

WINTER VALLEY

BUILDING 6

SCHEMATIC DESIGN | OCTOBER 27, 2022

WINTER VALLEY

BUILDING 6

600 Canton Ave.

Milton, MA 02186

JOHN V. DOWNIE | ARCHITECT

285 Auburndale Avenue | Newton, MA | 02466 | 617.548.8037

CIVIL ENGINEER:

DEVELLIS ZRIEN, INC.

PO Box 307 | Foxborough, MA | 02035 | 508.473.4114

revisions-	date-
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project no-	scale-as noted	date-Jan. 25, 2020
2019-14		
drawn-JD	checked-JD	reviewed-JD

Cover Code Report

A0.0

Code review-Winter Valley Building 6, Milton, MA

Scope of Work:
New construction 36-unit, 3-story, senior, independent-living apartment building, with adjacent parking and site work.

Applicable Codes:
780 CMR, Massachusetts State Building Code, 9th Edition (2015 IBC) with Massachusetts amendments
521 CMR, Massachusetts Architectural Access Board Regulations
527 CMR Massachusetts Fire Prevention Regulations
527 CMR 22.00 Massachusetts Electrical Code
International Mechanical Code
248 CMR, the Fuel Gas and Plumbing Code
521 CMR, Massachusetts Architectural Access Board Regulations

Occupancy Classification: R2-Residential

Occupancy Separations: No separation required.

Construction Type: Type VB assumed

Code reference	Height	Area (sq ft)
Table 504.3	60 ft	
Table 504.4	3 stories	28,000 (assume NFPA 13 sprinkler system)
Table 506.2		
Total Allowed	3 stories, 60 ft	28,000
Actual Height and Area:	3 stories, 45 ft	13,569

Fire Resistanc Bldg Element (Table 602)	Rating (Hrs)	Opening Protectives (Mins)
Structural Frame	0	
Exterior Bearing Walls	0	
Interior Bearing Walls	0	20
Int. Non-Bearing Walls	0	
Ext. Non-Bearing Walls	0	
Int. Non-Bearing Walls	0	
Floor Construction	0	
Roof Construction	0	

Bldg Element Class
Rooms, enclosed spaces C

Means of Egress: IEBC Section 303.6 (MA amendment) Means of egress capacity factors.
102.2.2.1 Existing Non-Conforming Means of Egress. The following conditions shall be corrected in all existing buildings:
1. Less than the number of means of egress serving every space and/or story, required by Chapter 10 of the International Building Code 2009 with Massachusetts amendments (780 CMR 10.00).
2. Any required means of egress component which is not of sufficient width to provide adequate exit capacity in accordance with section 1005.1 of the International Building Code 2015 with Massachusetts Amendments (780 CMR 1005.1).

Fire Protection Systems: A sprinkler system per NFPA 13 shall be installed.
Fire Extinguishers - required in new and existing buildings for Group R2 based on Section 906.
Fire Alarm Systems: required for R2 occupancy with more than 16 units (Figure 907.2).

Energy Code:
According to the State website, Milton has adopted the stretch energy code: 18A.2 Scope: This code applies to new residential buildings, renovations of or additions to existing residential buildings, new commercial buildings, and additions to existing commercial buildings. Renovations of existing commercial buildings, and replacement or reconstruction of existing commercial building components and elements, are not subject to the provisions of this code.'

Accessibility:
MAAB:
3.3.1: If the work being performed amounts to less than 30% of the full and fair cash value of the building and if the work costs less than \$100,000, then only the work being performed is required to comply with 521 CMR or
b. If the work costs \$100,000 or more, then the work being performed is required to comply with 521 CMR. In addition, an accessible public entrance and an accessible toilet room, telephone, drinking fountain (if toilets, telephones and drinking fountains are provided) shall also be provided in compliance with 521 CMR.

DRAWING LIST:

- A0.0 - COVER, CODE
- A1.1 - FIRST FLOOR PLAN
- A1.2 - SECOND FLOOR PLAN (3rd Sim.)
- A1.4 - ROOF PLAN

- A4.1 - NORTH & SOUTH ELEVATIONS
- A4.2 - WEST & EAST ELEVATIONS



AREA MAP

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STRUCTURAL ENGINEER:

MEP/FP ENGINEERS:

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First Floor Plan



1 First Floor Plan Diagram
1/8" = 21'-0"



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STRUCTURAL ENGINEER:

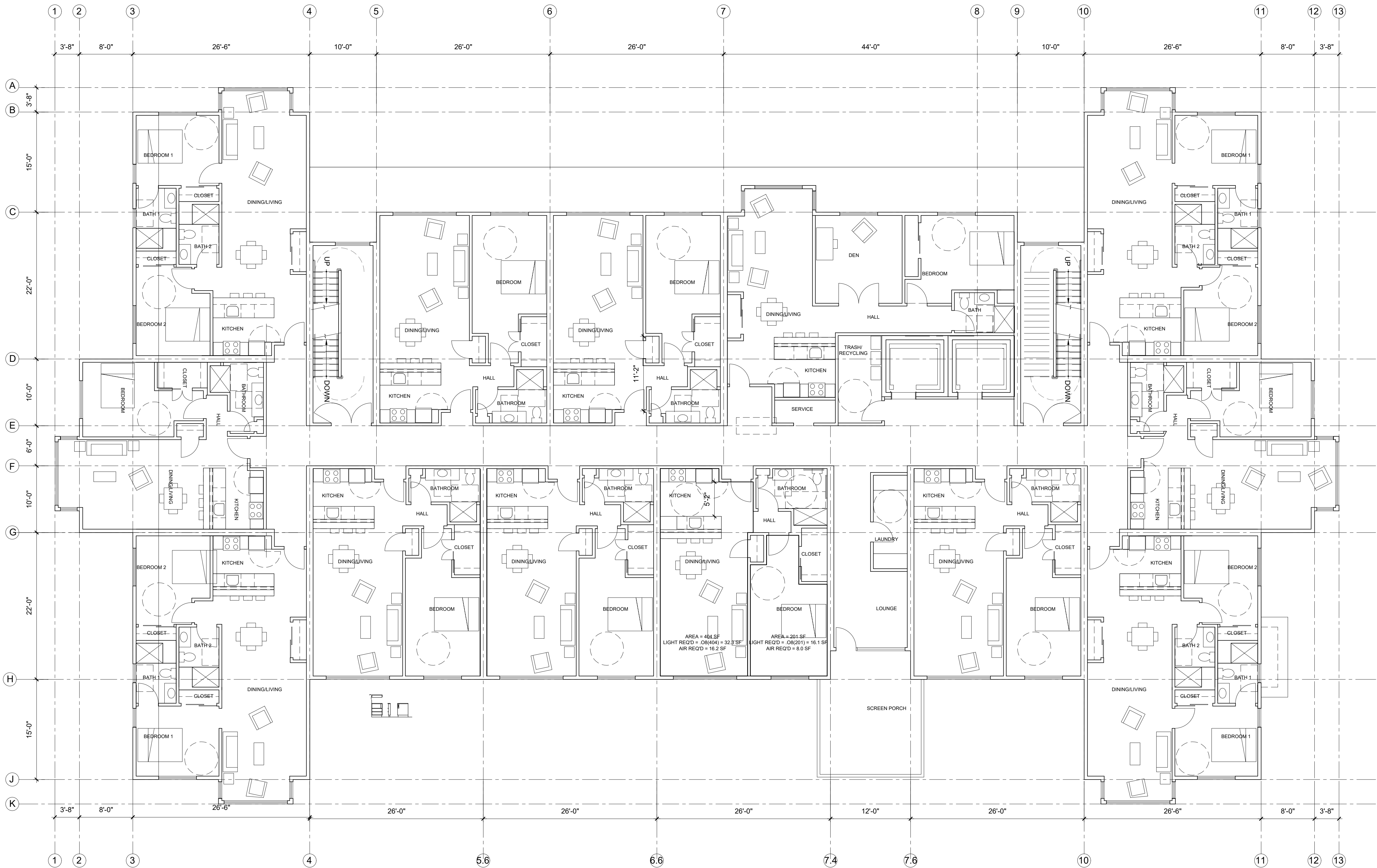
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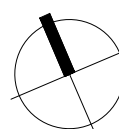
Second Floor
Plan (3rd Sim.)

A1.2



1 Second Floor Plan Diagram (Third Floor Sim.)
1/8" = 21'-0"

0' 4' 8' 16'



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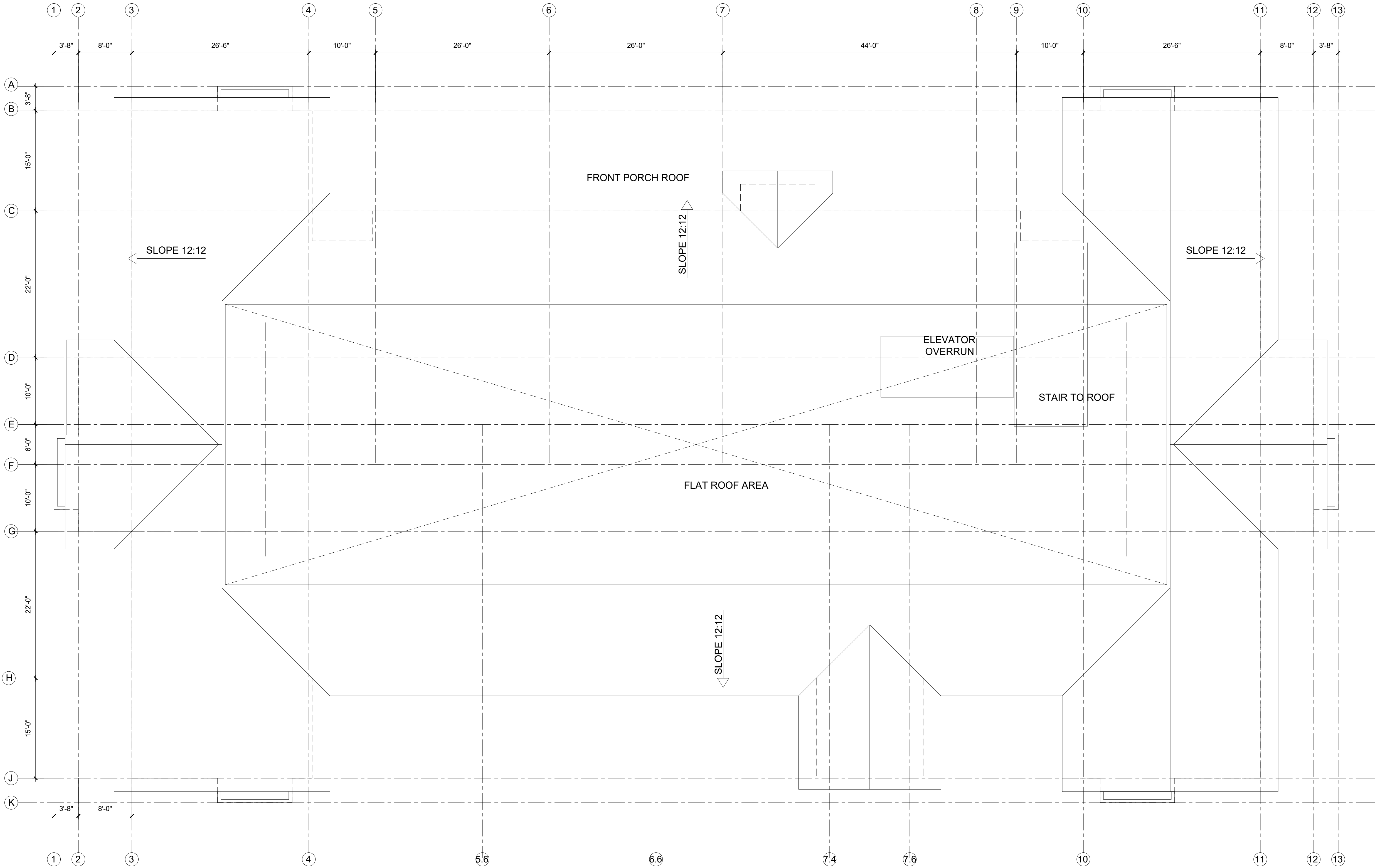
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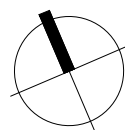
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Roof Plan



1 Second Floor Plan Diagram (Third Floor Sim.)
1/8" = 21'-0"



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1 South Elevation
1/8" = 1'-0"



1 North Elevation
1/8" = 1'-0"

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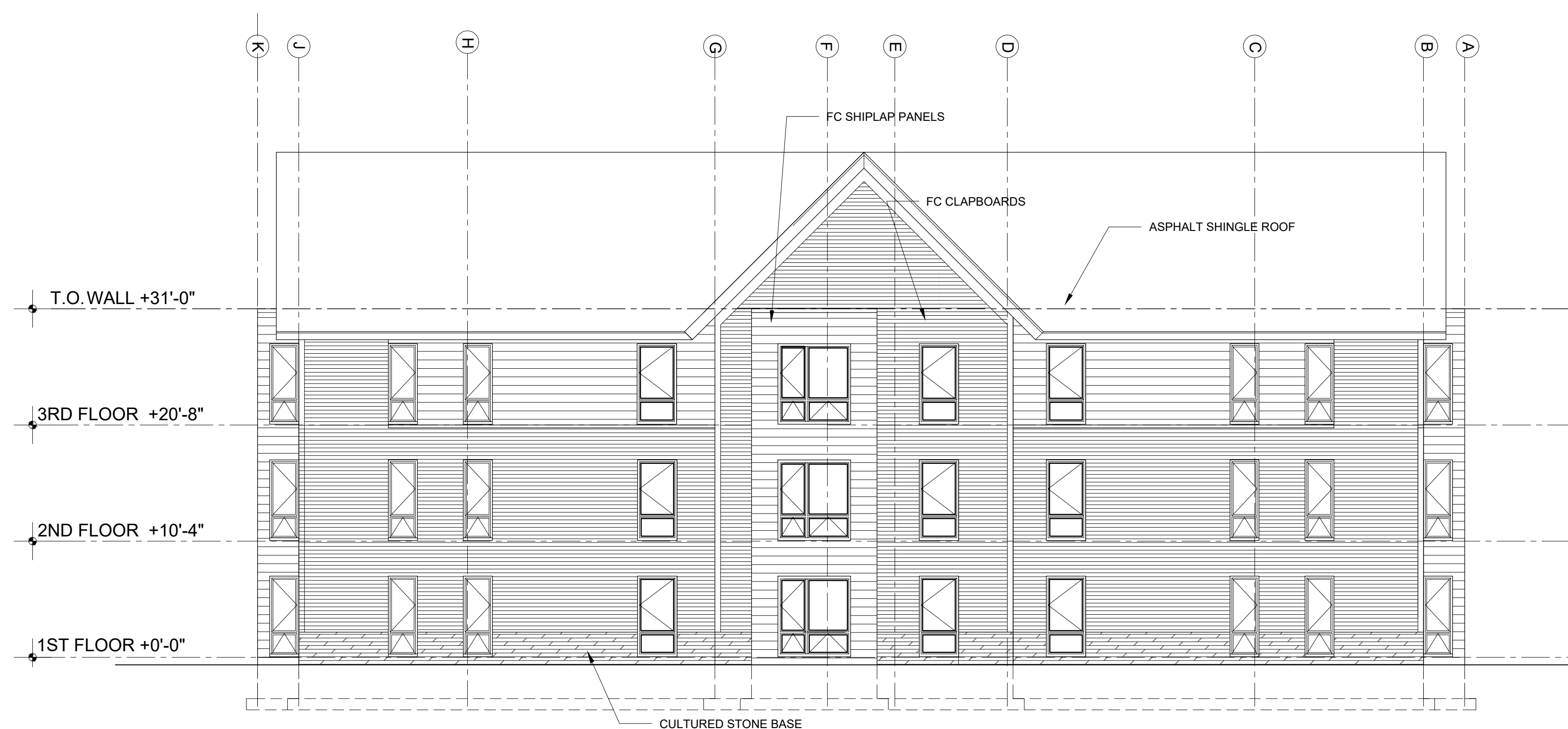
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North & South Elevations

A4.1

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1 East Elevation
1/8" = 1'-0"



1 West Elevation

$\frac{1}{8}'' = 1'-0''$

0' 4' 8' 12'

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West & East Elevations

A4.2