

600 Canton Ave.
Milton, MA 02186

WINTER VALLEY | BUILDING 6

SCHEMATIC DESIGN | OCTOBER 27, 2022

Code review-Winter Valley Building 6, Milton, MA
Scope of Work:
New construction 36-unit, 3-story, senior, independent-living apartment building, with adjacent parking and site work.

Applicable Codes:
780 CMR, Massachusetts State Building Code, 9th Edition (2015 IBC) with Massachusetts amendments
521 CMR, Massachusetts Architectural Access Board Regulations
527 CMR Massachusetts Fire Prevention Regulations
527 CMR 12.00 Massachusetts Electrical Code
International Mechanical Code
248 CMR, the Fuel Gas and Plumbing Code
521 CMR, Massachusetts Architectural Access Board Regulations
Occupancy Classification: R2-Residential
Occupancy Separations: No separation required.

Construction Type: Type VB assumed
Code reference Height Area (sq ft)
Table 504.3: 60 ft 28,000 (assume NFPA 13 sprinkler system)
Table 504.4 3 stories
Table 506.2 Total Allowed 3 stories, 60 ft 28,000
Actual Height and Area: 3 stories, 45 ft 13,569

Fire Resistanc
Bldg Element Rating (Hrs) Opening
(Table 603) Protective (Mins)
Structural Frame 0
Exterior Bearing Walls 0
Interior Bearing Walls 0 20
Int. Non-Bearing Walls 0
Ext. Non-Bearing Walls 0
Int. Non-Bearing Walls 0
Floor Construction 0
Roof Construction 0

Bldg Element Class
Rooms, enclosed spaces C
Means of Egress: IBC Section 303.6 (MA amendment) Means of egress capacity factors.

102.2.2.1 Existing Non Conforming Means of Egress. The following conditions shall be corrected in all existing buildings:
1. Less than the number of means of egress serving every space and/or story, required by Chapter 10 of the International Building Code 2009 with Massachusetts amendments (780 CMR 102.2.2.1).
2. Any required means of egress component which is not of sufficient width to provide adequate exit capacity in accordance with section 1005.1 of the International Building Code 2015 with Massachusetts Amendments (780 CMR 1005.1).

Fire Protection Systems: A sprinkler system per NFPA 13 shall be installed.
Fire Extinguishers - required in new and existing buildings for Group R2 based on Section 906.
Fire Alarm Systems: required for R2 occupancy with more than 16 units (Figure go7.2).

Energy Code:
According to the State website, Milton has adopted the stretch energy code. **101.2 Scope:** This code applies to new residential buildings, renovations of or additions to existing residential buildings, new commercial buildings, and additions to existing commercial buildings. Renovations of existing commercial buildings, and replacement or reconstruction of existing commercial building components and elements, are not subject to the provisions of this code.

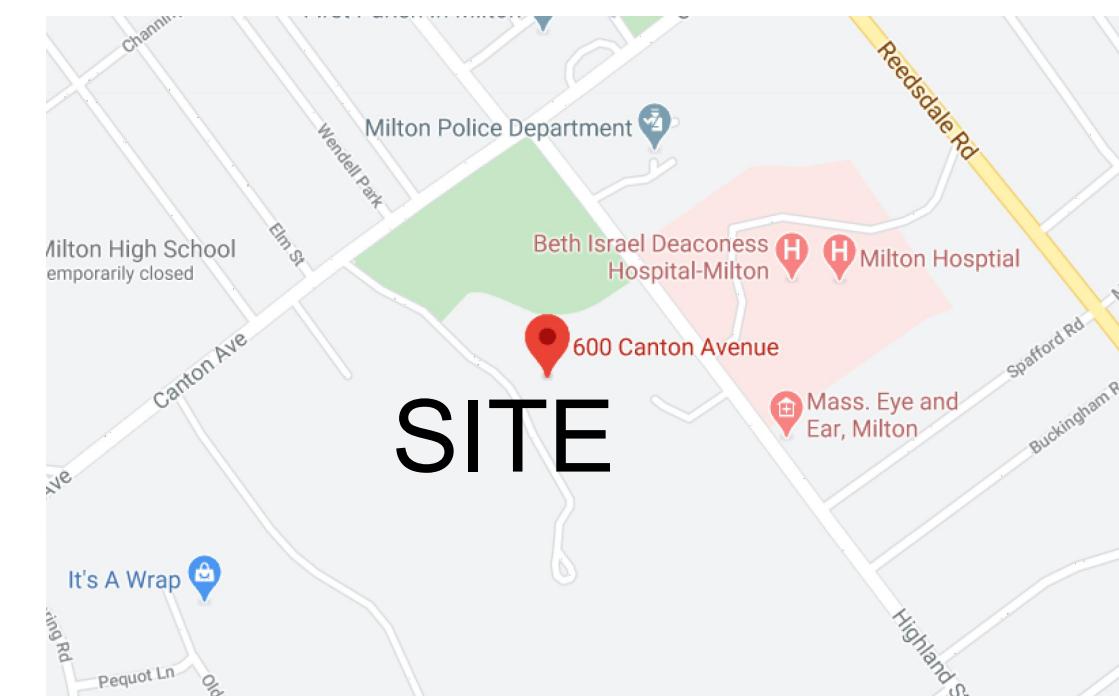
Accessibility:

MAAB:
3.3.1: If the work being performed amounts to less than 30% of the full and fair cash value of the building and if the work costs less than \$100,000, then only the work being performed is required to comply with 521 CMR or
b. if the work costs \$100,000 or more, then the work being performed is required to comply with 521 CMR. In addition, an accessible public entrance and an accessible toilet room, telephone, drinking fountain (if toilets, telephones and drinking fountains are provided) shall also be provided in compliance with 521 CMR.

DRAWING LIST:

A0.0 - COVER, CODE
A1.1 - FIRST FLOOR PLAN
A1.2 - SECOND FLOOR PLAN (3rd Sim.)
A1.4 - ROOF PLAN

A4.1 - NORTH & SOUTH ELEVATIONS
A4.2 - WEST & EAST ELEVATIONS



AREA MAP
600 Canton Ave. Milton, MA 02186

JOHN V. DOWNIE | ARCHITECT
285 Auburndale Avenue | Newton, MA | 02466 | 617.548.8037

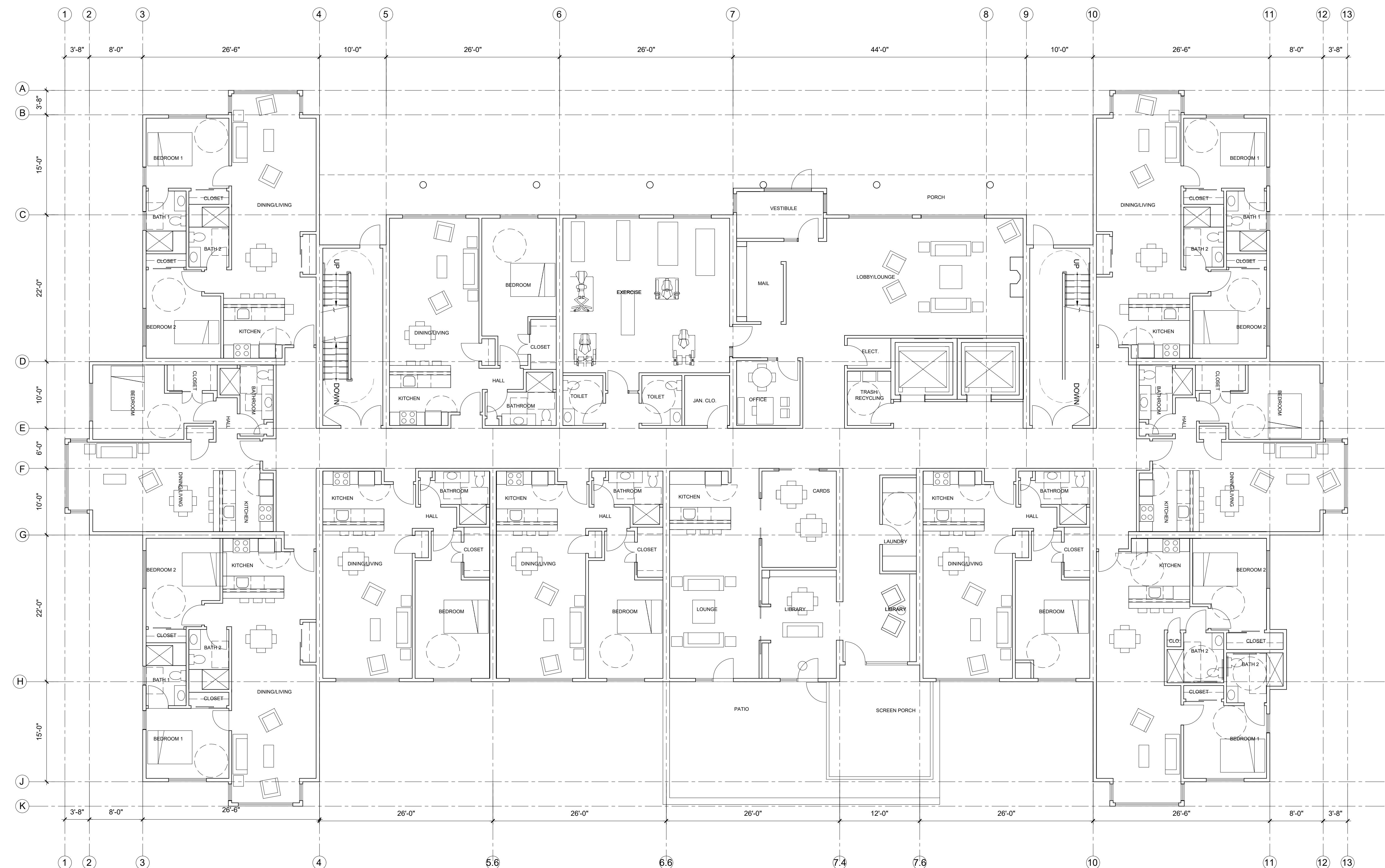
CIVIL ENGINEER:
DEVELLIS ZRIEN, INC.
PO Box 307 | Foxborough, MA | 02035 | 508.473.4114

revisions- date-
Schematic Design Oct. 27, 2022

project no- scale-as noted date-
2019-14 Jan. 25, 2020
drawn- checked- reviewed-
JD JD JD

Cover Code Report

A0.0

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STRUCTURAL ENGINEER:

MEP/FP ENGINEERS:

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First Floor Plan

1 First Floor Plan Diagram
1/8" = 21'-0"

A1.1

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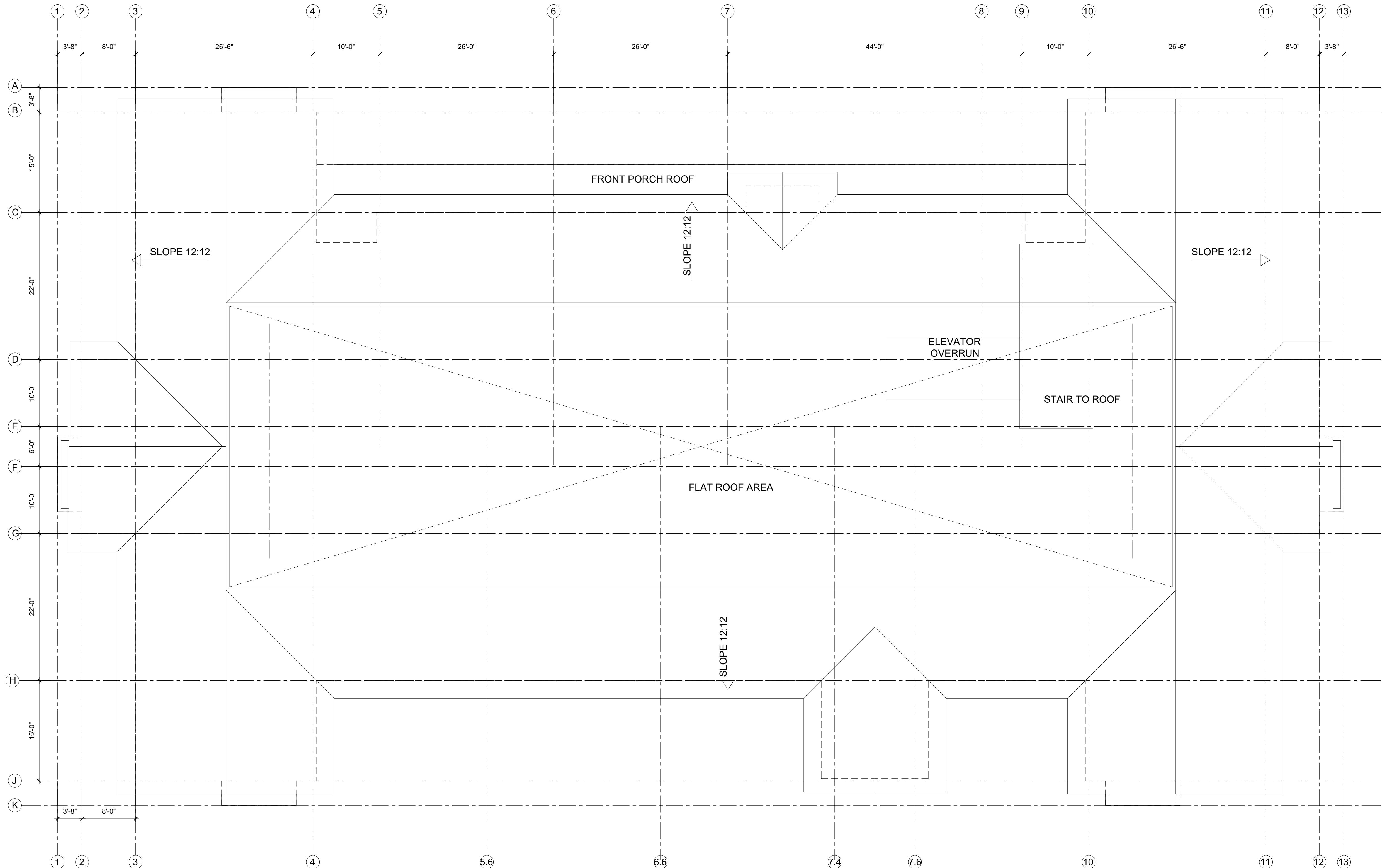
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Second Floor
Plan (3rd Sim.)

A1.2

600 Canton Ave.
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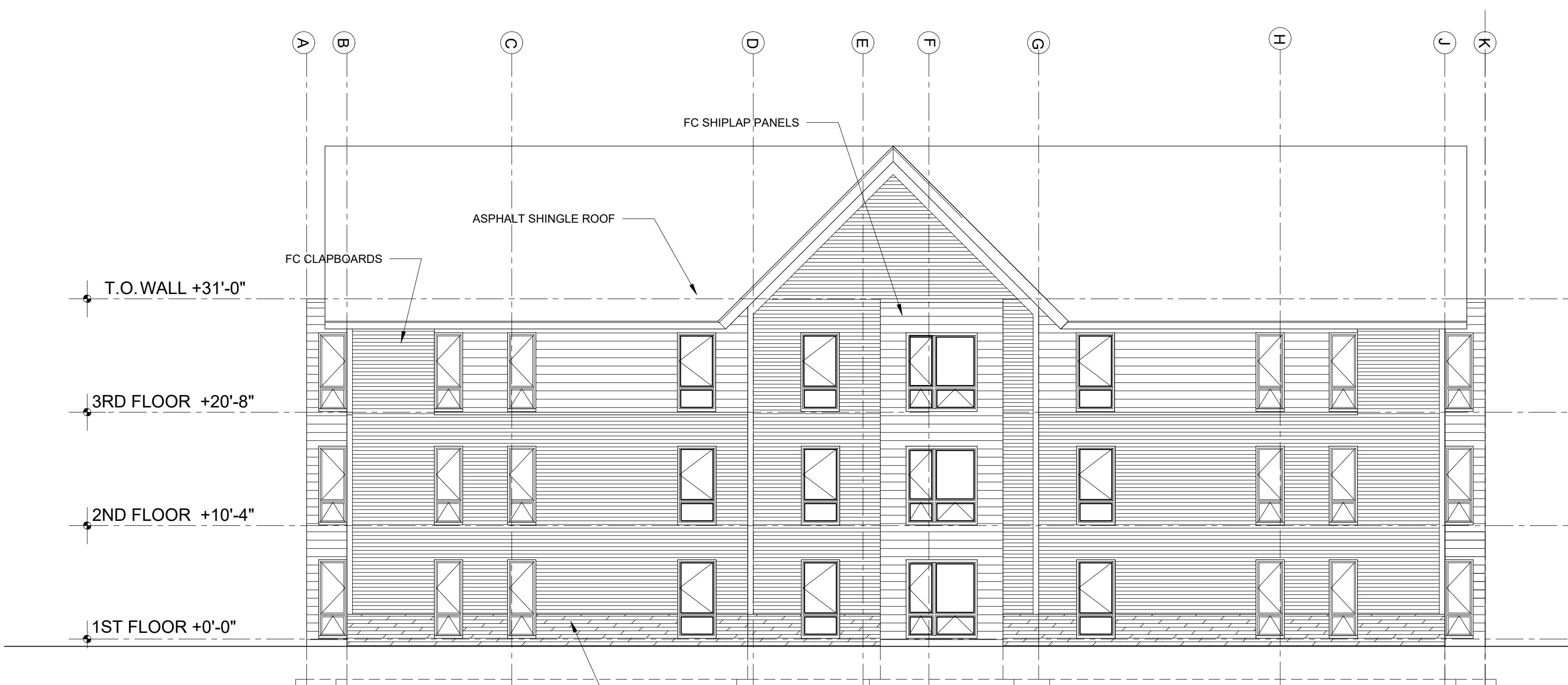
Roof Plan

A1.4

600 Canton Ave.
Milton, MA 021861 South Elevation
1/8" = 1'-0"JOHN V. DOWNIE | ARCHITECT
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Schematic Design Oct. 27, 2022project no. 2017-017 scale-as noted date Jan. 25, 2020
drawn- JD checked- JD reviewed- JDNorth & South
Elevations1 North Elevation
1/8" = 1'-0"

0' 4' 8' 16'

A4.1

600 Canton Ave.
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1/8" = 1'-0"JOHN V. DOWNIE | ARCHITECT
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JD JD JDWest & East
Elevations1 West Elevation
1/8" = 1'-0"

0' 4' 8' 16'

A4.2