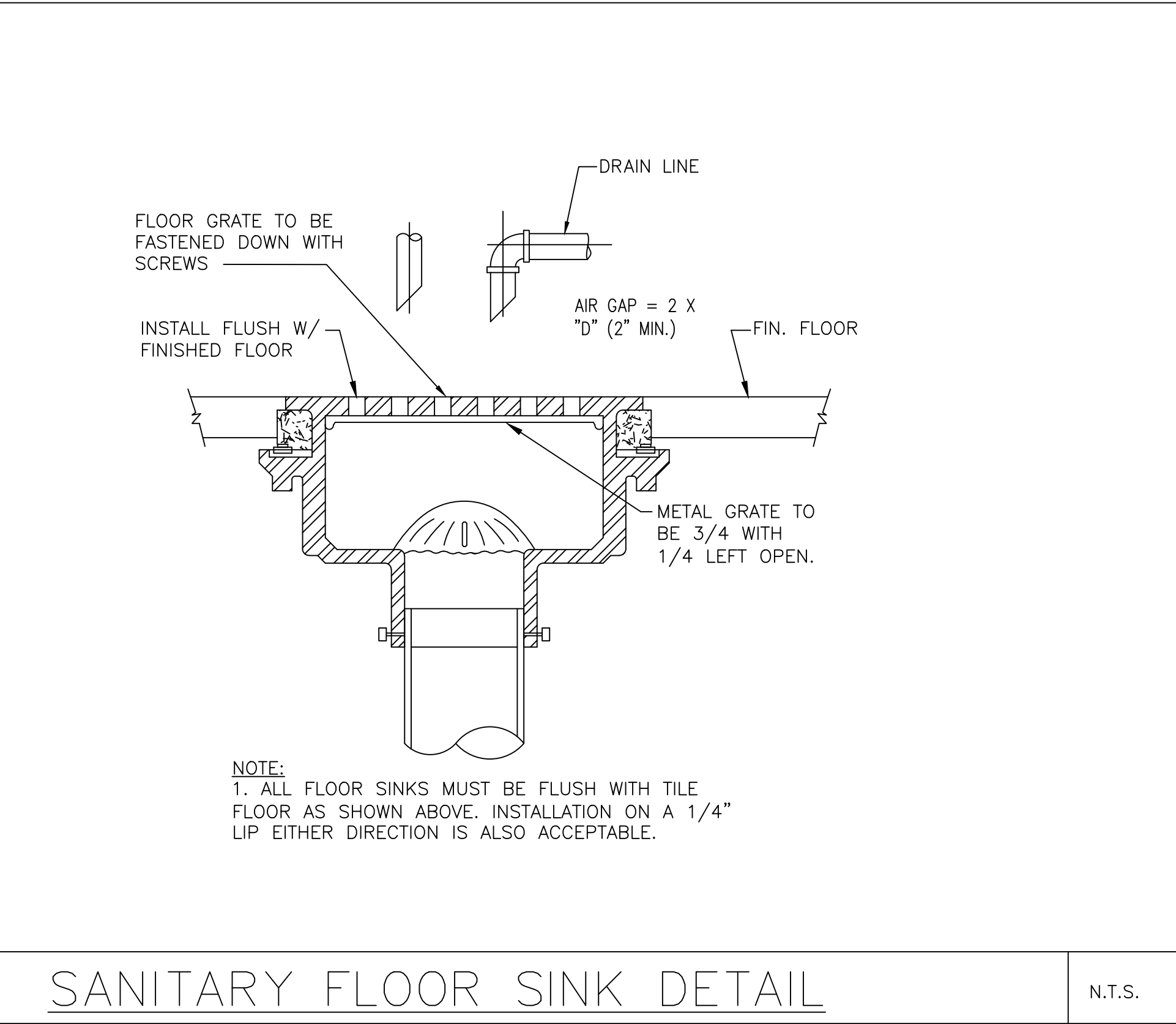
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186



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|---------|-------------------|
| proj.no | 24025.00 |
| date | DECEMBER 30, 2024 |
| scale | 1/4" = 1'-0" |

Plumbing Schedules

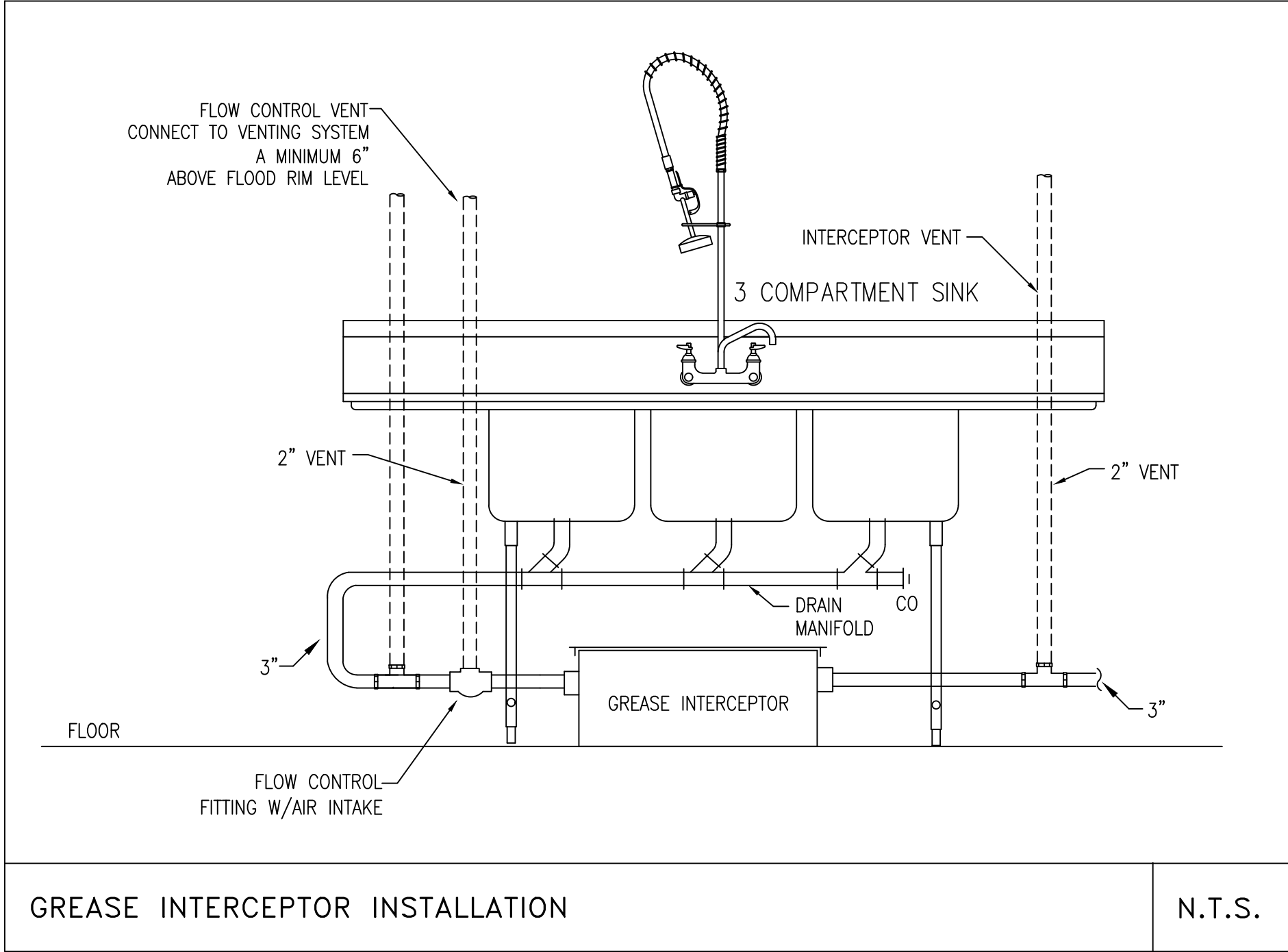
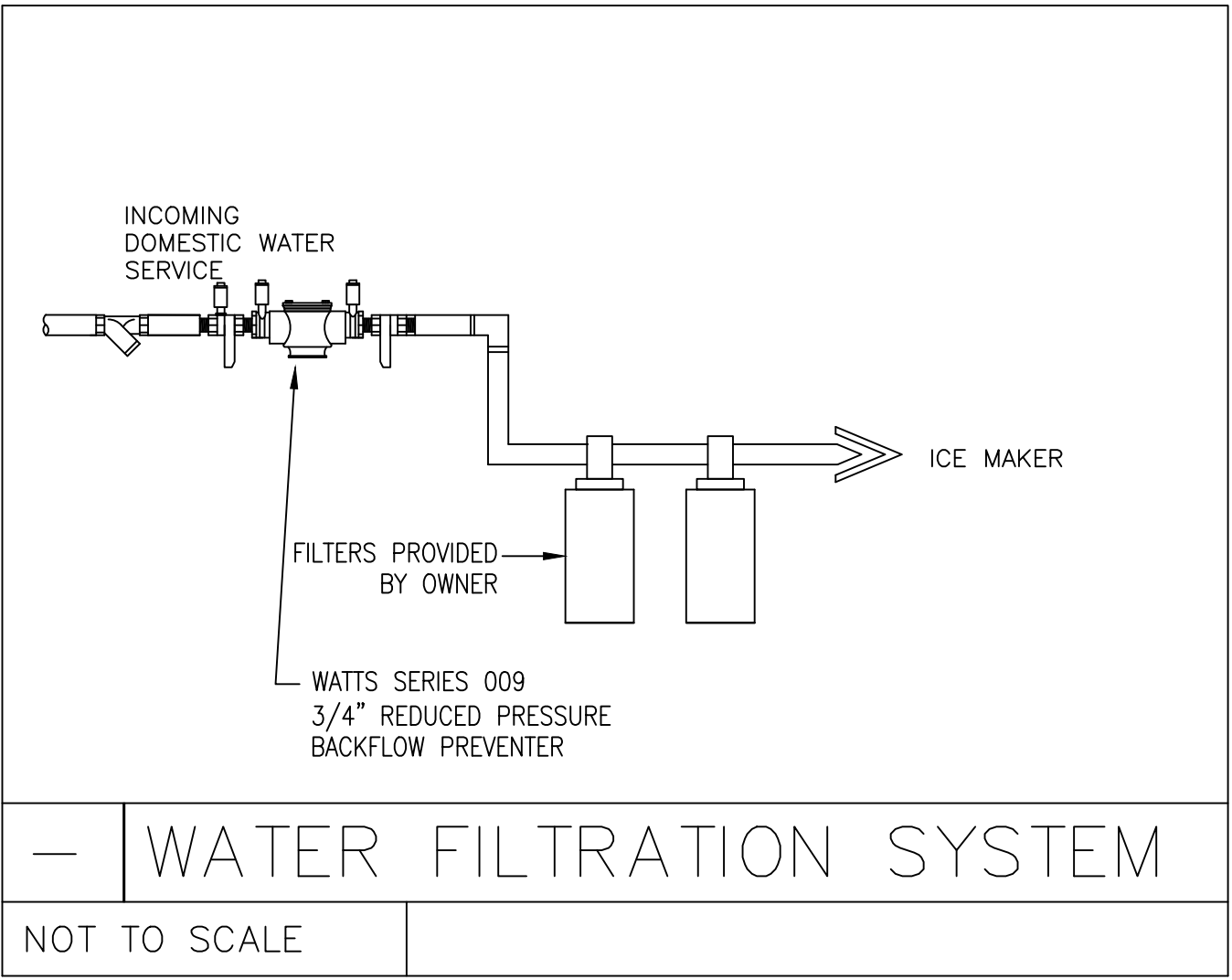
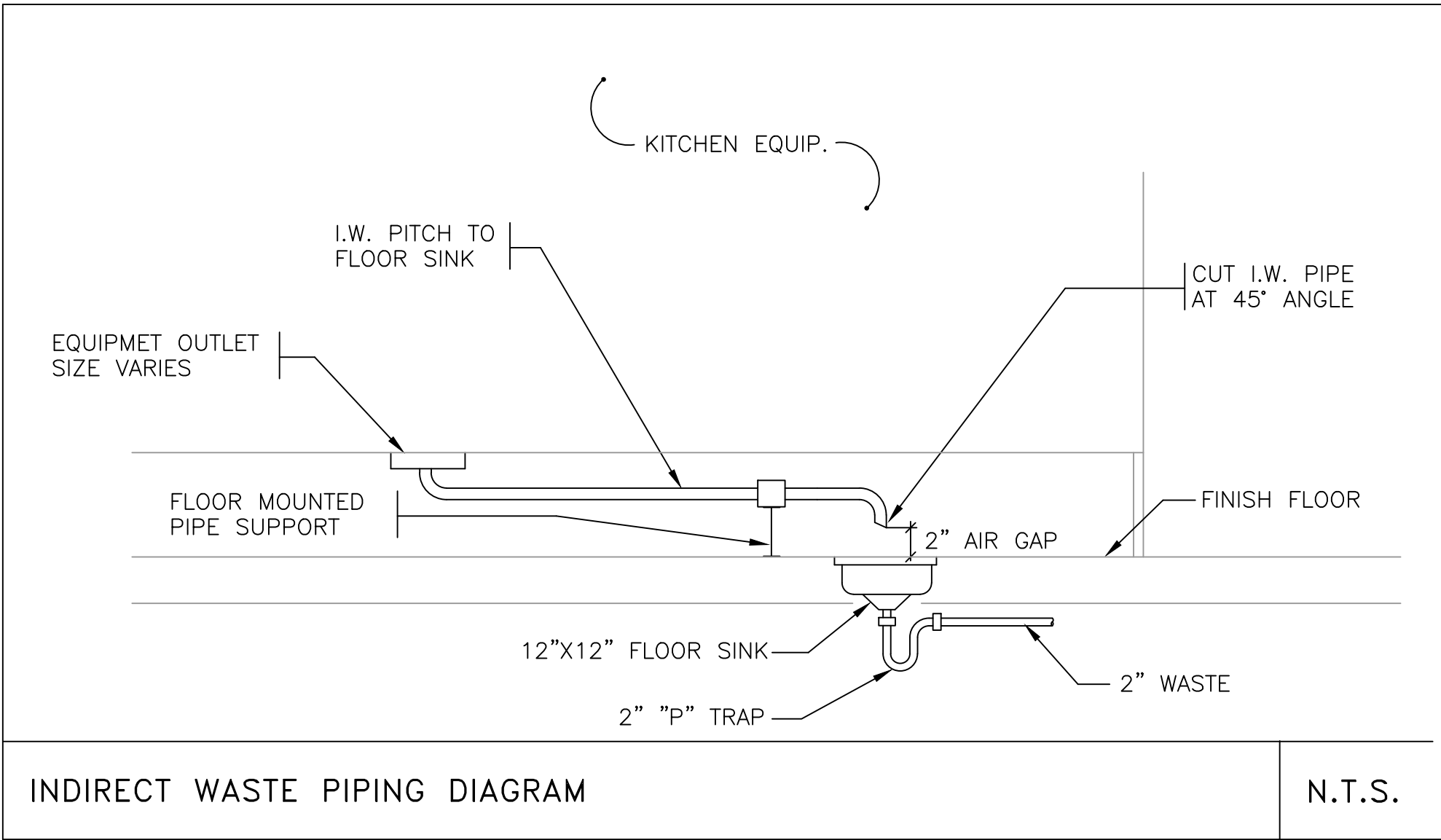
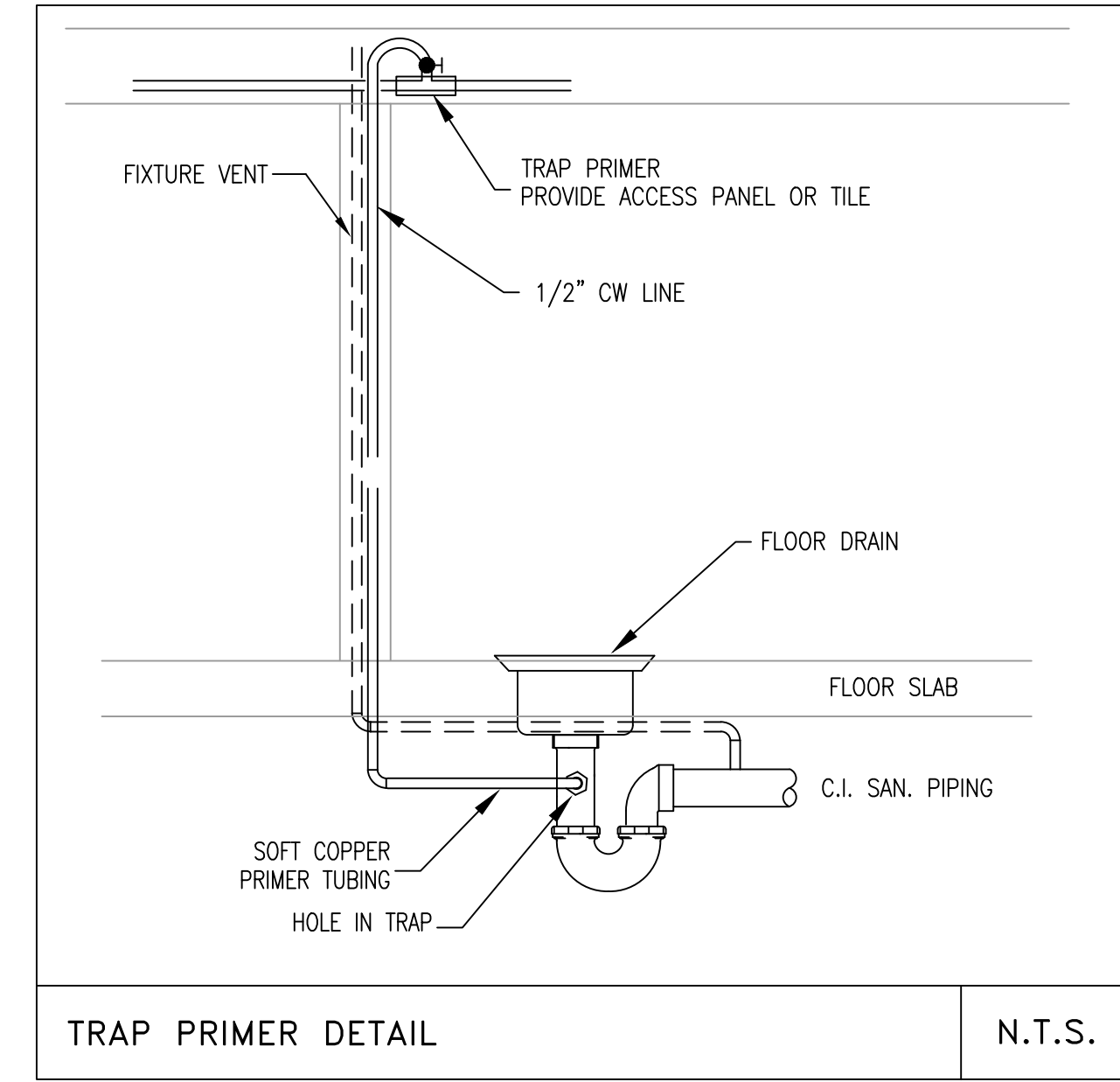
ZADE ENGINEERING LLC
CONSULTING ENGINEERS
1 BILLINGS ROAD STE 306, QUINCY, MA 02171
TEL. (617) 338-4406
FAX. (617) 451-2540
EMAIL zade@zadeengineering.com



| LEGEND | | |
|--------|------|---------------------------|
| | WCO | SANITARY ABOVE FLOOR |
| | VR | SANITARY UNDER FLOOR |
| | VTR | VENT |
| | W.H. | VENT BURIED |
| | AP | COLD WATER |
| | SA | HOT WATER |
| | G.C. | HOT WATER CIRCULATION |
| | HD | SHUT OFF VALVE |
| | FD | CHECK VALVE |
| | FCO | FLOOR CLEANOUT |
| | CWR | CLEANOUT |
| | HWR | WALL CLEANOUT |
| | WM | VENT RISER |
| | DW | VENT THRU ROOF |
| | P.C. | WALL HYDRANT |
| | HB | ACCESS PANEL |
| | SD | SHOCK ABSORBER |
| | SS | GENERAL CONTRACTOR |
| | RWL | HUB DRAIN |
| | RD | FLOOR DRAIN |
| | VS | FLOOR CLEANOUT |
| | | COLD WATER RISER |
| | | HOT WATER RISER |
| | | WASHING MACHINE |
| | | DISHWASHER |
| | | PLUMBING CONTRACTOR UNION |
| | | HOSE BIBB |
| | | SHOWER DRAIN |
| | | SOIL STACK |
| | | RAIN WATER LEADER |
| | | ROOF DRAIN |
| | | VENT STACK |

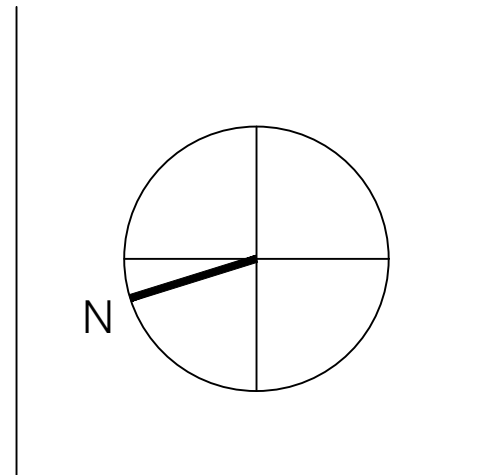
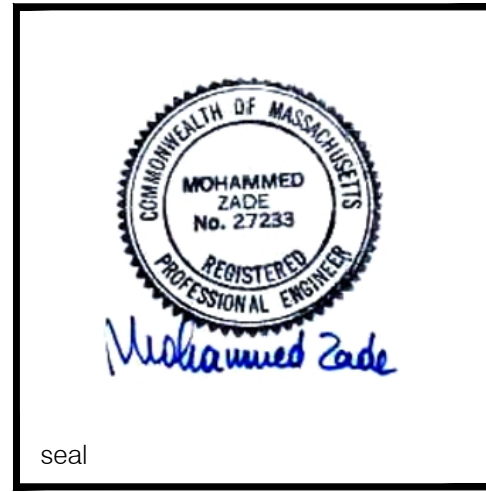
PLUMBING LEGEND

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project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186

GPH design
architecture • planning

proj.no
24025.00
date
DECEMBER 30, 2024
scale
1/4" = 1'-0"

Plumbing Details

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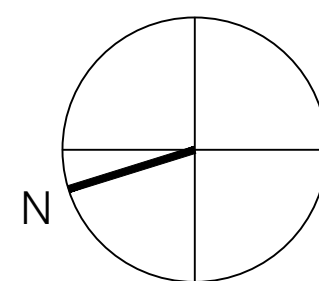
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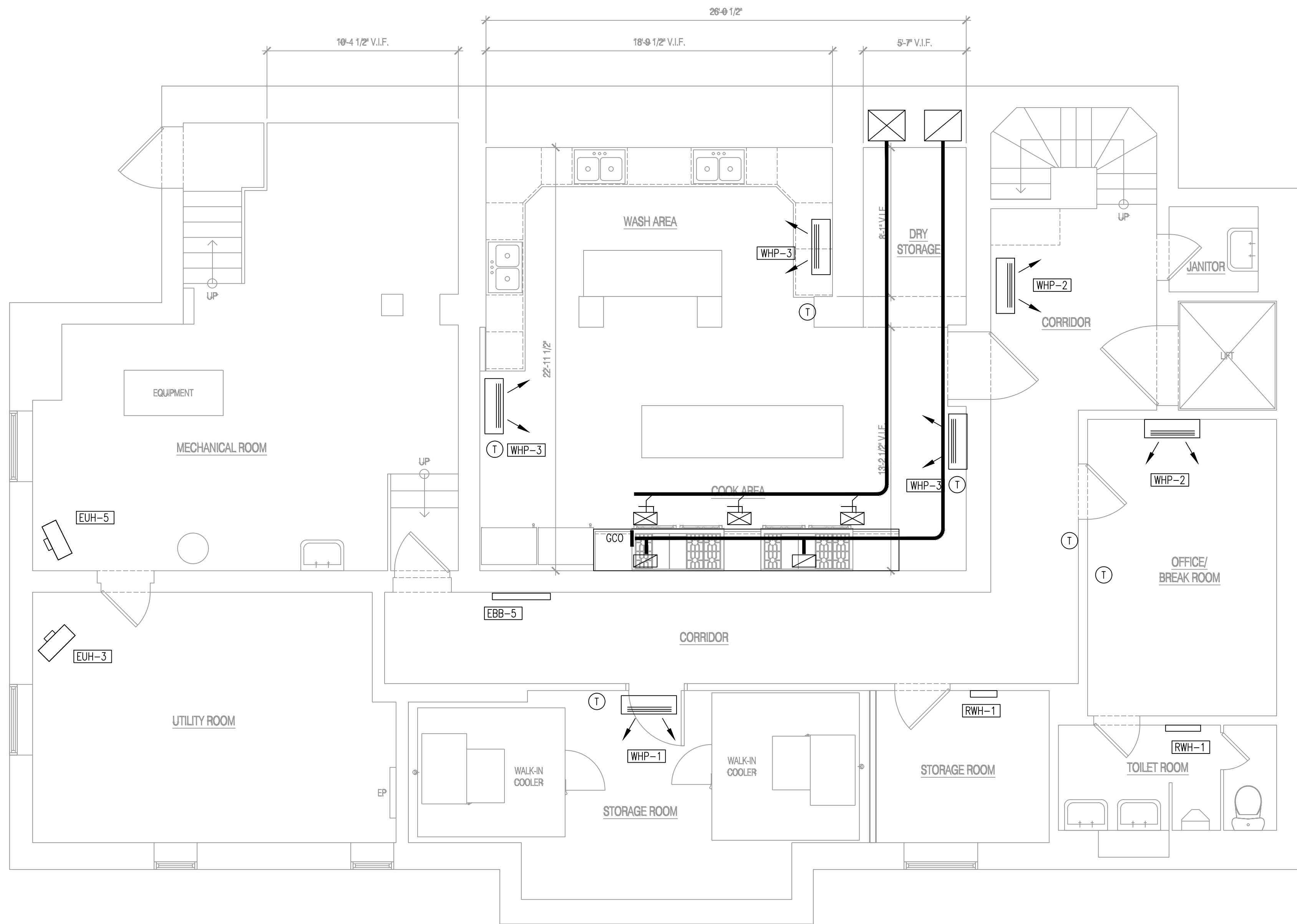
project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
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GPH design
architecture • planning

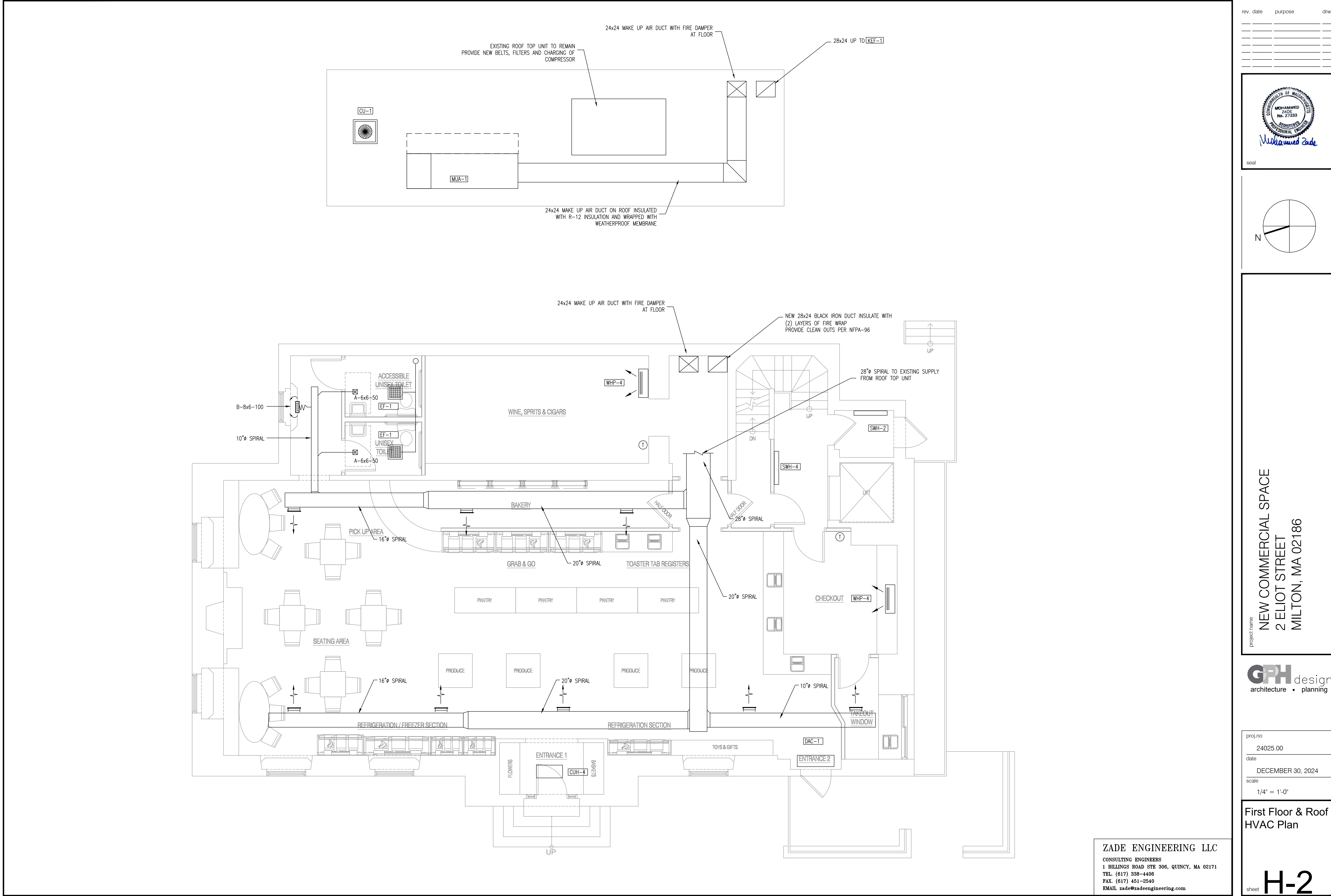
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| proj.no | 24025.00 |
| date | DECEMBER 30, 2024 |
| scale | 1/4" = 1'-0" |

Basement HVAC
Plan

sheet **H-1**

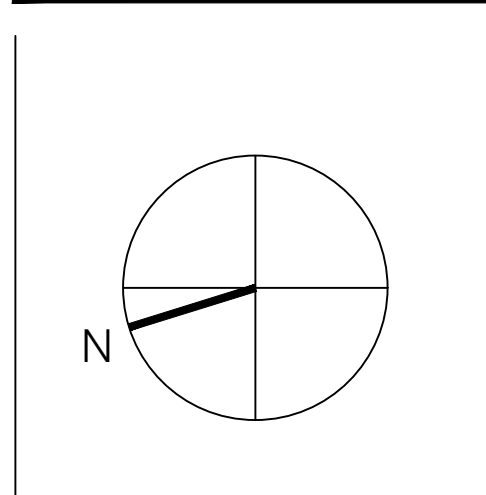
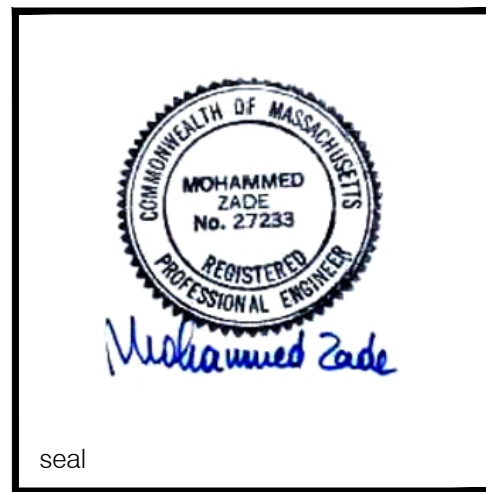


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project name
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2 ELIOT STREET
MILTON, MA 02186



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|---------|-------------------|
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First Floor & Roof
HVAC Plan

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sheet **H-2**

DIFFUSER/REGISTER SCHEDULE

LEGEND:

TYPE OF GRILLE, DIFFUSER
SEE SCHEDULE FOR SPECIFIC INFORMATION
ABOUT THIS OUTLET/INLET TYPE

SIZE OF GRILLE, DIFFUSER
A=66
50 CFM

AIRFLOW

| TYPE | DESCRIPTION | MODEL (BASED ON TITUS) |
|------|--|-----------------------------------|
| A | LOUVER FACE CEILING DIFFUSER FOR SHEET ROCK CEILING INSTALLATION. PROVIDE ROUND TO SQUARE ADAPTOR. WITH OPPOSIBLE BLADE DAMPER | TITUS TDCA, BORDER 1 |
| A1 | LOUVER FACE CEILING DIFFUSER FOR 2'x2' LAY-IN CEILING INSTALLATION. PROVIDE ROUND TO SQUARE ADAPTOR. WITH OPPOSIBLE BLADE DAMPER | TITUS TDCA, BORDER 3 |
| B | DOUBLE DEFLECTION REGISTER FOR SHEET ROCK INSTALLATION. PROVIDE ROUND TO SQUARE ADAPTOR. | TITUS 272RS |
| C | LINEAR DIFFUSER, LINEAR STYLE 3/4" SLOT SPACING WIDTH, 4 SLOT FOR SHEET ROCK CEILING INSTALLATION. 50 CFM/FT WITH DAMPER, INSULATED PLENUM | TITUS ML-38, BORDER TYPE 22 |
| C1 | LINEAR DIFFUSER, LINEAR STYLE 3/4" SLOT SPACING WIDTH, 4 SLOT FOR SHEET ROCK CEILING INSTALLATION. 50 CFM/FT WITH DAMPER, INSULATED PLENUM | TITUS ML-38, BORDER TYPE 22 |
| C2 | LINEAR DIFFUSER, LINEAR STYLE 3/4" SLOT SPACING WIDTH, 4 SLOT FOR SHEET ROCK CEILING INSTALLATION. 50 CFM/FT WITH DAMPER, INSULATED PLENUM | TITUS ML-38, FRAME & BORDER 7A |
| D | LINEAR DIFFUSER, LINEAR STYLE 1 1/2" SLOT SPACING WIDTH, 4 SLOT FOR SHEET ROCK CEILING INSTALLATION. 100 CFM/FT WITH DAMPER, INSULATED PLENUM | TITUS MLR-40, BORDER TYPE 22 |
| E | DOUBLE DEFLECTION GRILLE FOR SHEET ROCK NSTALLATION. WITH OPPOSIBLE BLADE DAMPER | TITUS 25 RS |
| E1 | DOUBLE DEFLECTION GRILLE FOR SHEET ROCK NSTALLATION. WITH OPPOSIBLE BLADE DAMPER ALUMINUM TYPE | TITUS 25 RS |

LEGEND

| | | | |
|--|---|--------|-----------------------------|
| | SUPPLY AIR DUCT UP | CH/HWR | CHILLED OR HOT WATER RETURN |
| | SUPPLY AIR DUCT DOWN | CH/HWS | CHILLED OR HOT WATER SUPPLY |
| | RETURN AIR DUCT UP | CWR | CONDENSER WATER RETURN PIPE |
| | RETURN AIR DUCT DOWN | CWS | CONDENSER WATER SUPPLY PIPE |
| | VOLUM DAMPER | HWR | HOT WATER RETURN PIPE |
| | MOTORIZED DAMPER | HWS | HOT WATER SUPPLY PIPE |
| | FIRE DAMPER | D | CONDENSATE DRAIN PIPE |
| | 1" LINED DUCTWORK | | PIPE UP |
| | SUPPLY AIR REGISTER | | PIPE DOWN |
| | RETURN OR EXHAUST AIR REGISTER | | BALL VALVE |
| | SUPPLY AIR DIFFUSER | | GATE VALVE |
| | THERMOSTAT | | CHECK VALVE |
| | EXHAUST FAN | | STRAINER |
| | ENERGY RECOVERY UNIT | | UNION |
| | SPLIT SYSTEM AC UNIT | | 3-WAY CONTROL VALVE |
| | FAN COIL UNIT | | 2-WAY CONTROL VALVE |
| | UNIT HEATER | | BALANCING VALVE |
| | MAKE-UP AIR UNIT | | THERMOMETER |
| | WHALEN FAN COIL UNIT | | PRESSURE GAUGE |
| | GENERAL CONTRACTOR ELECTRICAL CONTRACTOR | | FLEXIBLE PIPE CONNECTION |

GENERAL CONSTRUCTION NOTES:

1. SHOULD ANY CONTRADICTION, AMBIGUITY, ERROR, INCONSISTENCY, OMMISION OR INCOMPLETE SYSTEM APPEAR IN OR BETWEEN ANY OF CONTRACT DOCUMENTS THE CONTRACTOR SHALL, BEFORE SUBMITTING THE FINAL BID AND SIGNING THE CONTRACT FOR CONSTRUCTION, NOTIFY THE ARCHITECT AND REQUEST A WRITTEN RESOLUTION AS TO WHICH METHODS OR MATERIALS WILL BE REQUIRED. IN THE EVENT OF CONFLICTING REQUIREMENTS OF STANDARDS , DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT REQUIREMENTS. BEFORE SUBMITTING THE FINAL BID AND THE SIGNING THE CONTRACT FOR THE CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A WRITTEN INTERPRETATION FROM THE ARCHITECT. IN NO CASE SHALL THE CONTRACTOR PROCEED WITH THE AFFECTED WORK UNTIL ADVISED BY THE ARCHITECT.

IF THE CONTRACTOR FAILS TO MAKE A REQUEST FOR INTERPRETATION OR RESOLUTION NO EXCUSE WILL BE ACCEPTED FOR FAILURE TO CARRY OUT THE WORK IN A SATISFACTORY MANNER, AS INTERPRETED BY THE ARCHITECT. THIS GENERALLY MEANS THE USE OF THE HIGHEST QUALITY MATERIAL, MOST EXPENSIVE WAY OF PERFORMING WORK AND PROVIDING COMPLETE FUNCTIONING SYSTEM FOR PROPER OPERATION.

EACH AND EVERY TRADE OR SUBCONTRACTOR WILL BE DEEMED TO HAVE FAMILIARIZED THEMSELVES WITH ALL THE CONTRAT DOCUMENTS OF THIS PROJECT, INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND SITE WORK, AND TO HAVE VISITED THE SITE, SO AS TO AVOID ERRORE, OMMISIONS AND MISINTERPRETATIONS. RELATED INFORMATION MAY BE PROVIDED ON CONTRACT DOCUMENTS OTHER THAN THOSE ASSOCIATED WITH THE SUBCONTRACTOR'S TRADE. THE CONTRACTOR IS RESPONSABLE FOR COORDINATING RELATED WORK OF ALL THE CONTRACT DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE AUTHORIZED FOR ALLEGED ERRORS, OMMISIONS AND MISINTERPRETATIONS WHETHER THEY ARE A RESULT OF FAILURE TO OBSERVE THIS REQUIREMENT

2. ALL PENETRATIONS OF ASSEMBLIES EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL BE SEALED WITH FOAM SEALANT OR EQUIVALENT SEALER TO PROVIDE ZERO AIR INFILTRATION. COORDINATE WITH FIRE STOPPING REQUIREMENTS.

3. NO COMPONENT OF ANY SYSTEM SHALL RUN THROUGH THE STAIR ENCLOSURE THAT DOES NOT RELATE TO OR SERVE THE STAIR ENCLOSURE

THE FOLLOWING SYSTEMS SHALL BE INSULATED.
DUCT LINER SHALL BE CLOSED CELL TYPE, GERM PROOF

IECC 2012 REQUIREMENTS:

1. SUPPLY & RETURN DUCTWORK FROM HVAC UNITS:
1 1/2" INSULATION MIN. R-6

GENERAL INSULATION REQUIREMENTS:

1: ALL LINED SUPPLY, RETURN AND TRANSFER DUCTWORK SHALL BE 1" DUCT LINER
-DUCT INSULATION SHALL CONTINUE OVER DUCT AT LINED POINT
-FIRST 10' OF SUPPLY AND RETURN FOR ALL ERU'S AND HVAC UNITS

2. CONDENSATE DRAIN: 1/2"

3. REFRIGERANT PIPING 3/4" ARAMFLEX

ALL DUCTWORK ON ROOF SHALL BE INSULATED WITH R-8 INSULATION AND COVERED WITH EPDM ROOFING MATERIAL FOR WATER TIGHT INSTALLATION.

BRANCH DUCT SCHEDULE

| SIZE | MAX. CFM |
|---------|----------|
| 6" DIA | 100 |
| 7" DIA | 150 |
| 8" DIA | 200 |
| 9" DIA | 300 |
| 10" DIA | 400 |

NOTE: MAXIMUM FLEXIBLE DUCT LENGTH SHALL BE 6'

CONDENSATE DRAIN PIPE SIZING GUIDELINES

| PIPE | TON |
|--------|-----|
| 3/4" | 2 |
| 1" | 5 |
| 1 1/4" | 30 |
| 1 1/2" | 50 |
| 2" | 170 |
| 2 1/2" | 225 |
| 3" | 300 |
| 4" | 450 |

PROVIDE 1" INSULATION

KITCHEN EXHAUST FANS

| TAG | LOCATION | SERVICE | TYPE | DRIVE | CFM | SP | RPM | HP | V/ø | ROOF OPENING&DIMENSIONS | GREENCHECK MODEL | CONTROLS |
|-------|----------|---------|------|-------|-------|----|------|----|-------|-------------------------|------------------|---------------|
| KEF-1 | ROOF | KITCHEN | ROOF | BELT | 4,500 | 2" | 1275 | 5 | 208/3 | 20X20-36X36X30"H-125LBS | USF-222-10-BI-50 | CONTROL PANEL |

NOTE:
1.PROVIDE ROOF CURB, DISCONNECT SWITCH, MOTORIZED DAMPER AND STARTER WITH ALL FANS.
2. INTERLOCK WITH FIRE ALARM CONTROL PANEL
3. PROVIDE CLEAN OUT PORT, HINGE KIT, DRAIN CONNECTION AND GREASE TRAP.
4. PROVIDE VFD MOTOR FOR KEF-1. INTERLOCKED TO HOOD CONTROLLER

GAS FIRED HEATING AND VENTILATING UNIT SCHEDULE(HEATING ONLY)

| TAG NO. | SERVING | TYPE | FAN | | | | | COOLINH-MBH | | GAS HEATING-MBH | | | STARTER | MCA/MOCP | VOLTS/ø | GREENCHECK MODEL NO. | DIMENSIONS |
|---------|---------|---------|-------|------|-------|-----|----|-------------|----|-----------------|--------|-----|---------|----------|---------|----------------------|--------------------------------|
| | | | CFM | O.A. | ESP | RPM | HP | TC | SC | INPUT | OUTPUT | EFF | | | | | |
| MAU-1 | KITCHEN | OUTDDOR | 4,300 | 100% | 1.25" | - | 1 | - | - | 350 | 280 | 81% | YES | 11/15 | 208V/3ø | IGX-P116-H22-MF | 140"L X 44"W X 39"H -1,500 LBS |

PROVIDE THE FOLLOWING ACCESSORIES:
- 409 SS HEAT EXCHANGER, INTERMITTENT SPARK PILOT, HIGH ENERGY MOTORS, MOTOR STARTER, CONVENIENCE OUTLET, FILTER RACK WITH FILTERS, DOWN TURN PLENUM, OUTSIDE AIR HOOD & DAMPERS, GAS PRESSURE SAFETY SWITCH, ELECTRONIC MODULATION WITH ROOM THERMOSTAT. REMOTE CONTROLLER, DUCT MOUNTED THERMOSTAT, HUMIDISTAT
-PROVIDE VFD DRIVE FOR MAKE UP AIR INTERLOCKED WITH HOOD CONTROLLERS
-MAKE UP DISCHARGE SHALL BE 70°F AT 55%RH CONTINUOUS OPERATION, PROVIDE HOT GAS REHEAT

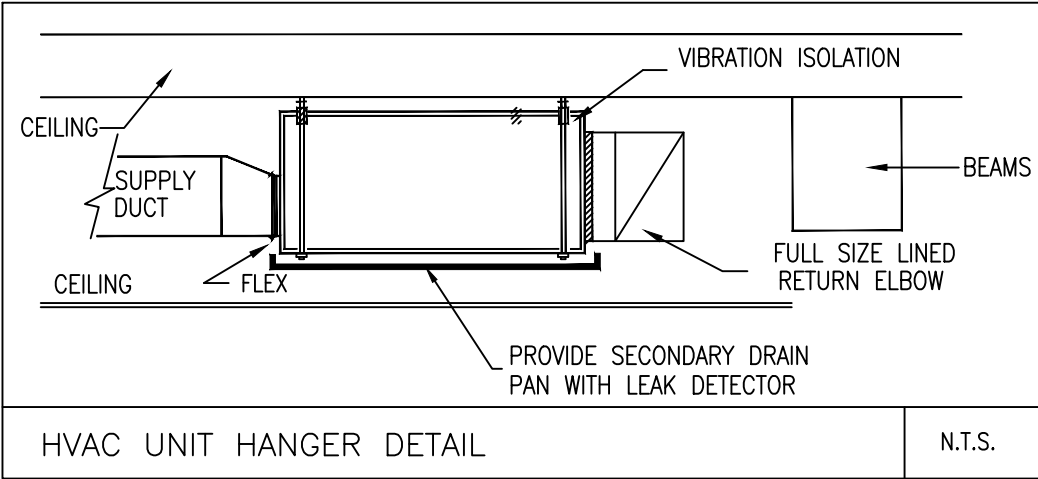
VARIABLE REFRIGERANT HEAT PUMP UNIT SCHEDULE (SIMULTANE HEAT AND COOL)

| TAG NO. | TON | REFRIG | OUTDOOR UNIT | | | | | MAX # OF INDOOR UNITS | MITSUBISHI MODEL# | DIMENSIONS |
|---------|-----|--------|--------------|---------|----------|-----|------|-----------------------|-------------------|------------------------|
| | | | HEAT | COOL | VOLT/PHS | AMP | MOCP | | | |
| CU-1 | 14 | R454B | 188,000 | 168,000 | 208/3 | 70 | 110 | | PURY-EP168TNU-A1 | 79"Wx34"Dx73"H-1100LBS |

VARIABLE REFRIGERANT HEAT PUMP UNIT SCHEDULE (SIMULTANE HEAT AND COOL)

| TAG NO. | TON | CFM | INDOOR UNIT | | | | | MAX # OF INDOOR UNITS | NOISE | MITSUBISHI MODEL# | DIMENSIONS |
|---------|-------|------|-------------|--------|----------|------|-----|-----------------------|--------|----------------------|-----------------------|
| | | | HEAT | COOL | VOLT/PHS | SP | KW | | | | |
| WHP-1 | 1 | 400 | 13,500 | 12,000 | 208/1 | - | .2 | 15 | 30 DBA | PKFY-P12NLMU-ER1.TH | 34"Wx34"Dx11"H-60LBS |
| WHP-2 | .75 | 200 | 10,000 | 9,000 | 208/1 | - | .2 | 15 | 30 DBA | PKFY-P09NLMU-ER1.TH | 22"Wx22"Dx11"H-60LBS |
| WHP-3 | 2.5 | 1200 | 34,000 | 30,000 | 208/1 | 1/2" | 1.1 | 24 | 44 DBA | PKFY-P30NKMU-E2R1.TH | 36"Wx48"Dx15"H-155LBS |
| WHP-4 | 1 1/2 | 500 | 20,000 | 18,000 | 208/1 | 1/2" | .33 | 19 | 40 DBA | PKFY-P18NLMU-ER1.TH | 36"Wx30"Dx15"H-100LBS |
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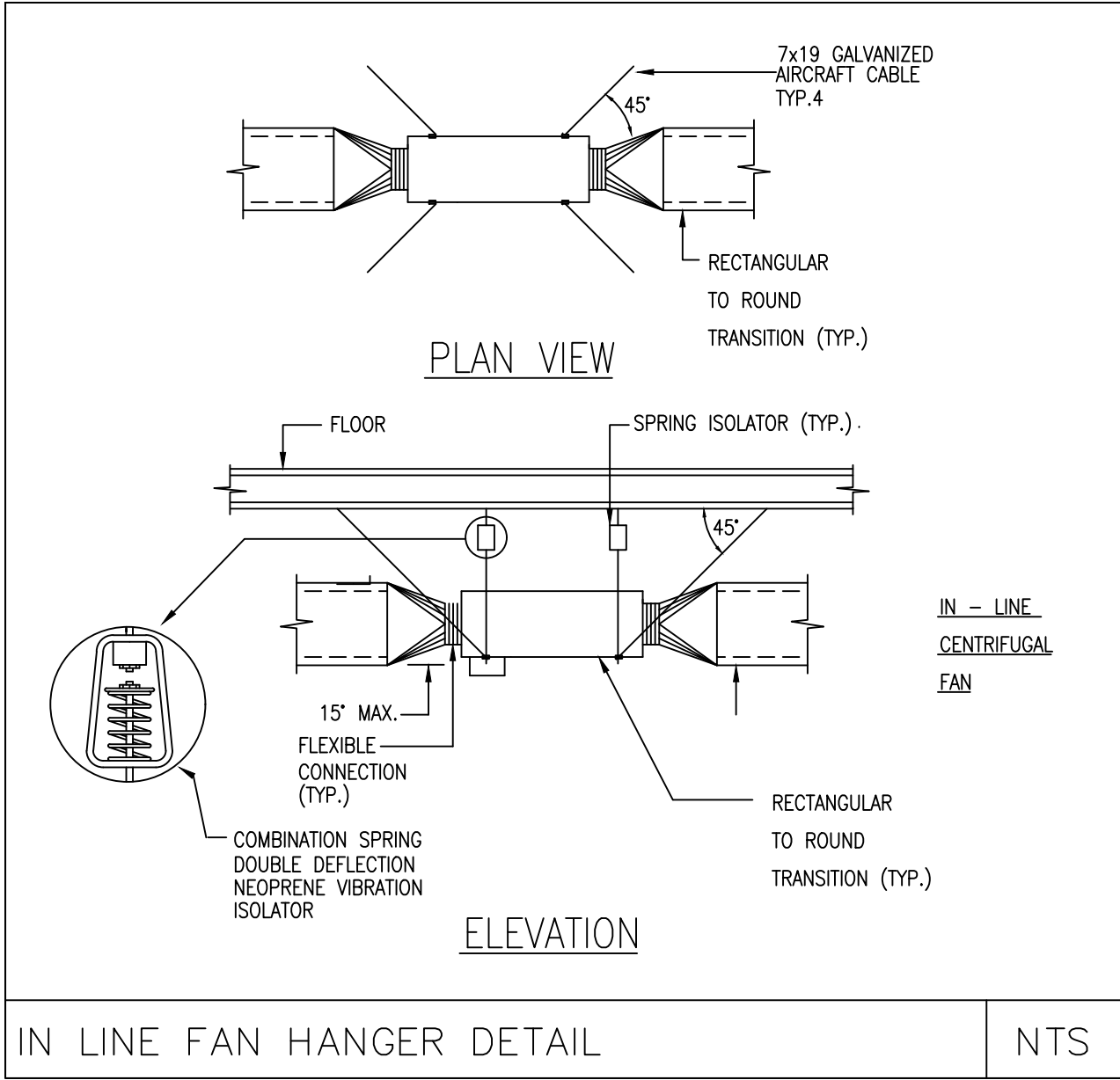
NOTE
UNITS ARE BASED ON HIGH EXTERNAL STATIC PRESSURE OPTION, STANDARD PRESSURE IS .3"
HEATING VALUES ARE AT %85WHEN OUTDOORS IS -13 DEGREE F
WITH EACH UNIT PROVIDE ME PROGRAMMABLE CONTROLLER



CONDENSATE PUMP SCHEDULE

| TAG | POWER | MANUFACTURER/MODEL |
|------|----------------|--------------------------|
| CP-A | 115V, 1ø, 60Hz | LITTLE GIANT/ VCMA-15ULS |

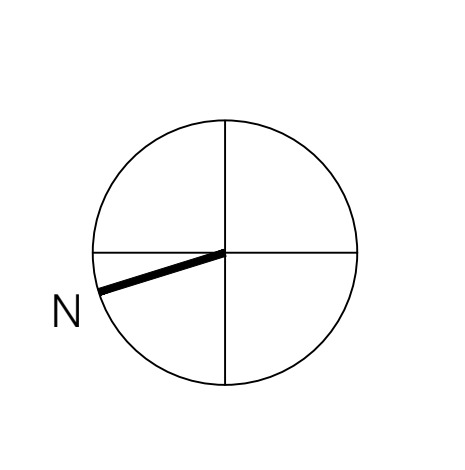
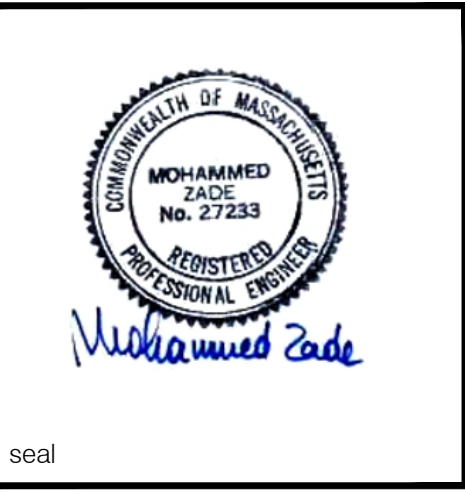
PROVIDE AS REQUIRED



WITH EACH UNIT PROVIDE
-3R RATED FUSED DISCONNECT SWITCH
-SEACOST PROTECTION OPTION,
-BC CONTROLLER AS REQUIRED,
-PROVIDE HYPER HEAT UNIT DOWN TO -13 DEGREE
-PROVIDE 208/1/.5A POWER TO EACH BC CONTROLLER,

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project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186

GPH design
architecture • planning

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| proj.no |
| 24025.00 |
| date |
| DECEMBER 30, 2024 |
| scale |
| 1/4" = 1'-0" |

HVAC Details

sheet
H-3

KITCHEN HOOD REQUIREMENTS

Provide and/or verify the following items with regards to Commercial Hood:

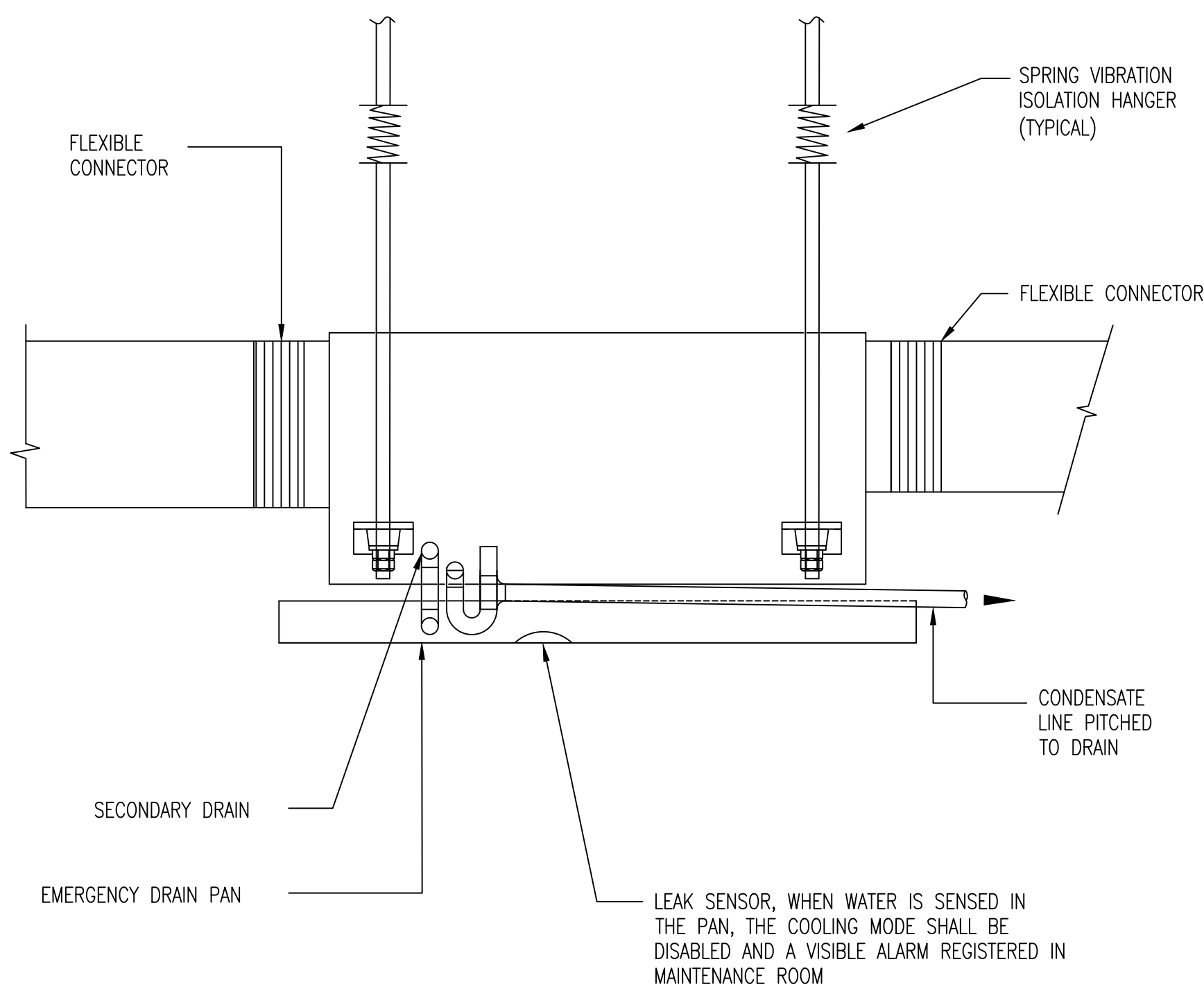
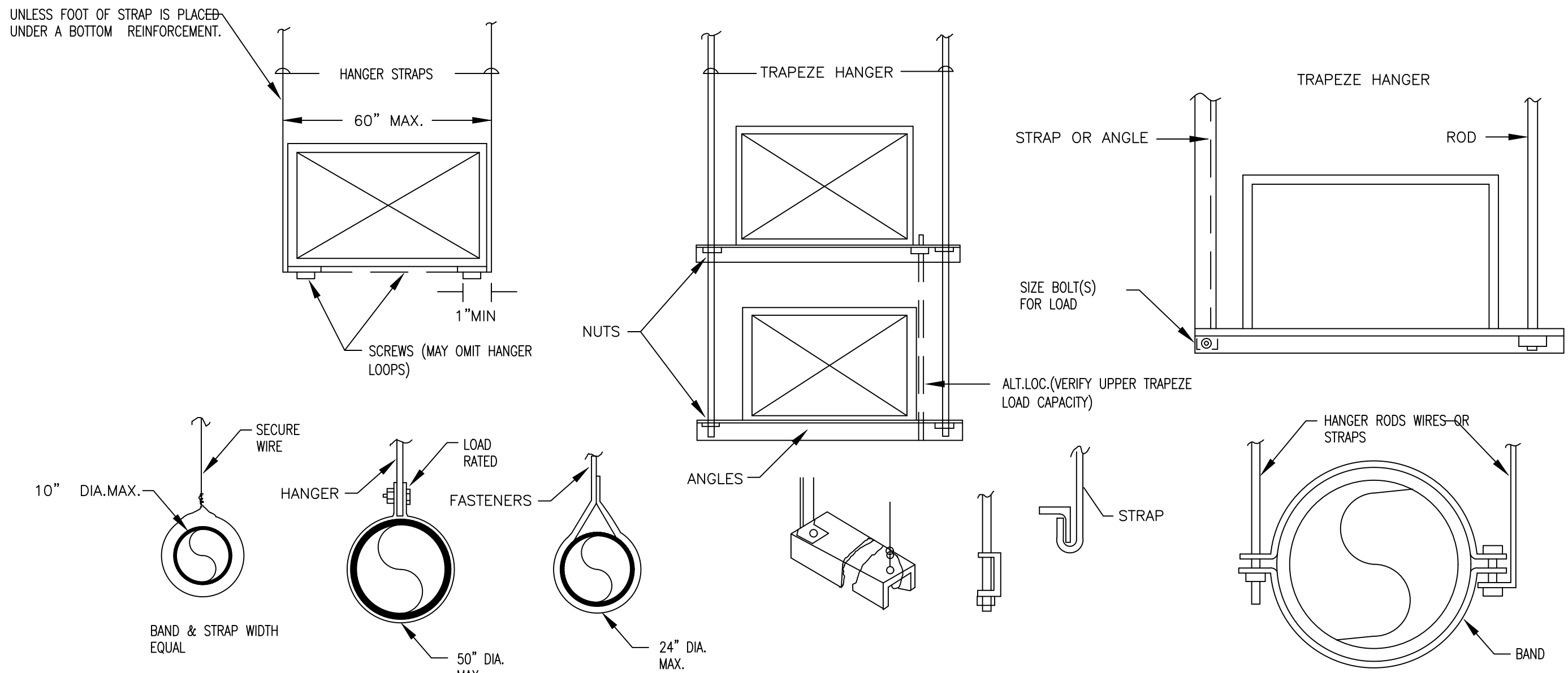
1. A return air intake for re-circulating air-conditioning can be no closer than 10 feet from cooking appliances.
2. Per NFPA 96 5.3.4, a fire damper actuated at a maximum of 286 degrees, which must be installed in the supply plenum.
3. No dampers can be installed in the exhaust system, per NFPA 96 9.1.1.
4. Per NFPA 96 8.1.1 Upblast exhaust fans must be hinged, supplied with flexible weatherproof electric cable, and service hold-open retainers. For in-line or utility set exhaust fans see NFPA 96 8.1.2 and 8.1.3.
5. Per NFPA 96 10.10 - A portable alkaline extinguisher listed for extra hazard class fires must be ten (10) to twenty (20) feet from cooking equipment and five (5) feet above the floor. NOTE: Class B gas-type portables such as CO2 and halon shall not be used in the kitchen cooking area (NFPA 96 10.10.3)

Please provide and/or verify the following items with regards to Exhaust Duct System:

1. That the exhaust ducts can not pass through fire rated partitions (without shaft protection) and must be independent of any other building ventilation or exhaust system as per NFPA 96 7.1.
2. Per NFPA 96 7.3.1 that the access panel openings must be provided at the sides or at the top of the duct, whichever is more accessible, and at changes of direction.
3. Per NFPA 96 7.1.2 that the exhaust duct must lead as directly as is practical to the exterior to decrease the fire hazard and must comply with the Following:
 - A. Ducts must be constructed of and supported by 16-gauge carbon steel or 18-gauge stainless steel (NFPA 96 7.5)
 - B. All seams, joints, and penetrations must have liquid tight external welds. (NFPA 96 7.1.2)
 - C. An access panel must be provided for hoods with dampers on exhaust or supply collars and for all openings required for accessibility. (NFPA 96 7.1.5)
4. Per NFPA 96 7.7, fire rated shaft protection is required for interior installation of duct systems.
 - A. One-hour rated shaft enclosure for ducts connecting three stories and less.(NFPA 96 7.7.2.1.1)
 - B. Two-hour rated shaft enclosure for ducts connecting four stories or more.(NFPA 96 7.7.2.1.1)
 - C. Ducts that pass through a rated roof/ceiling assembly must be enclosed by a shaft. (NFPA 96.7.7.1.2)
5. Per NFPA 96 4.2.1, Figure A 4.2 (d), where fire rated shaft enclosures are not required, hood, grease removal devices, exhaust fans, and ducts must have clearances as follows:
 - A. Minimum 18 inches to combustible materials. (NFPA 96 4.2.1)
 - B. Minimum three inches to limited combustible materials and zero inches to noncombustible materials.
 - C. Where the hood, duct, or grease removal device is listed for clearances less than those required by NFPA 96 4.2.1, the listed requirements shall be permitted. (NFPA 96 4.2.2)
6. Per NFPA 96 7.6, exterior installation of exhaust ducts must be vertical wherever possible, be located at least 18" from combustibles, 3" from limited combustibles, and must be painted or provided with some other means of weather protective coating (except stainless steel ducts).
7. Per NFPA 96 7.8.2(1) and 7.8.2.(2), for roof termination, exhaust outlets must be located 10 feet from adjacent buildings or intake openings, and located a minimum of 5 feet from the outlet (fan housing) to any combustible structure.
8. Where the exhaust fan terminates at a wall, it must meet the following:
 - A. A clearance of ten feet from the outlet to adjacent buildings, property line, grade level, electrical equipment, or to any intake or operable door or window at or below the plane of exhaust termination. (NFPA 96 7.8)
 - B. The closest point of any air intake or operable door/window above the plane of exhaust termination must be minimum ten feet distance plus three inches for each one-degree from horizontal. [NFPA 96 7.8.3(2)].
 - C. All ductwork must be pitched to drain the grease back into hoods, or to container within the building, or into a remote grease trap. [NFPA 96 7.8.3(5)]

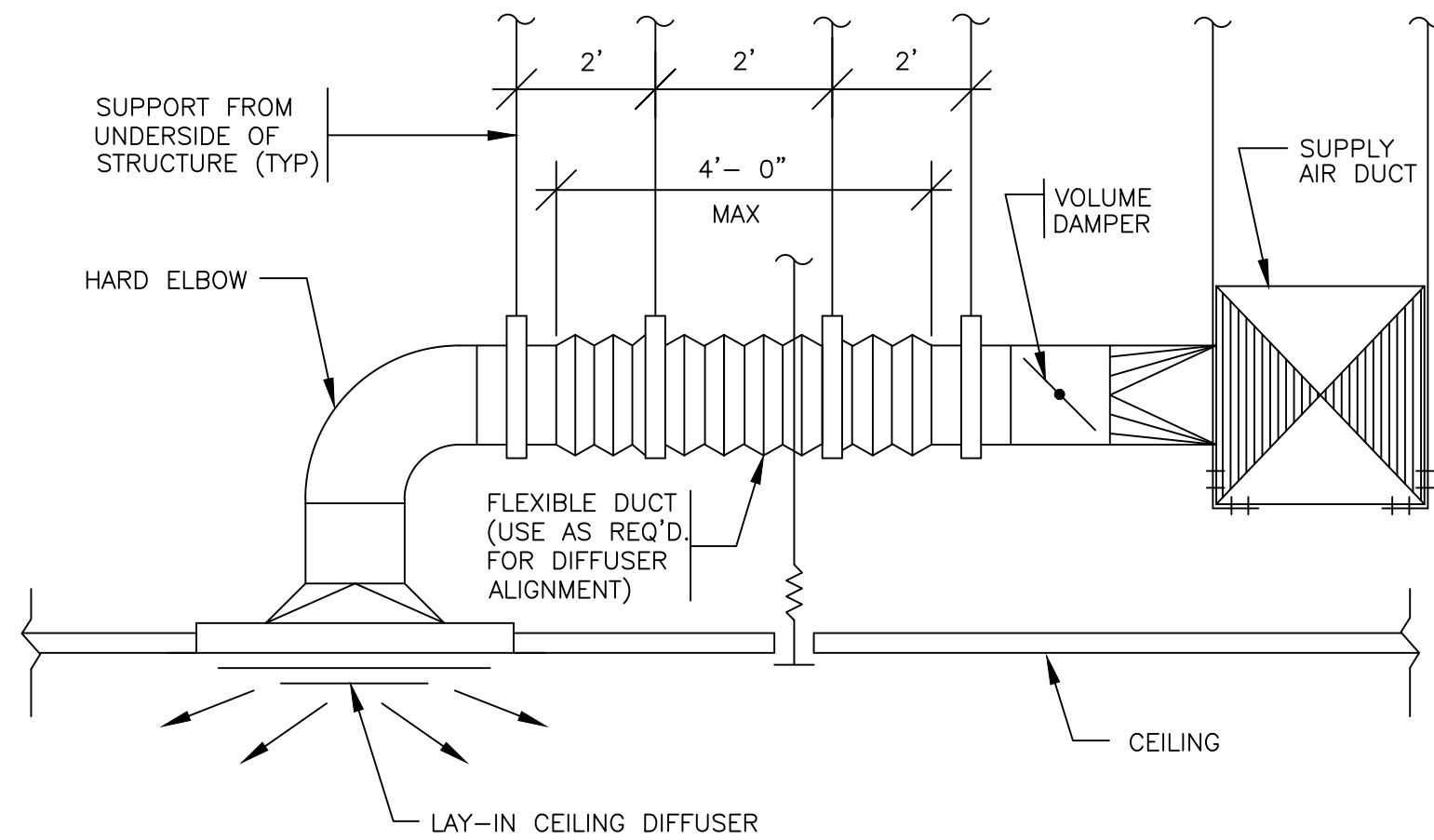
DUCT HANGER DETAIL

N.T.S.



TYPICAL HORIZONTAL HEAT PUMP DRAIN PAN DETAIL

N.T.S.

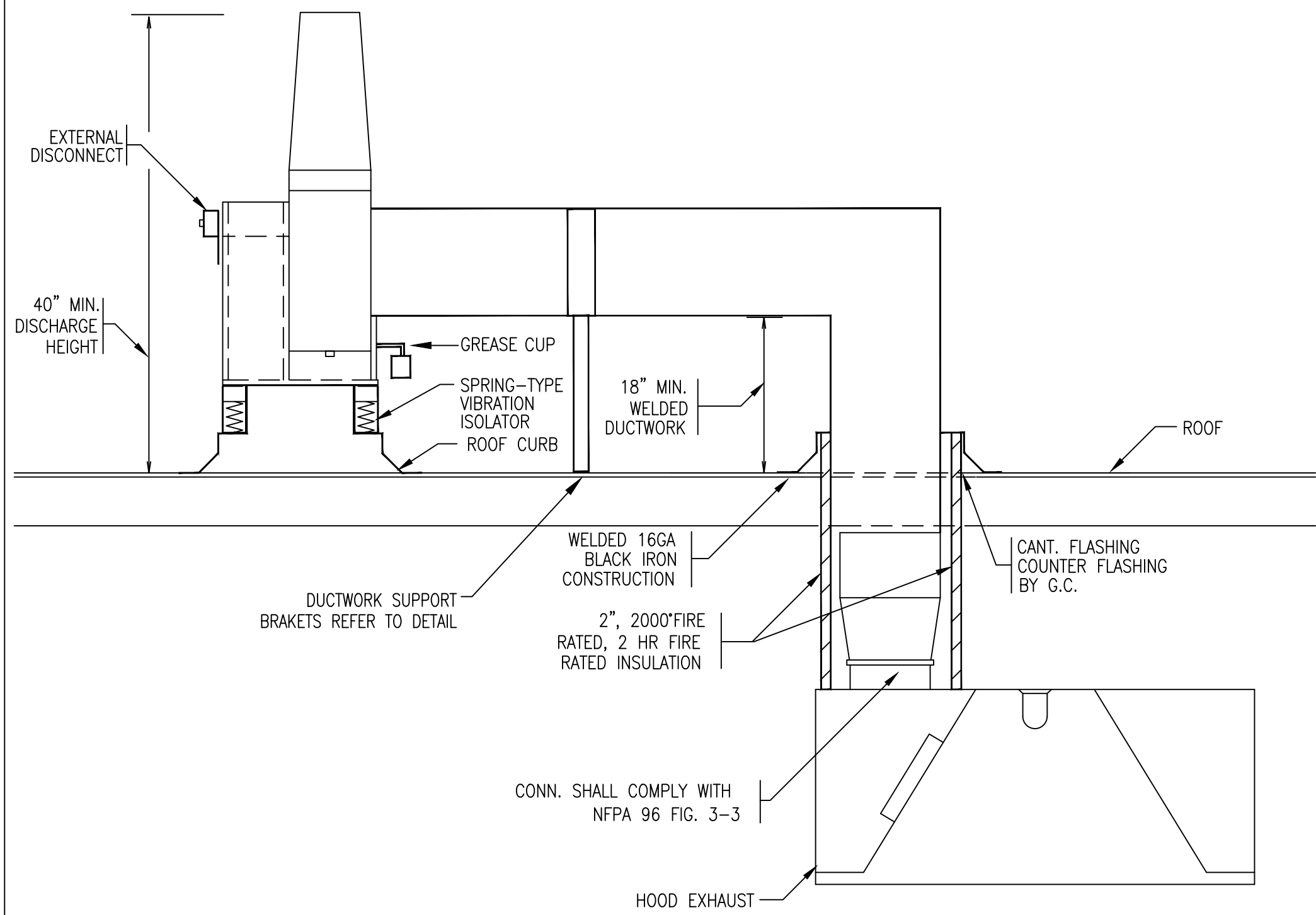


NOTES:

- ① MAXIMUM SAG 1/2" PER FOOT.

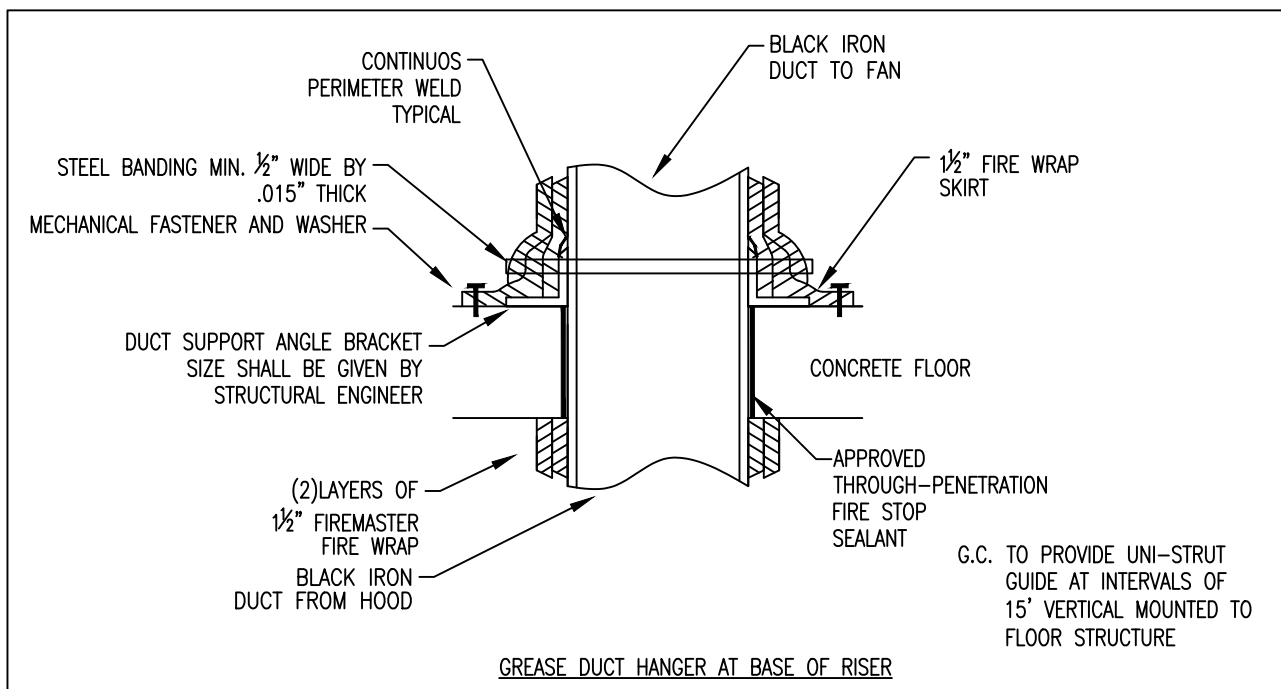
CEILING DIFFUSER BRANCH DUCTS

N.T.S.



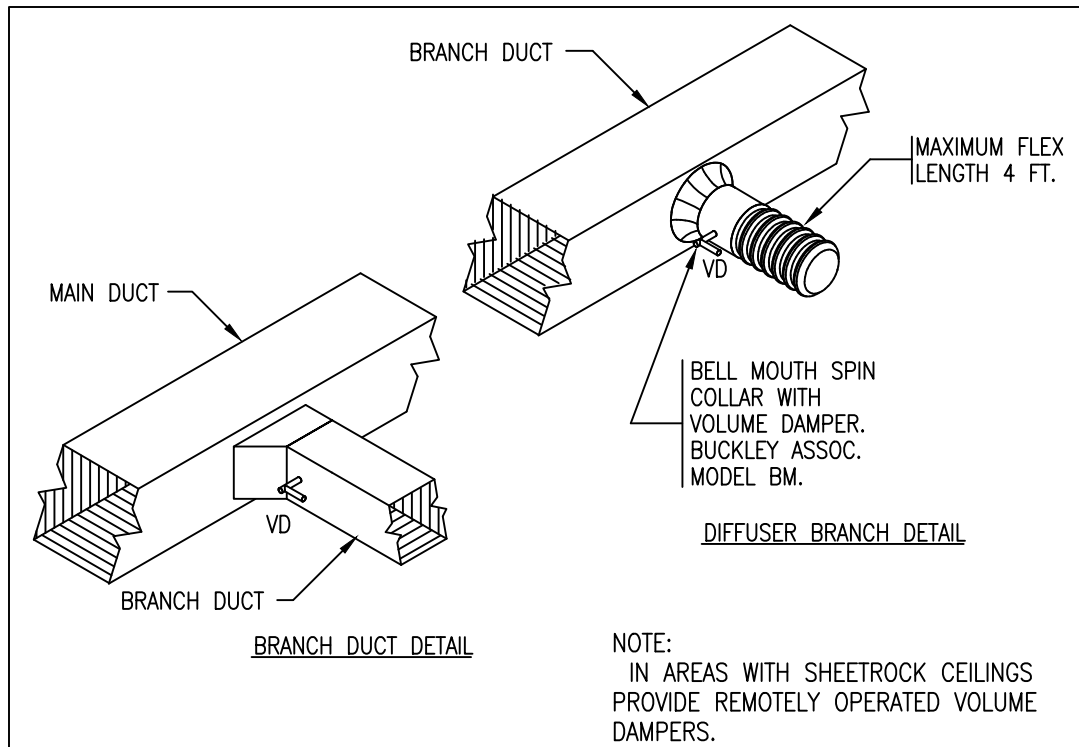
HOOD AND FAN DETAIL

N.T.S.



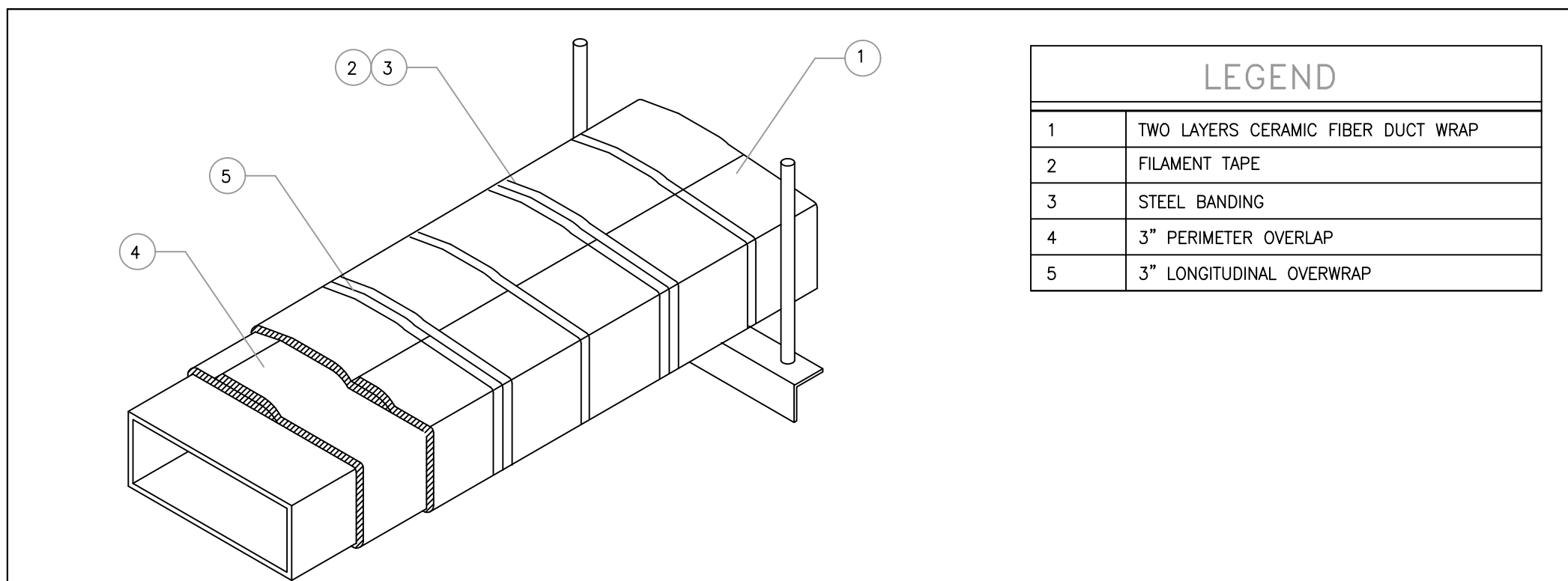
GREASE DUCT HANGER AT BASE OF RISER

N.T.S.



DUCT DETAILS

NTS



GREASE DUCT DETAIL

N.T.S.

| LEGEND | |
|--------|------------------------------------|
| 1 | TWO LAYERS CERAMIC FIBER DUCT WRAP |
| 2 | FILAMENT TAPE |
| 3 | STEEL BANDING |
| 4 | 3" PERIMETER OVERLAP |
| 5 | 3" LONGITUDINAL OVERWRAP |

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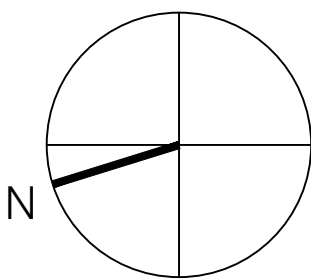
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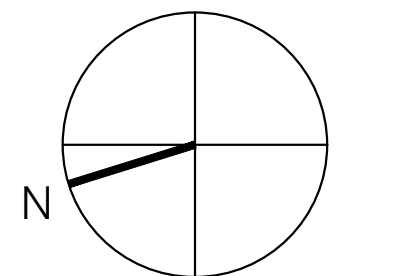
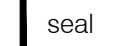
project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186

GPH design
architecture • planning

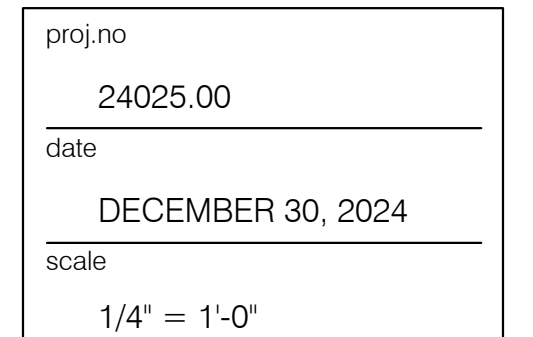
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1/4" = 1'-0"

HVAC Details

sheet
H-4

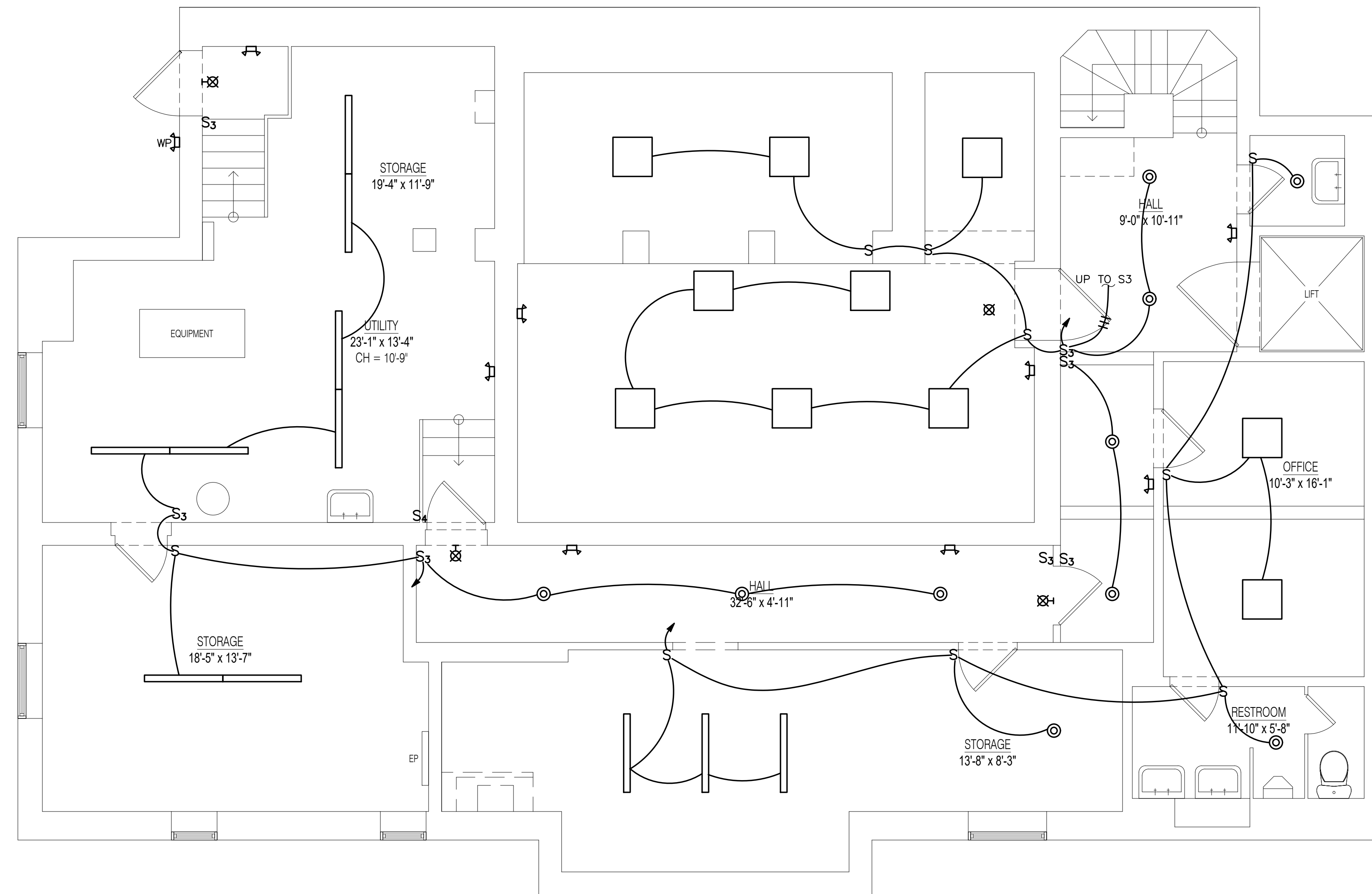


name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
BASEMENT FLOOR PLAN (LIGHTNING



sheet

EC SHALL OBTAIN LATEST LIGHT FIXTURE AND CONTROL SPECIFICATIONS FROM ARCHITECT.

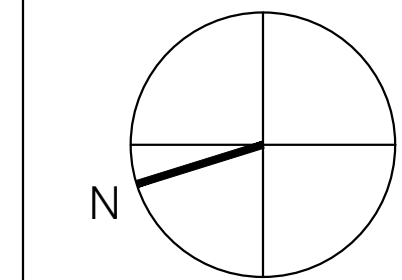


| FIXTURE SCHEDULE | | | | | |
|------------------|--------------|----------------|------|------|---------------------------------------|
| TYPE | MANUFACTURER | CATALOG NUMBER | VOLT | LAMP | DESCRIPTION |
| | | | | | |
| | | | | | |
| ☐ | EMERGI-LITE | PRO2VM | 120 | | EMERGENCY LIGHT WITH BUILT-IN BATTERY |
| ☒ | EMERGI-LITE | LEDPXN1/2R | 120 | | EXIT SIGN |

LAMPS AND BALLASTS SHALL BE IN COMPLIANCE WITH LOCAL UTILITY COMPANY REBATE PROGRAMS,
SPECIFICATIONS ABOVE FOR THE FIXTURE TYPE ONLY
FLUORESCENT FIXTURES SHALL HAVE ELECTRONIC BALLASTS THD LESS THAN %15
FIXTURES MOUNTED IN INSULATED CEILINGS, EC SHALL PROVIDE HOODS TO KEEP INSULATION AWAY

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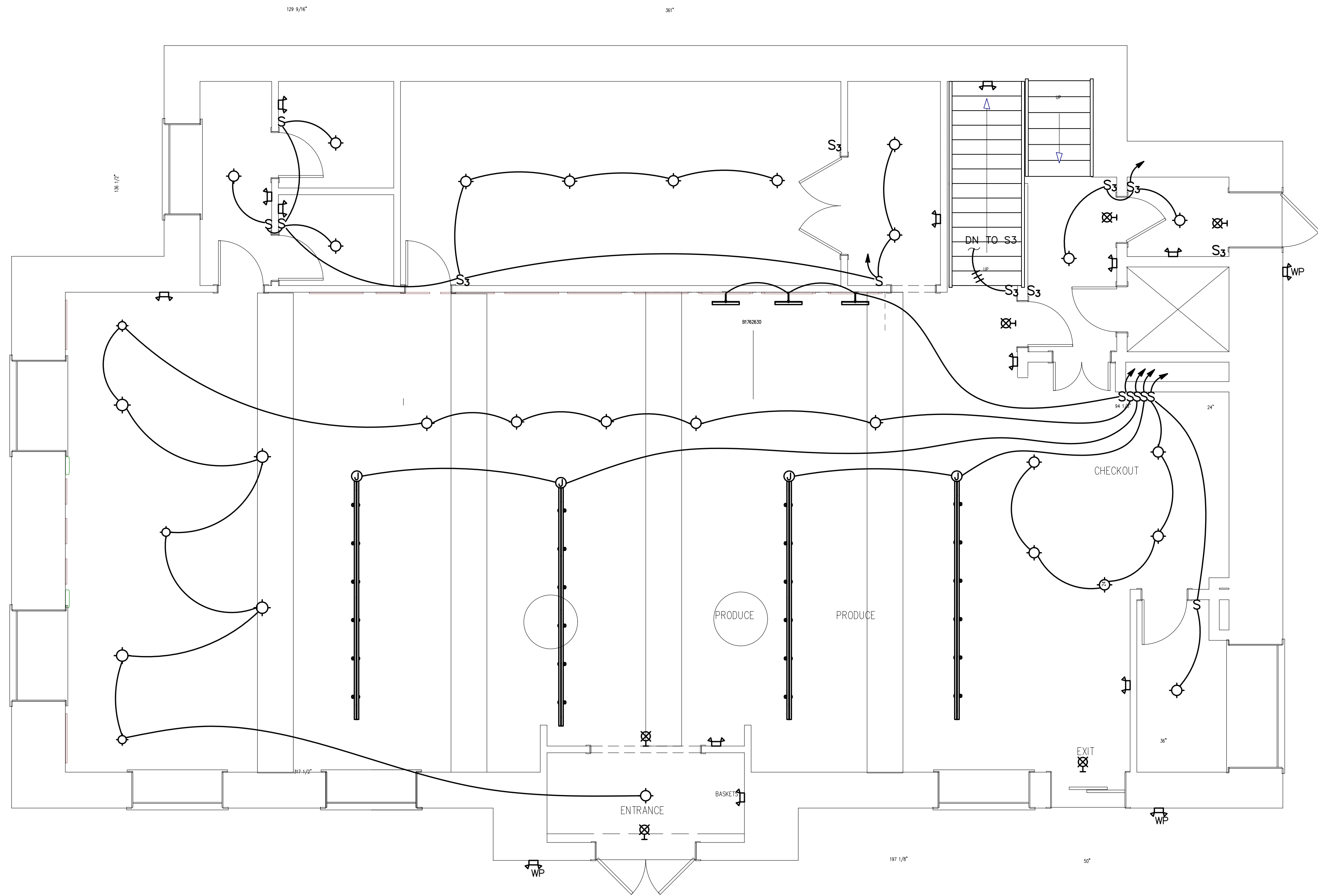
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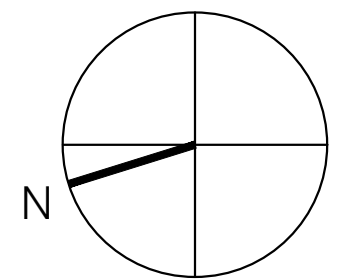
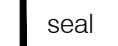


project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
FIRST FLOOR PLAN (LIGHTING)



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| proj.no | 24025.00 |
| date | DECEMBER 30, 2024 |
| scale | 1/4" = 1'-0" |





project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
BASEMENT FLOOR PLAN (POWER)

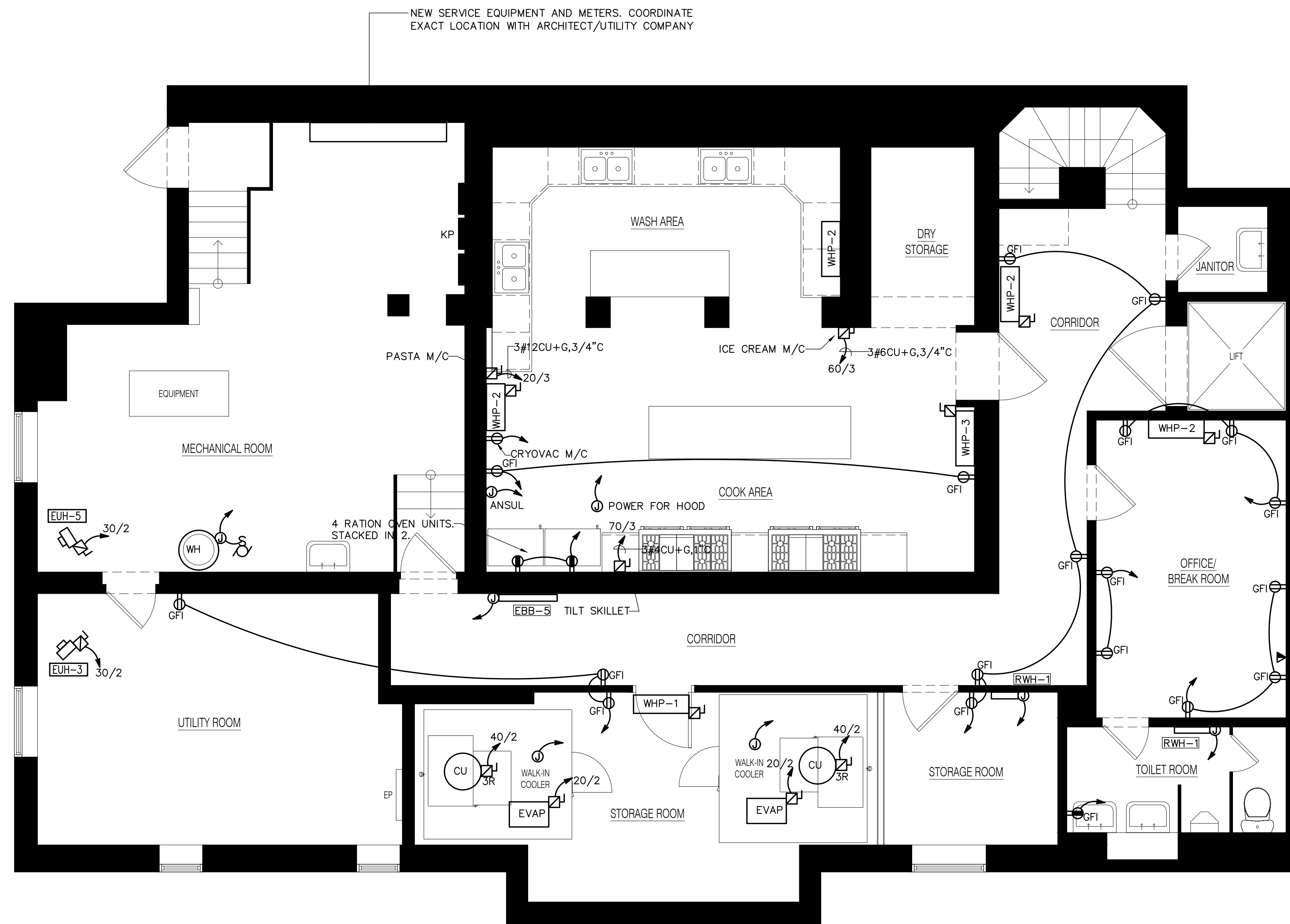


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| date |
| DECEMBER 30, 2024 |
| scale |
| $1/4'' = 1'-0''$ |

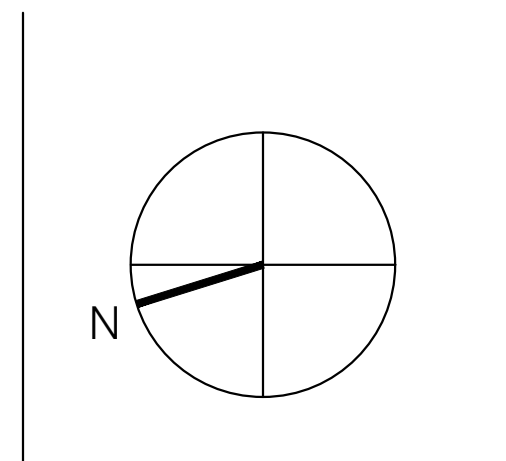
E-3

sheet

1. Electrical contractor shall be responsible for all electrical demolition, removal and disposal of hazardous and non-hazardous material complete. To identify the scope of demolition, prior to bidding, electrical contractor shall visit the site and make himself familiar with the site conditions, scope of systems to be demolished,
2. In general demolition work is shown on Architectural Demolition Floor Plans. Electrical Contractor shall be responsible for complete removal of all wiring and raceways for the parts of the system which rendered obsolete by this renovation.
3. Major Demolition components are as follows:
 - a. Removal of existing panels due to demolition or re-location.
 - b. Removal of complete or partial lighting fixtures.
 - c. Removal of emergency lighting fixtures for demolition or re-location
 - d. Removal of fire alarm devices for demolition or re-location
 - e. Removal of all exposed wiring for the above listed systems.
4. Pay maximum attention not to damage any remaining system and wiring in the space. Coordinate demolition work with the work of other disciplines.
5. Maintain power to all remaining devices. If needed re-e outlets to nearest receptacle circuit.
6. Provide plastic bags for all fixtures with open reflectors to prevent dusting during demolition.
7. All circuits passing through the new openings for the new windows or doors shall be re-routed as needed.
8. Any existing equipment which is to remain and made "dead" by removal on an adjacent device shall be fed from the nearest source.
9. The procedure involved in the removal of equipment and materials shall not cause any weakening of existing structure members or bearing walls, equipment and materials removed from walls scheduled to remain, shall be accomplished with minimal damage to said walls.
10. Removal of all existing obsolete Tel/Data wiring throughout the space. Prior to ant demolition contractor shall confirm existing Tel/Data wiring not to damage any active lines. Contractor or his subcontractor shall be responsible for such identification.



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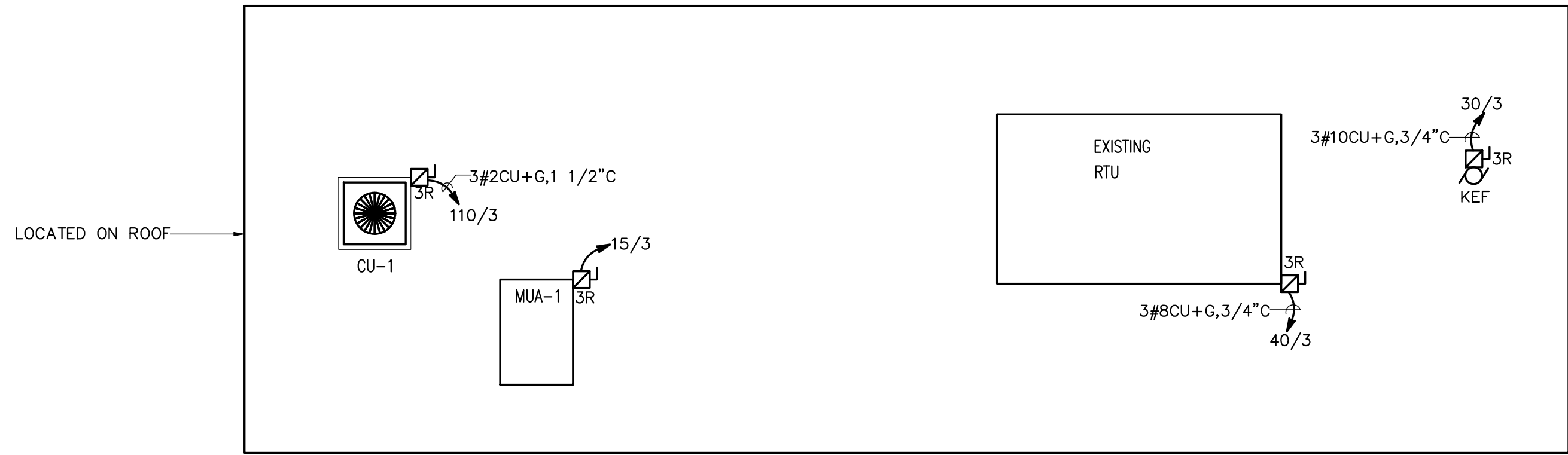


project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
FIRST FLOOR PLAN (POWER)



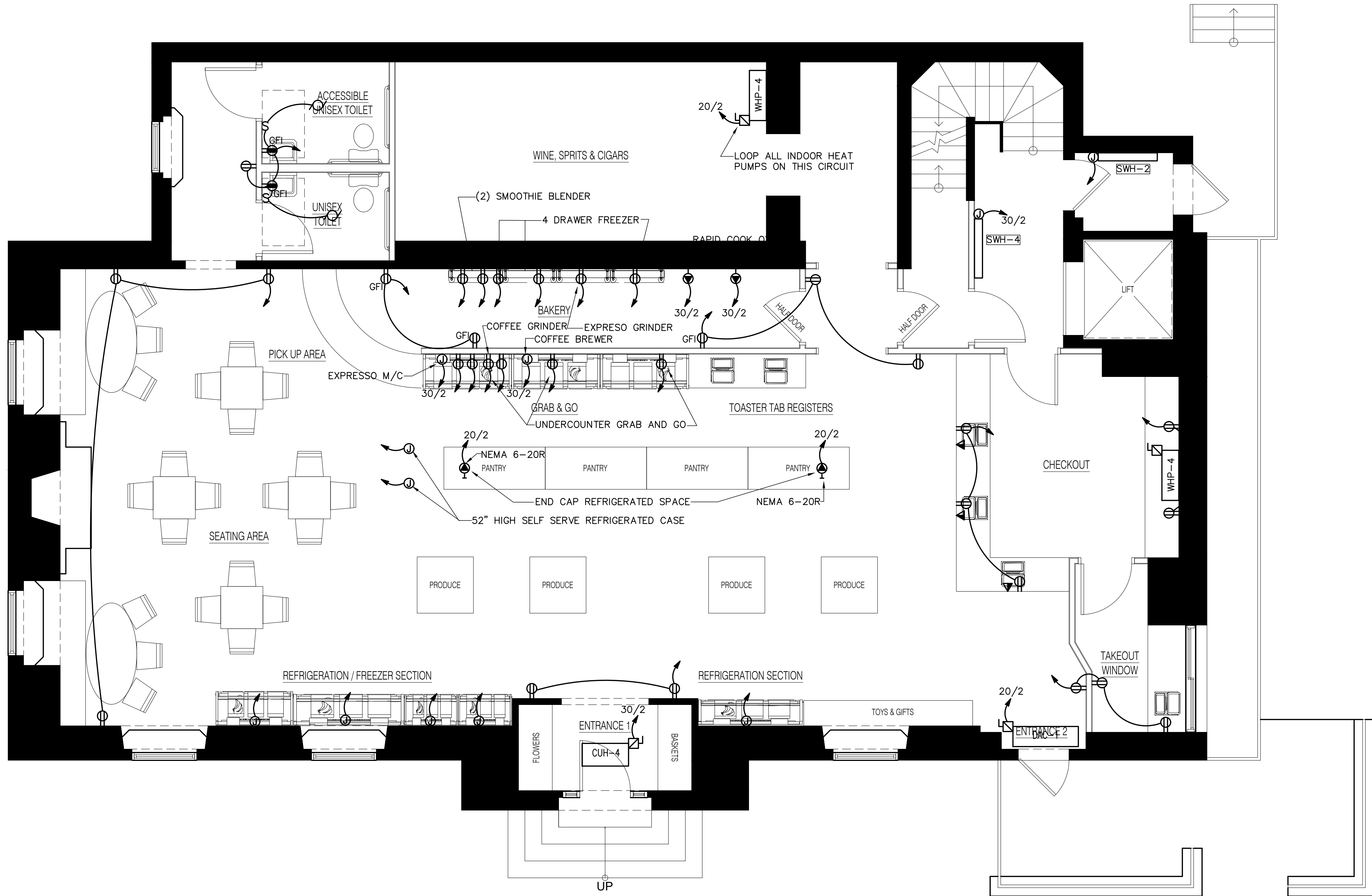
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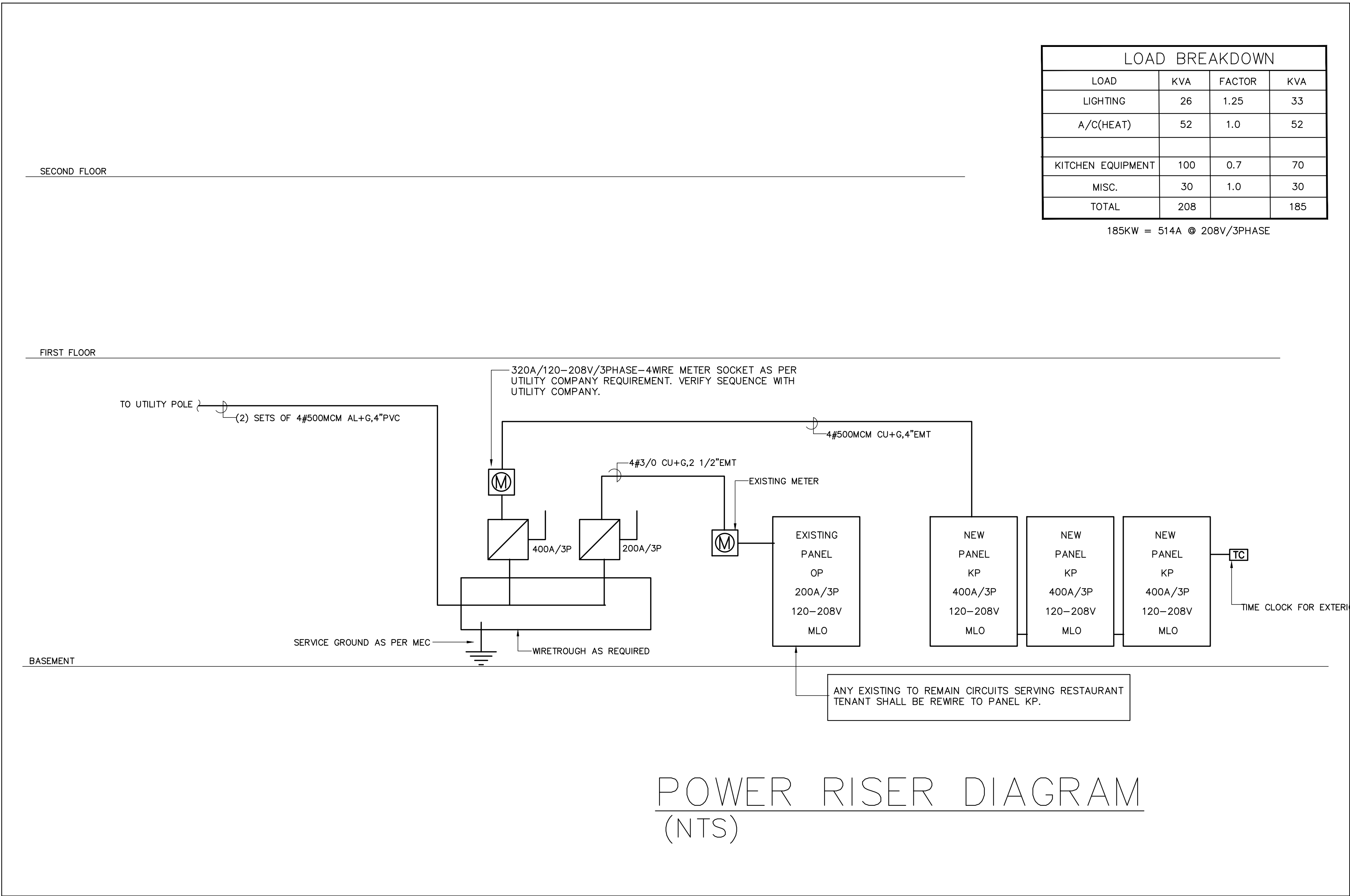
sheet
E-4



KITCHEN EQUIPMENT WIRING NOTES

1. ALL HOMERUNS SHALL BE IN EMT WITH GREEN GROUND, WIRING IN STUD WALLS MAY BE "MC". UNDERGROUND CONDUITS SHALL BE PVC SCHEDULE 40. FINAL CONNECTION FROM WALL JUNCTION BOX TO KITCHEN EQUIPMENT SHALL BE WITH LIQUID TITE FLEX.
2. EXACT AND FINAL LOCATIONS OF ALL KITCHEN EQUIPMENT SHALL BE COORDINATED WITH THE LATEST KITCHEN EQUIPMENT UTILITY CONNECTION PLANS AND EQUIPMENT CUTS. OBTAIN THE LATEST KITCHEN SUPPLIER DRAWINGS FROM THE ARCHITECT PRIOR TO ANY ROUGHING-IN.
3. ANY RELOCATION OF ANY EQUIPMENT WITHIN 15'-0" IN PLAN RADIUS OF ORIGINAL LOCATION, PRIOR TO ROUGHING-IN, IF REQUESTED BY THE ARCHITECT SHALL BE EXECUTED BY E.C. AT NO ADDITIONAL COST.
4. ALL ROUGHING-IN HEIGHTS SHALL BE COORDINATED WITH THE KITCHEN EQUIPMENT SUPPLIER.
5. ALL RECEPTACLES AND LIGHT SWITCHES LOCATED IN THE KITCHEN SHALL HAVE SMOOTH STAINLESS STEEL FACE PLATES.
6. GC SHALL BE RESPONSIBLE FOR SETTING THE EQUIPMENT IN PLACE, EC SHALL WIRE FROM WALL OUTLET TO J. BOX ON THE UNIT.
7. ALL RECEPTACLES IN THE KITCHEN AREA SHALL HAVE GFI PROTECTION.
8. ALL CIRCUITS SERVING EQUIPMENT LOCATED UNDERNEATH THE HOOD SHALL HAVE SHUNT TRIP BREAKERS INTERLOCK WITH THE ANSUL SYSTEM.
9. PROVIDE POWER AND INTERLOCK WIRING FOR GAS SHUT-OFF SOLENOID VALVE AND ANSUL SYSTEM.
10. PROVIDE STARTER AND INTERLOCK WIRING FOR HOOD EXHAUST, MAKE-UP AIR UNIT AND ANSUL SYSTEM. UPON ANSUL ACTIVATION MAKE-UP AIR UNIT WILL SHUT DOWN AND EXHAUST FAN WILL CONTINUE TO OPERATE. IF THE SYSTEM IS OFF, EXHAUST FAN WILL START TO RUN.
11. EC SHALL WIRE ALL MISCELLANEOUS EQUIPMENTS NORMALLY PART OF THE KITCHEN EQUIPMENT INCLUDING BUT NOT LIMITED TO
A)DRUM SWITCH FOR DISPOSER AND WIRING FOR SELONOID VALVE
B)TIMER SWITCH CONTROL WIRING BETWEEN WALK-IN CONDENSER AND EVAPORATOR
C)RECEPTACLE FOR FREEZER CONDENSATE DRAIN HEAT TRACE
D)PROVIDE REMOTE ON/OFF SWITCH FOR HOOD VENTILATION SYSTEM CONTROL
E)PROVIDE OIL TIGHT ON/OFF SWITCH FOR HOOD LIGHTS
12. PROVIDE ANSUL CONNECTION TO FIRE ALARM CONTROL PANEL
13. PROVIDE CARBON MONOXIDE DETECTOR NEAR HOOD AT CEILING. CARBON MONOXIDE DETECTOR SHALL BE INTERLOCKED WITH GAS SHUT OFF VALVE TO CLOSE UPON ACTIVATION OF DETECTOR.
14. ANSUL SYSTEM SHALL ALSO BE INTERLOCKED WITH HOOD EXHAUST FAN TO TURN ONN WHEN FAN IS OFF.
15. CARBON MONOXIDE DETECTOR SHALL BE TIED TO FIRE ALARM CONTROL PANEL FOR SUPERVISORY.





| PANEL SCHEDULE | | | | | | | | |
|-------------------|-----------------|-----|-----|------|-------------------|-----------------|---|---------------------|
| ITEM | VOLT/PHASE/WIRE | MLO | MCB | CIRC | F: Flush S: Surf. | P: Plug B: Bolt | BRANCH BREAKERS | SPR=SPARE SPC=SPACE |
| NEW PANEL KP | 120-208/3/4 | 400 | - | 126 | S | B | (1)110/3, (1)70/3 GFI, (1)60/3 GFI, (1)40/3, (1)30/3, (2)20/3 GFI, (2)40/2 GFI, (4)30/2 GFI, (4)30/2, (2)20/2 GFI, (2)20/2, (22)20/1GFI, (40)20/1 | |
| EXISTING PANEL OP | 120-208/3/4 | 200 | - | 42 | S | B | - | |
| | | | | | | | | |
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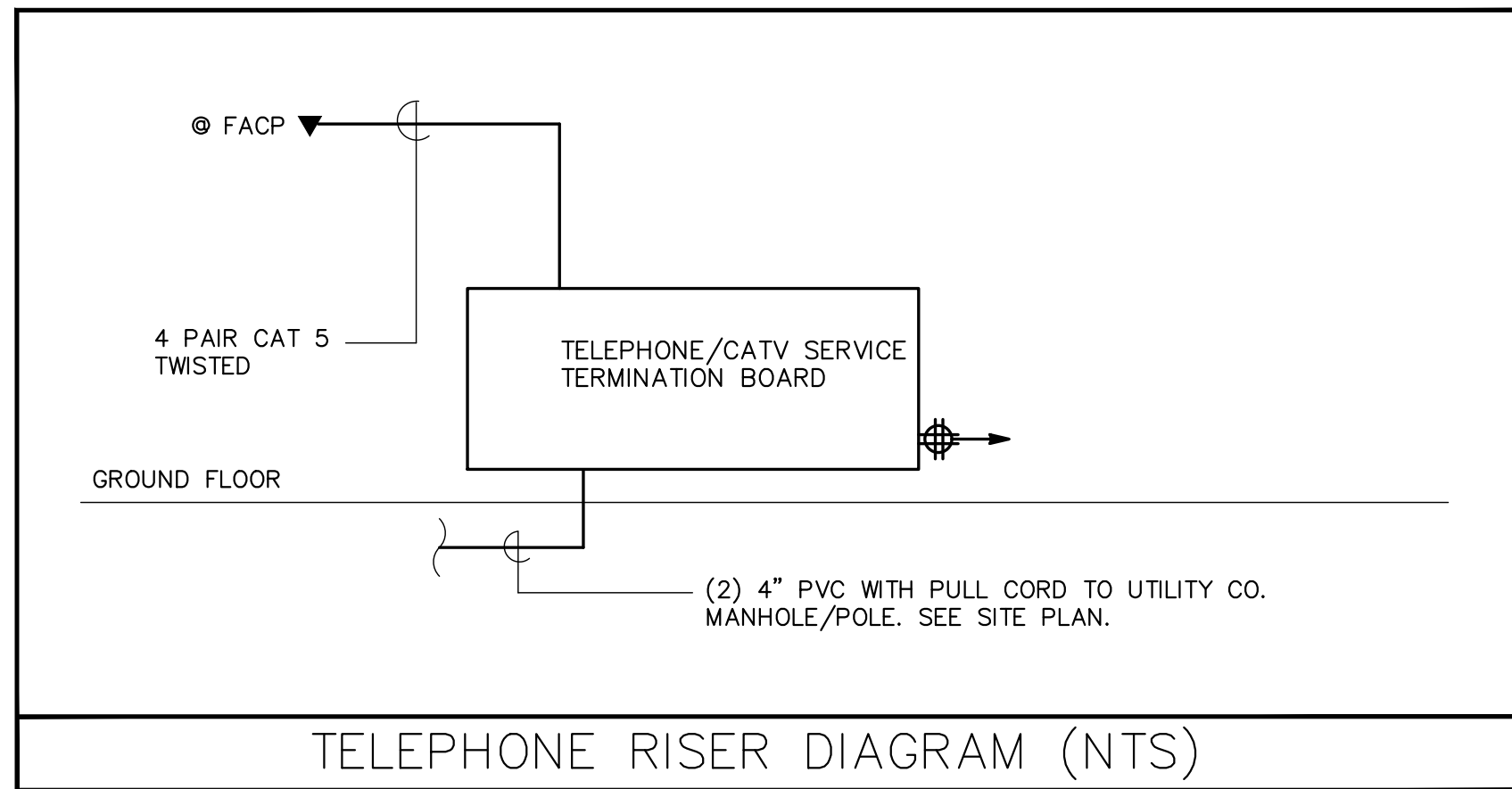
SWITCHGEAR AND PANELBOARDS SHALL BE MANUFACTURED BY SQUARE D, SIEMENS OR GENERAL ELECTRIC

MAIN SWITCH AND MAIN DISTRIBUTION PANEL AND ALL CONSECUTIVE PANELS UP TO LAST TWO PANELS IN THE DISTRIBUTION GRID SHALL BE FULLY RATED AND LAST TO PANELS MAY BE SERIES RATED FOR AVAILABLE SHORT CIRCUIT RATINGS.

IF SERIES RATINGS ARE APPLIED SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING PROPER SERIES RATED EQUIPMENT AS REQUIRED.

AVAILABLE SHORT CIRCUIT CURRENT FOR THE MAIN SERVICE IS 100KA.

SEE RISER DIAGRAM FOR CONNECTION DIAGRAM OF THE PANELS. NO LINE IMPEDANCES ARE TO BE CONSIDERED IN SERIES RATING APPLICATIONS.



▼ : INDICATES TEL/DATA COMBINATION OUTLET WITH CAT 5 TEL/DATA JACK. E.O. SHALL WIRE EACH OUTLET HOME RUN 4 PAIR CAT 6 CLP FOR TELEPHONE AND 4 PAIR CAT 6 CLP FOR DATA TO TELEPHONE AND DATA TERMINATION BOARDS RESPECTIVELY. TERMINATE AT TWO SEPARATE PUNCH DOWN BLOCKS. ALL WIRING AND TERMINATION'S SHALL BE PER CAT 6 SPECIFICATIONS. ALL WIRES SHALL BE PROPERLY LABELED AND RINGED OUT. KEEP WIRES MINIMUM 18" FROM POWER FEEDS AND FIXTURE BALLASTS

LOCATION OF ALL MECHANICAL EQUIPMENTS AND ELECTRICAL CHARACTERISTICS SHALL BE COORDINATED WITH MECHANICAL CONTRACTOR PRIOR TO ANY WORK DONE. ALL EQUIPMENT RELATING TO MECHANICAL COMPONENTS SHALL BE ORDERED ONLY AFTER THE APPROVAL OF MECHANICAL EQUIPMENT SHOP DRAWINGS

| LOAD BREAKDOWN | | | |
|-------------------|-----|--------|-----|
| LOAD | KVA | FACTOR | KVA |
| LIGHTING | 26 | 1.25 | 33 |
| A/C(HEAT) | 52 | 1.0 | 52 |
| KITCHEN EQUIPMENT | 100 | 0.7 | 70 |
| MISC. | 30 | 1.0 | 30 |
| TOTAL | 208 | | 185 |

185KW = 514A @ 208V/3PHASE

GENERAL POWER DISTRIBUTION NOTES

—BEFORE ORDERING ANY EQUIPMENT AND/OR START ANY CONSTRUCTION OR EXCAVATION ELECTRICAL CONTRACTOR AND/OR GENERAL CONTRACTOR SHALL CONTACT ELECTRIC/TELEPHONE/CATV COMPANIES FOR SERVICE POINT AND ROUTING, SERVICE AVAILABILITY.

THIS ENGINEER HAS MADE APPLICATION TO UTILITY COMPANY BUT YET NO CONFIRMATION HAS BEEN MADE BY THE UTILITY COMPANY. CONTRACTOR SHALL NOT PROCEED WITHOUT SUCH CONFIRMATION.

—FEEDERS ARE SIZED BASED ON 33 VD. CONTRACTOR SHALL FOLLOW THE FOLLOWING CRITERIA.

50A, UP TO 100FT #6, INCREASE BY ONE SIZE FOR EVERY 30FT.
100A, UP TO 100FT #3, INCREASE BY ONE SIZE FOR EVERY 30FT.
200A, UP TO 150FT #3/0, INCREASE BY ONE SIZE FOR EVERY 50 FT.
400A, UP TO 200FT #500, INCREASE BY ONE SIZE FOR EVERY 50FT.

—FOR SWITCHGEAR SHORT CIRCUIT RATINGS, SEE NOTES UNDER PANEL SCHEDULES.

—PRIOR TO ORDERING ANY SWITCHGEAR ELECTRICAL CONTRACTOR SHALL CONFIRM CIRCUIT BREAKER SIZES WITH HVAC AND OTHER MECHANICAL EQUIPMENT SHOP DRAWINGS. DUE TO SUBMITTAL TIMING FROM VARIOUS CONTRACTORS, ENGINEERS APPROVAL IS GIVEN FOR QUALITY ONLY.

—CONTRACTOR SHALL COORDINATE WITH OTHER TRADES SO THAT NO OTHER TRADE SHALL PASS THROUGH ELECTRIC ROOM OR ABOVE DEDICATES SPACES. INFORM ARCHITECT/ENGINEER ABOUT ANY INFRINGEMENTS PRIOR SUCH INSTALLATIONS OCCUR.

—ELECTRIC ROOM DIMENSIONS ARE BASED ON CERTAIN MANUFACTURER EQUIPMENT DIMENSIONS, CONTRACTOR SHALL CONFIRM ROOM DIMENSIONS PRIOR TO ORDERING EQUIPMENT

UNLESS NOTED OTHERWISE ALL WIRING SHALL BE #12AWG, CU, AND FED FROM PANEL PP VIA 20A/1P C.B. CIRCUITS LONGER THAN 100FT SHALL BE #10 CU

NO EXPOSED WIRING IS ALLOWED. ALL CONCEALED WIRING UNLESS NOTED SHALL BE "MC". ALL WIRING IN BLOCK WALLS SHALL BE CONCEALED, RUN IN CONDUIT.

SYMBOL LIST

- ○
L
- 2'X2' OR 2'X4' FLUORESCENT LIGHT FIXTURE.
- 1'X4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.
- S
S₃
S₀
- SINGLE POLE LIGHT SWITCH
THREE-WAY LIGHT SWITCHES
DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT
- ⊕
⊕^{GFI}
- DUPLEX RECEPTACLE, 120V,18" AFF.
DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO ⊕
- ⊕
- 120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE
- ⊕
- DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO ⊕
- ▼^W
▼
- TELEPHONE JACK COMPLETE W/JACK AND COVER, ('W' WALL MOUNTED @ 4'-0" A.F.F)
TELE/DATA OUTLETS, COMPLETE W/JACK AND COVER, HEIGHT AT 18" TO C AFF.
- TV
- CABLE TV OUTLET, COMPLETE W/JACK AND COVER, HEIGHT AT 18" TO ⊕ AFF.
- 3R
- MOTOR
FUSED DISCONNECT SWITCH, (3R RAIN-PROOF).
- ⊠
⊠_D
⊠_H
⊠_F
- STARTER
SYSTEM TYPE SMOKE DETECTOR
DUCT SMOKE DETECTOR W/REMOTE TEST SWITCH
HEAT DETECTOR
- ▽
▽^F
▽^L
- FIRE ALARM PULL AND A/V DEVICE
FIRE ALARM PULL STATION CENTERLINE 4'-0" AFF
FIRE ALARM AUDIO/VISUAL UNIT. MTD. @ 6'-8" AFF
FIRE ALARM LIGHT. MTD. @ 6'-8" AFF
- ⎓
- TYPICAL WIRING, DIAGONAL LINES INDICATES QUANTITY OF CONDUCTORS.
- ←
- HOMERUN TO PANEL WITH CONDUCTOR.(HOT, NEUTRAL, GROUND)
- ⊕
- JUNCTION BOX
- ⎓
- LIGHTING & POWER PANEL, RECESSED
- FACP
- FIRE ALARM CONTROL PANEL
- ANN
- FIRE ALARM ANNUNCIATOR
- TS
- TAMPER SWITCH
- FS
- FLOW SWITCH
-
- RACEWAY CONCEALED IN CEILING, PLENUM OR WALLS
-
- RACEWAY CONCEALED IN SLAB (FLOOR)
- ⊕
- UNIVERSAL MOUNTING EXIT SIGN (DOUBLE FACED), ARROWS AS INDICATED.
- ⎓
- EMERGENCY LIGHT WITH BUILT-IN BATTERY.
- MS
- OCCUPANCY SENSOR

ELECTRICAL SPECIFICATIONS

1.1 General

- A. The General Conditions and Drawings issued for this Project shall be considered as part of the Electrical Specifications.
- B. The term "This Contractor" as used under this Section and wherever used on the Drawings shall mean the Electrical Contractor.

1.2 Scope of Work

- A. The work under this Specification includes the furnishing of all labor and material as specified herein and as shown on the Drawings necessary to install a complete and ready for operation. Manufacturer's catalogue numbers are shown for reference purposes only. They are meant to provide a general description of the design and quality of materials required. Equivalent products by other manufacturers will be considered.

1.3 Codes and Specifications

- A. The work shall be conducted in accordance with the latest rules and regulations of the State of MASSACHUSETTS and the local codes as most recently issued, OSHA codes, National Electrical Codes and NFPA.
- B. All exposed wiring shall be in electric metallic tubing. All concealed wiring shall be in accordance with local codes.
- C. All branch circuit conductors shall be copper, minimum #12 AWG size THHN or THWH as required, 600V rated.
- D. All feeder conductors shall be copper, AWG size as noted XHHW insulation, 600V.

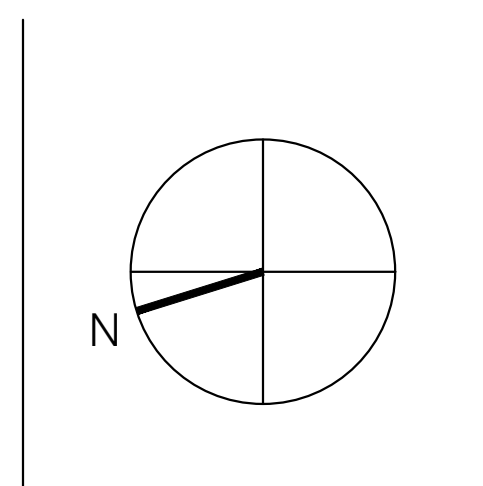
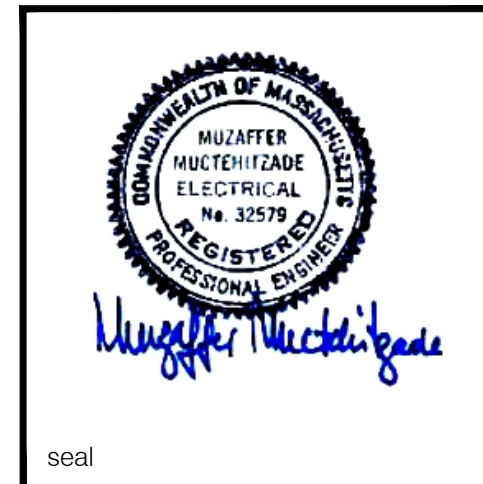
1.4 Coordination of Work

- A. The Contractor shall schedule and coordinate his work with all trades involved to insure proper installation and operation.
- B. The Contractor Drawings are diagrammatic only and indicate the extent, general locations and arrangement of the piping and wiring of equipment. The exact locations shall be coordinated with Architectural Drawings and Documents of other trades.
- C. This Contractor shall verify fixture mounting and location against plans, elevations and detail drawings. Exact location of all fixtures shall be confirmed with owner's representative prior to rough-in.
- D. Submit Shop Drawings and product data within thirty (30) days after award of the Contract. Check, stamp and mark with project name submittals before transmitting to Architect. Indicate deviations from Contract Documents.
- E. This Contractor shall give notices, file plans, obtain permits and licenses, pay fees and back charges, and obtain the necessary approvals from authorities that have jurisdiction.
- F. Material and equipment shall be UL, ASME and AGA approved for intended service.
- G. Guarantee work in writing for one year from date of final acceptance. Repair or replace defective materials or installation at no cost to Owner. Correct damage caused in making necessary repairs and replacements under guarantee at no cost to the Owner.
- H. Submit guarantee to Architect before final payment.

ZADE ENGINEERING LLC

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1 BILLINGS ROAD STE 306, QUINCY, MA 02171
TEL. (617) 338-4406
FAX. (617) 451-2540
EMAIL zade@zadeengineering.com

rev. date purpose drwn



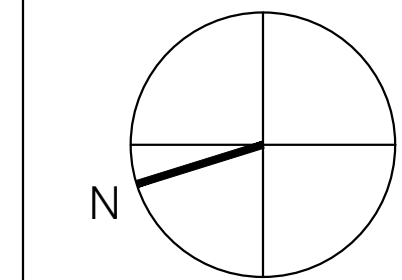
project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
ELECTRICAL DETAILS

GPH design
architecture • planning

proj.no
24025.00
date
DECEMBER 30, 2024
scale
1/4" = 1'-0"

E-5
sheet

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project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
BASEMENT FLOOR PLAN (FIRE ALARM)

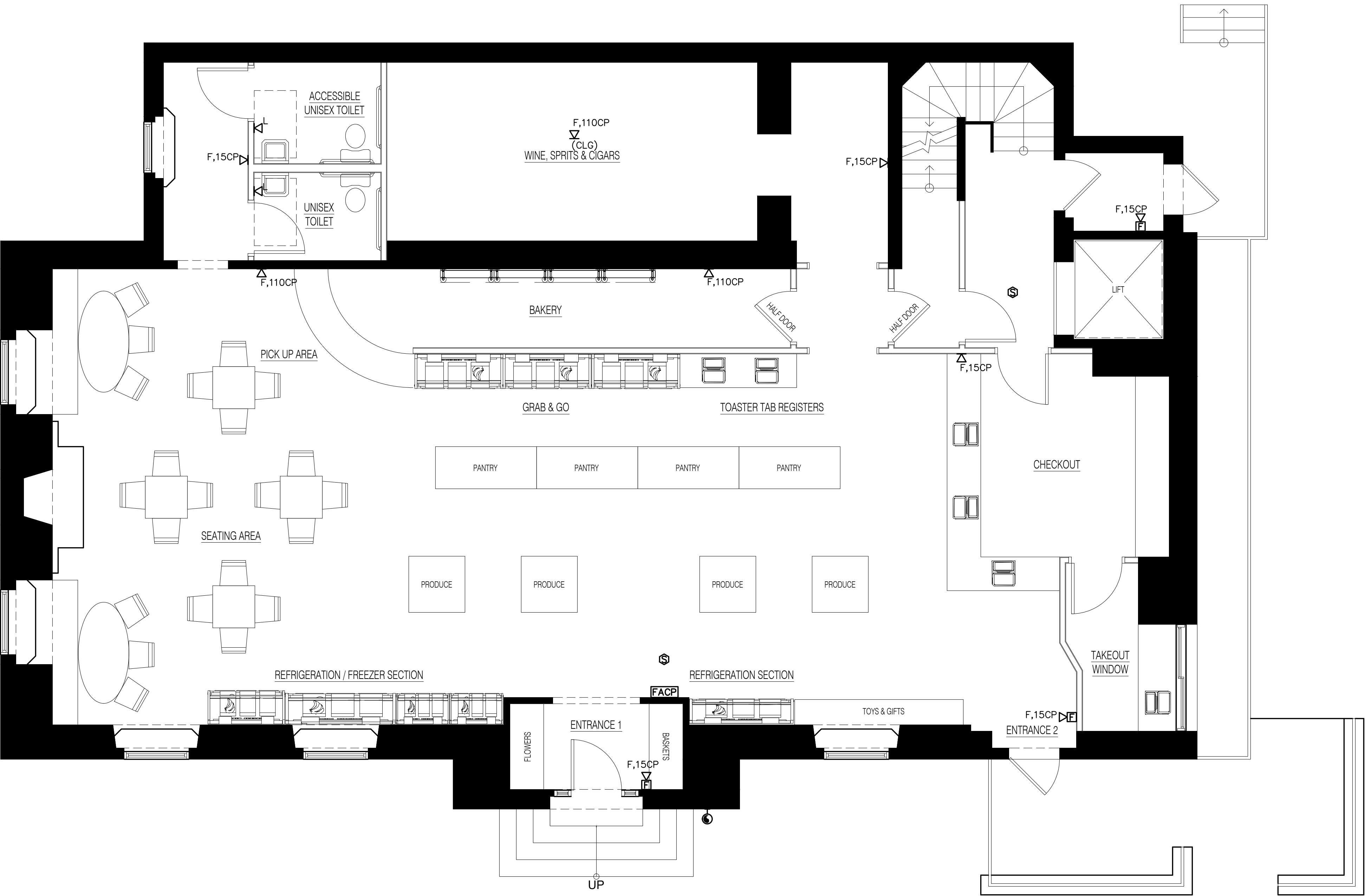


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| proj.no | 24025.00 |
| date | DECEMBER 30, 2024 |
| scale | 1/4" = 1'-0" |



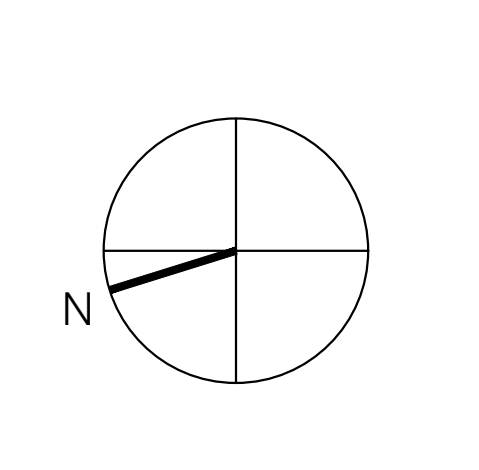
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project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
FIRST FLOOR PLAN (FIRE ALARM)

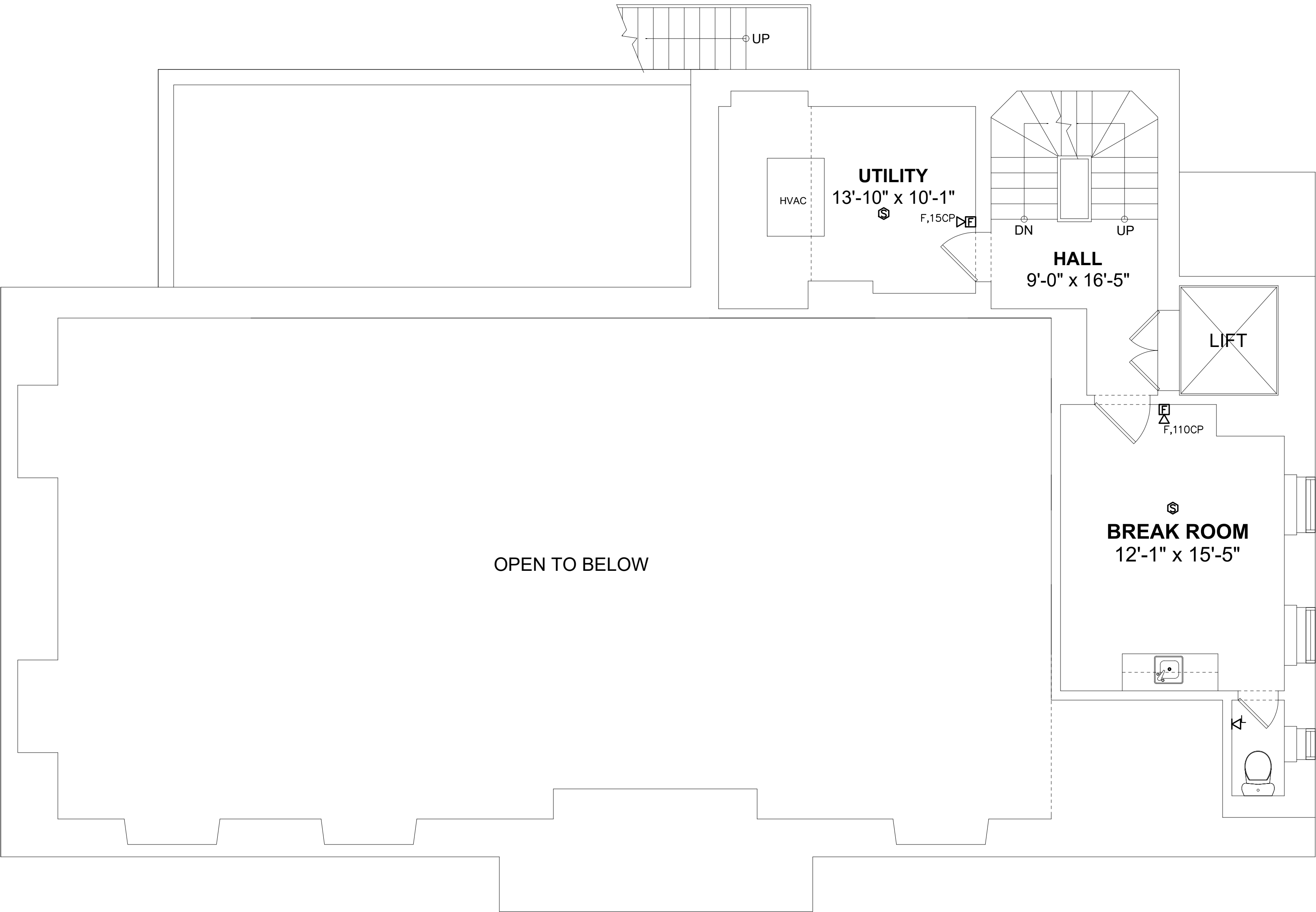


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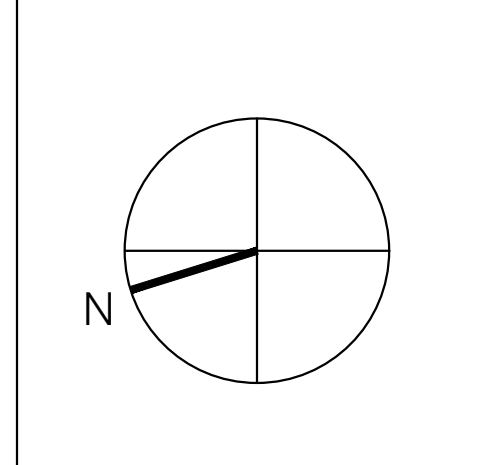
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SECOND FLOOR PLAN
Ceiling Height = 7'-5"

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project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
SECOND FLOOR PLAN (FIRE ALARM)

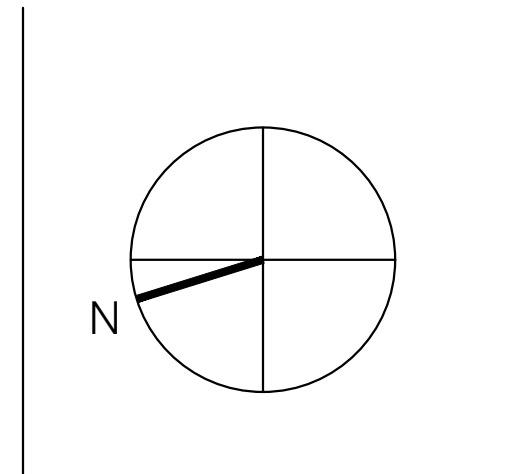


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| date | DECEMBER 30, 2024 |
| scale | 1/4" = 1'-0" |

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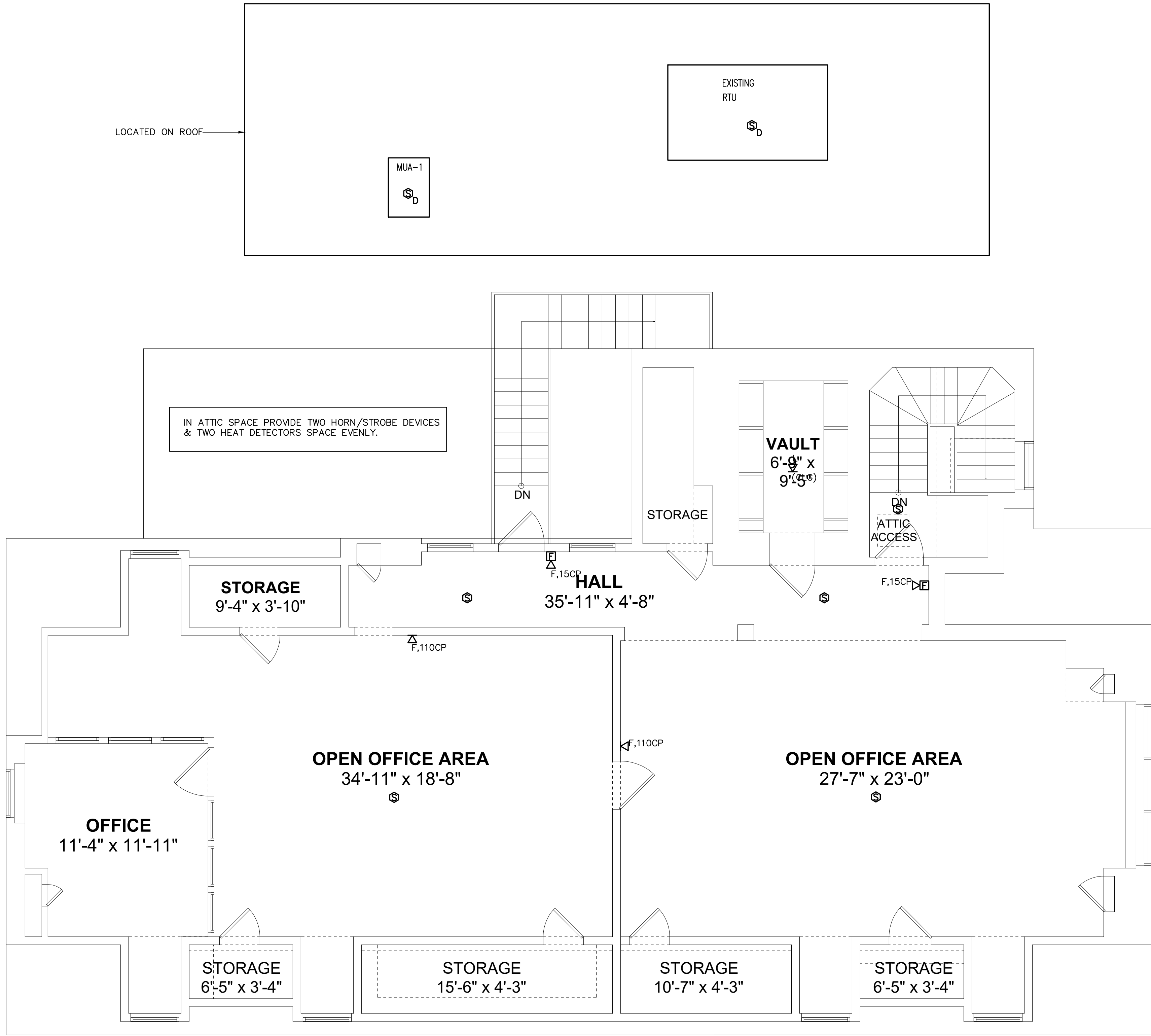


project name
NEW COMMERCIAL SPACE
2 ELIOT STREET
MILTON, MA 02186
PROPOSED RENOVATION
THIRD FLOOR PLAN (FIRE ALARM)

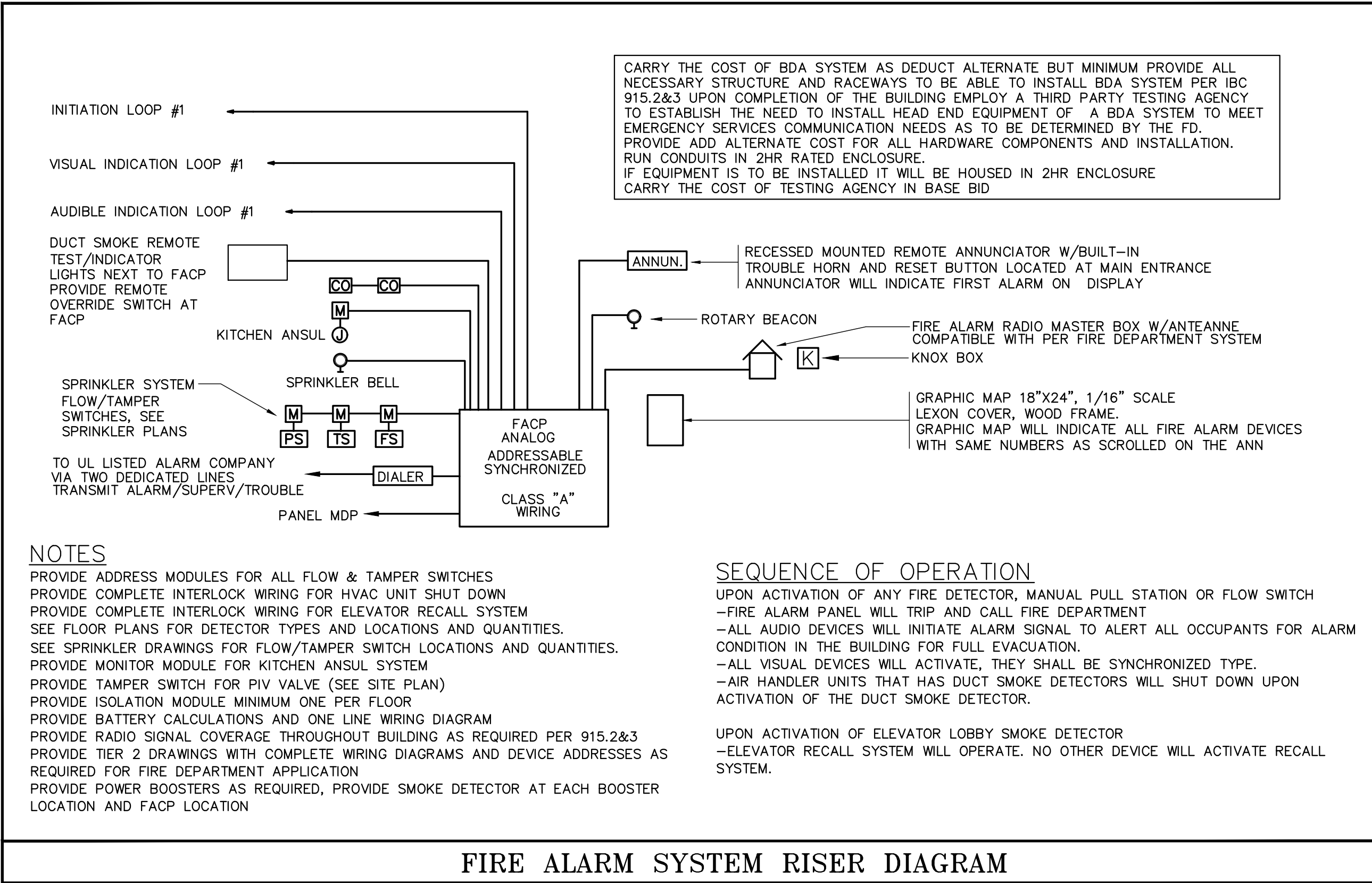


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| proj.no | 24025.00 |
| date | DECEMBER 30, 2024 |
| scale | 1/4" = 1'-0" |

sheet
FA-4



THIRD FLOOR PLAN
Ceiling Height = 8'-9"



| FIRE ALARM SYMBOL LIST | |
|------------------------|---|
| Ⓢ | SYSTEM TYPE SMOKE DETECTOR. ANALOG ADDRESSABLE |
| Ⓜ | HEAT DETECTOR. ADDRESSABLE TYPE |
| Ⓜ | FIRE ALARM PULL AND A/V DEVICE MOUNTING HEIGHT SHALL BE COMPLY WITH NFPA 72. |
| Ⓜ | FIRE ALARM PULL STATION MOUNTING HEIGHT SHALL BE COMPLY WITH NFPA 72. (NOT LESS THAN 42 INCHES AND NOT MORE THAN 48 INCHES ABOVE FINISHED FLOOR.) |
| Ⓜ | FIRE ALARM HORN-STROBE(SYNCHRONIZED). 15 CD IN CORRIDORS, MIN 75 CD IN COMMON AREAS. THE ENTIRE STROBE LENS TO BE LOCATED NOT LESS THAN 80 INCHES ABOVE FINISHED FLOOR AND NOT MORE THAN 96 INCHES ABOVE FINISHED FLOOR AND COMPLY WITH NFPA 72. |
| Ⓜ | FIRE ALARM STROBE ONLY (SYNCHRONIZED). 15 CD IN CORRIDORS, MIN 75 CD IN COMMON AREAS. THE ENTIRE STROBE LENS TO BE LOCATED NOT LESS THAN 80 INCHES ABOVE FINISHED FLOOR AND NOT MORE THAN 96 INCHES ABOVE FINISHED FLOOR AND COMPLY WITH NFPA 72. |
| FACP | FIRE ALARM CONTROL PANEL |
| DIA | DIALER BY E.C. WIRED TO UL LISTED ALARM CO. |
| TS | TAMPER SWITCH |
| FS | FLOW SWITCH |
| PS | PRESSURE SWITCH |
| M | MONITOR MODULE |
| CO | CARBON MONOXIDE DETECTOR |

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