

SITE PLAN APPROVAL & NOTICE OF INTENT

WINTER VALLEY RESIDENCES

BUILDING 6 AT 600 CANTON AVENUE

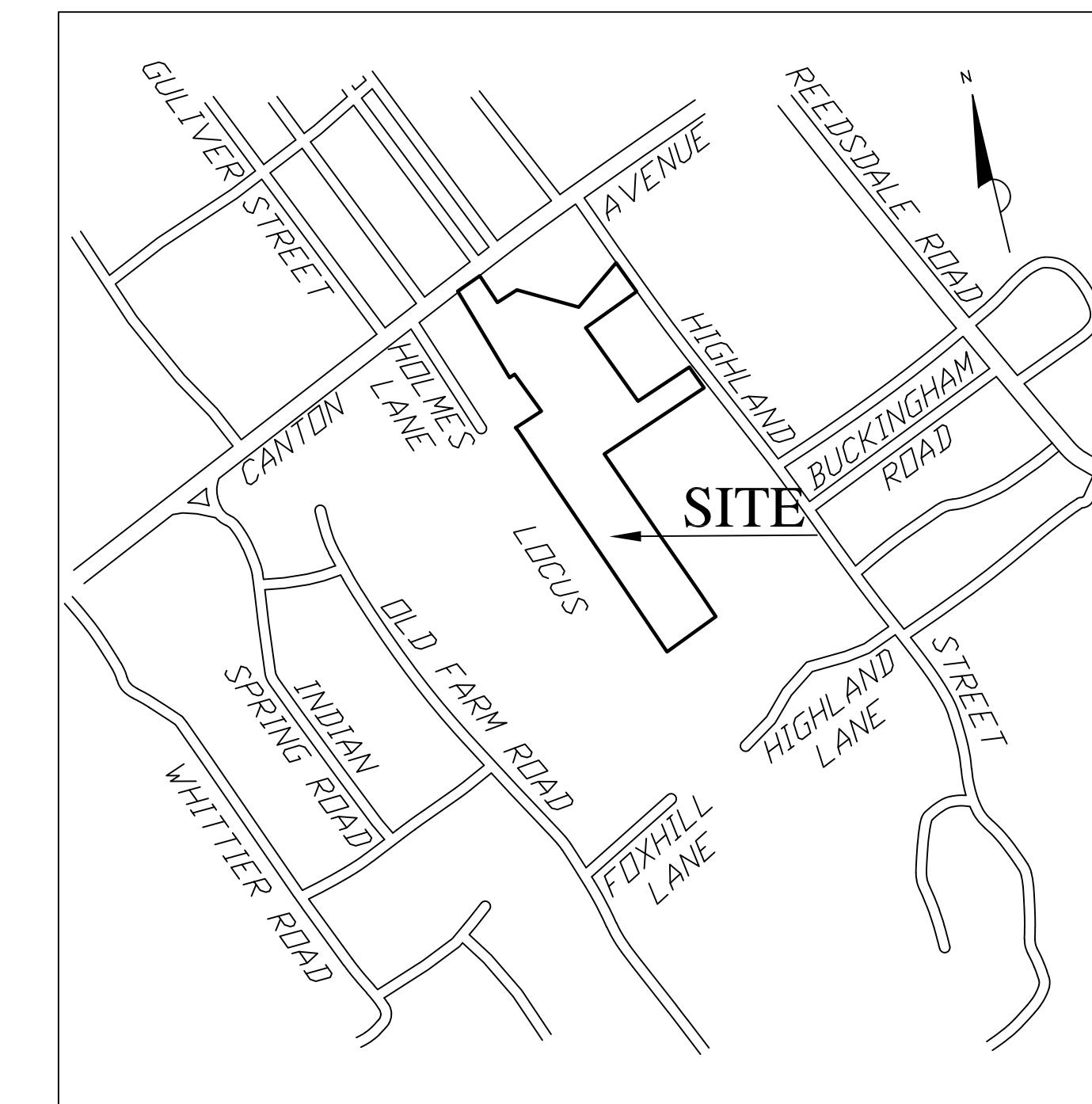
MILTON, MASSACHUSETTS

November 4, 2022

LIST OF DRAWINGS

- SP-1 EXISTING CONDITIONS PLAN
- SP-1 SITE PREPARATION PLAN
- C-1 LAYOUT AND MATERIALS PLAN
- C-2 GRADING AND UTILITY PLAN
- C-3 PLANTING PLAN
- C-4 SITE DETAILS
- C-5 SITE DETAILS

ZONING TABLE		
ZONE: RESIDENCE D-1 USE: SENIOR HOUSING	REQUIRED	PROVIDED
MIN. LOT AREA	20 ACRES	24.5+/- ACRES
MIN. LOT FRONTAGE	150 FT	152 +/- FT
MIN. SIDE YARD	40 FT	68 FT & 77 FT
MIN. REAR YARD	30 FT	679 FT
MIN. SETBACK FROM PUBLIC WAY	150 FT	1,479 FT
MAX. NUMBER OF UNITS	196	196 160(EX)+36(PR)=196
PARKING:	1 SPACE /2 UNITS 36 UNITS REQUIRE 18 SPACES	29 TOTAL SPACES [8 REMOVED] [37 ADDED]



LOCUS MAP

NTS

CIVIL ENGINEER/ LANDSCAPE ARCHITECT

DeVellis Zrein Inc.
P.O. Box 307 Foxborough, MA 02035
508.473.4114 (jim@develliszrein.com)

ARCHITECT

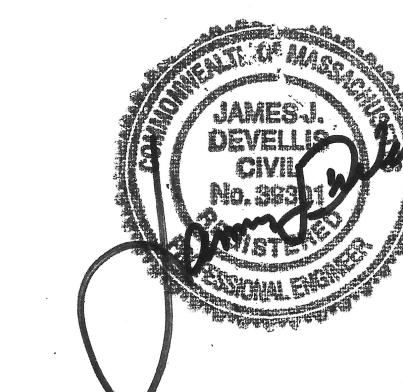
John V. Downie Architect
285 Auburndale Avenue, Newton MA 02466

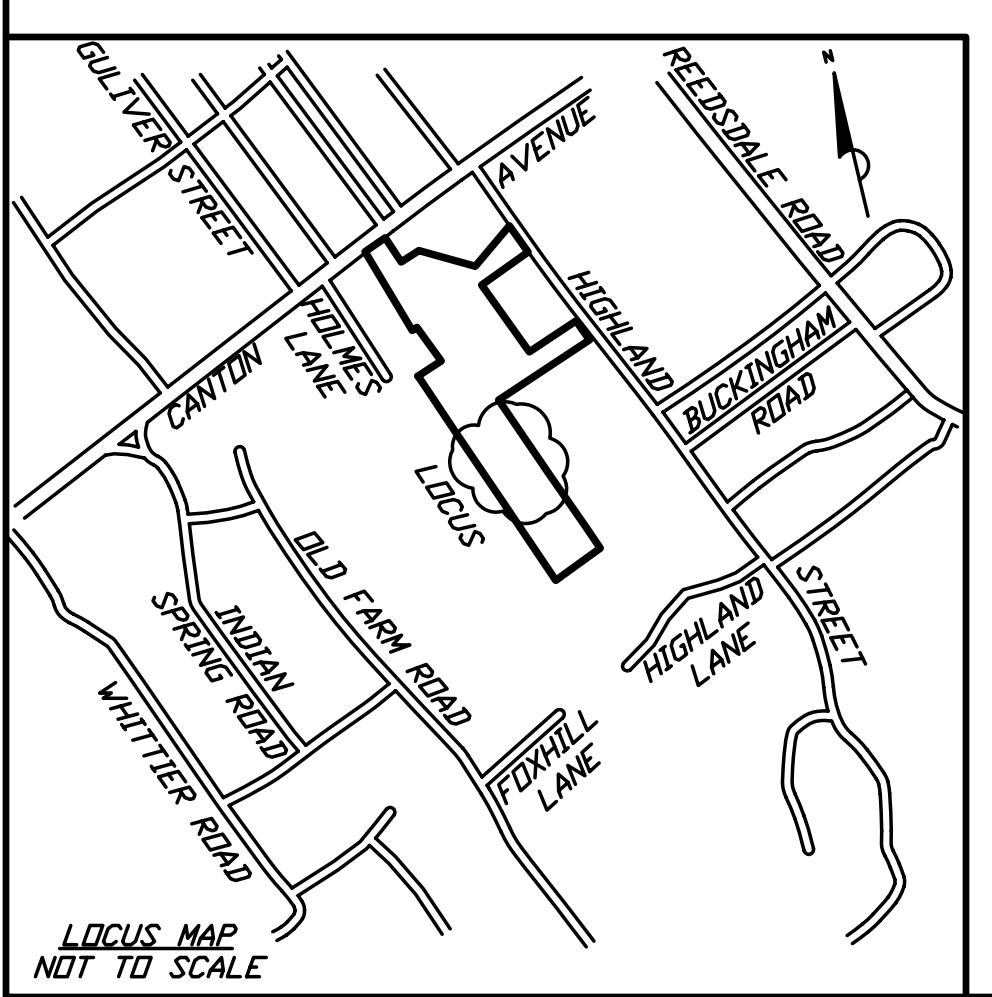
SURVEYOR

Precision Land Survey Inc.
32 Turnpike Rd Southborough, MA 01772

WETLAND SCIENTIST

Beals Associates Inc.
2 Park Plaza Suite 200 Boston, MA 02116





REFERENCES
NORFOLK COUNTY REGISTRY OF DEEDS
PLAN NO. 577 OF 1997 IN PLAN BOOK 450
• 587 • 1978 • 269
• 969 • 1977 • 264
• 579 • 1974 • 245
• 64 • 1973 • 229
• 651 • 1970 • 227
• 1345 • 1955 • 200
• 59 • 1946 • 138
• 1895 • 1905 • 40
• 764 • 1980 IN DEED BOOK 5785 PAGE 2
• 94 • 1958 • 3617 • 91
• 738 • 1954 • 3264 • 378
PLAN IN DEED BOOK 963 PAGE 509

DIG SAFE
UNDERGROUND UTILITIES
WERE COMPILED FROM
AVAILABLE RECORD PLANS OF UTILITY COMPANIES
AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY.
BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE"
1-888-344-7233. SOME DATA IS CONFLICTING
AND CAN ONLY BE VERIFIED BY EXCAVATION.

LEGEND
BERM
BFA
BH
BIT CONC
CB
CB/EPLP
CC
CLF
CONC
CTV
DBS
DMH
DRA
GC
GEN
GG
HYD
LP
LST
MH
S
SB/DH
SMH
TRANS
UP
WF
WG
.....
BITUMINOUS CONCRETE BERM
BUILDING FOOTPRINT AREA
BUILDING HEIGHT
BITUMINOUS CONCRETE
CATCH BASIN
CONCRETE BOUND/PLUG
CONCRETE CURB
CHAIN LINK FENCE
CONCRETE
CABLE TELEVISION
DOUBLE DRAIN/BASIN
DRAIN MANHOLE
GRANITE CURB
GENERATOR
GAS GATE
HYDRANT
LIGHT POLE
LANDSCAPE TIMBER
MANHOLE
SIGN
STONE BOUND/DRILLHOLE
SEWER MANHOLE
SEWER TRANSFORMER
UTILITY POLE
WOOD FENCE
WATER GATE
TREE LINE
OVERHEAD WIRE

NOTES
1) ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN
VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS
AND AN OPUS REDUCTION PERFORMED 2/26/2021.
2) SNOW ON GROUND AT TIME OF SURVEY.
3) ONLY SELECT UTILITY INFORMATION WAS AVAILABLE AND SOME
LINES WERE NOT ABLE TO BE SHOWN.
4) THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED
WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND ARE SUBJECT
TO THE FINDINGS SUCH A REPORT MAY DISCLOSE.
5) OWNER: WINTER VALLEY RESIDENCES, INC.
DEED BOOK 5522 PAGE 333
6) WETLAND FLAGS WERE HUNG BY OTHERS.

FLOOD NOTE
BY GRAPHIC PLOTTING ONLY THE PARCEL SHOWN
HEREON IS LOCATED IN ZONE X AS SHOWN ON
FLOOD INSURANCE RATE MAP Nos. 25021C0202E &
25021C0064F, EFFECTIVE DATE JULY 17, 2012 &
JUNE 9, 2014, RESPECTIVELY.

EXISTING CONDITIONS PLAN IN MILTON, MA (NORFOLK COUNTY)

SCALE: 1" = 20' DATE: FEBRUARY 26, 2021

REVISED: JULY 6, 2021

Precision Land Surveying, Inc.

32 Turnpike Road

Southborough, Massachusetts 01772

TELE NO: (508) 460-1789 FAX NO: (508) 970-0096

381601TP1.DWG

Winter Valley

600 CANTON AVENUE, MILTON MA 02186



600 Canton Avenue
MILTON, MA



LEGENDE

PROPERTY LINE

SILT SOX

PROPOSED LEGEND

CATCH BASIN SILT SACK

PROPERTY LINE CONSTRUCTION ENTRANCE

LIMIT OF WORK LINE

EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION
EXISTING VEGETATION TO BE CLEARED AND GRUBBED

EXISTING PAVEMENT, CURBING AND SIGNS TO BE REMOVED
EXISTING TREE TO BE REMOVED AND DISPOSED OF

BIT. CONC. PAVEMENT REMOVAL

8' CONSTRUCTION FENCE

CONSTRUCTION ENTRANCE

SITE PREPARATION NOTE

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY OF WESTBOROUGH, MA AND IS DATED 26 FEBRUARY 2021.
2. WITHIN THE LIMIT OF THE WORK LINE AS NOTED ON THE SITE PREPARATION PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
3. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
6. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
7. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
9. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
10. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

CONSTRUCTION SEQUENCE

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTHMoving.
2. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP-RAP PRIOR TO DIRECTING RUNOFF TO THEM.
3. CLEAR CUT, DEMOLISH, AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
4. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES; MULCH AND SEED AS REQUIRED.
7. FINISH PAVING ALL HARD SURFACE AREAS.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
9. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
10. REMOVE TEMPORARY EROSION CONTROL MEASURES.
11. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF GRADING AS SHOWN ON THE DRAWINGS.
12. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES ON A YEARLY BASIS.

DZI Site Planning, Civil Engineering, Landscape Architecture
Po Box 307
Foxborough, MA
508.473.4114 phone
develliszrein.com

SITE PREPARATION PLAN

SCALE:	1"=20'
JOB:	2G1S-455
FILE:	
DRAWN:	CRM
CHECKED:	JJD
DATE:	11-04-22

LAYOUT AND MATERIAL NOTES

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY OF WESTBOROUGH, MA AND IS DATED 26 FEBRUARY 2021.
2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
3. CONTRACTOR(s) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
4. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
5. ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF XXXXX AND THE XXXXX HIGHWAY DEPARTMENT.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
7. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
8. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
9. FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
10. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

LEGEND

PROPERTY LINE

SITE LIGHTING

CEMENT CONCRETE PAVEMENT

VGC

BCC

ICC

FC

VERTICAL GRANITE CURB

BITUMINOUS CAPE COD BERM

INTEGRAL CONCRETE CURB

FLUSH CURB

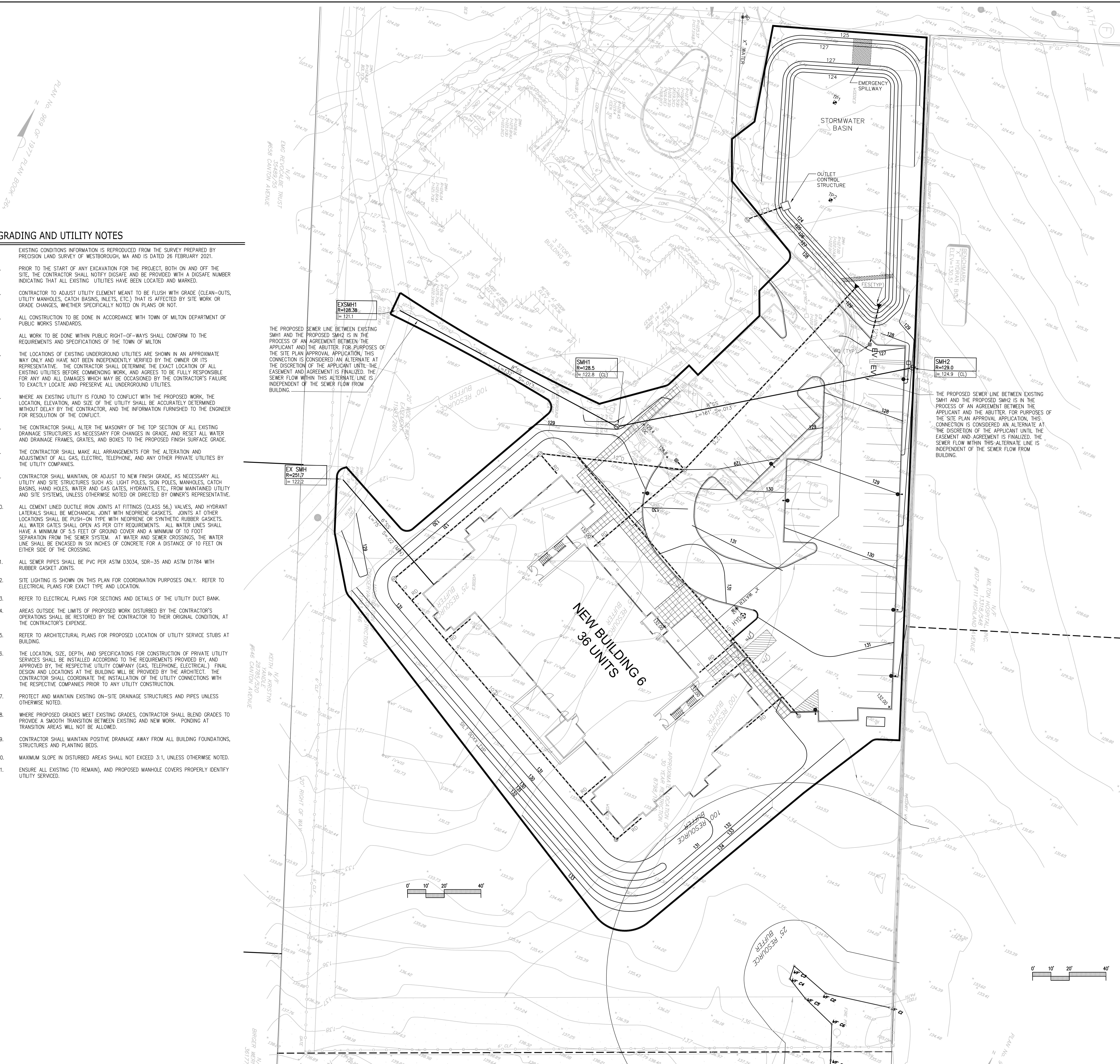
SILT SOXX



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LAYOUT AND MATERIALS PLAN

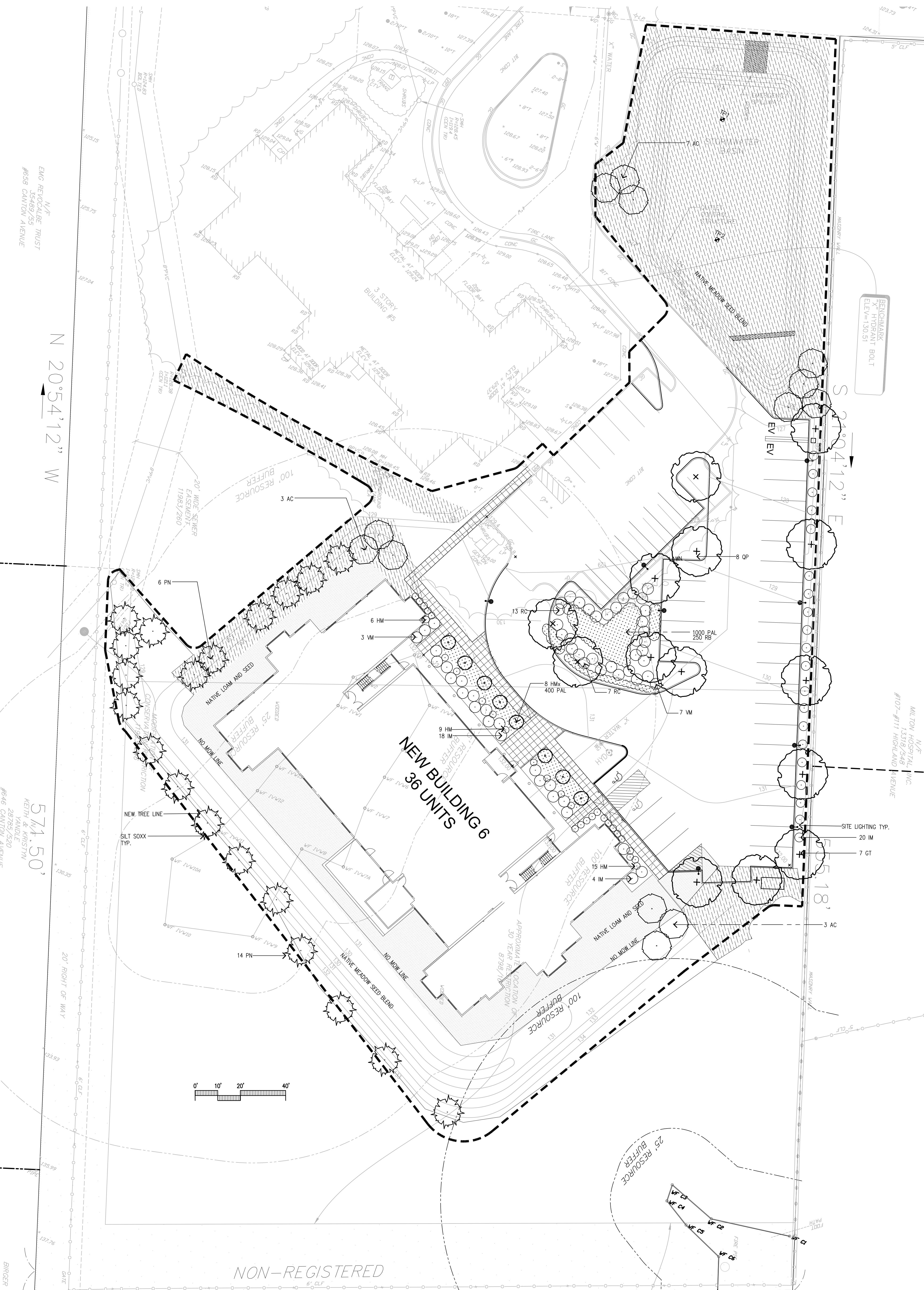
1"=20'
2G1S-455
CRM
0:
JJD
11-04-22

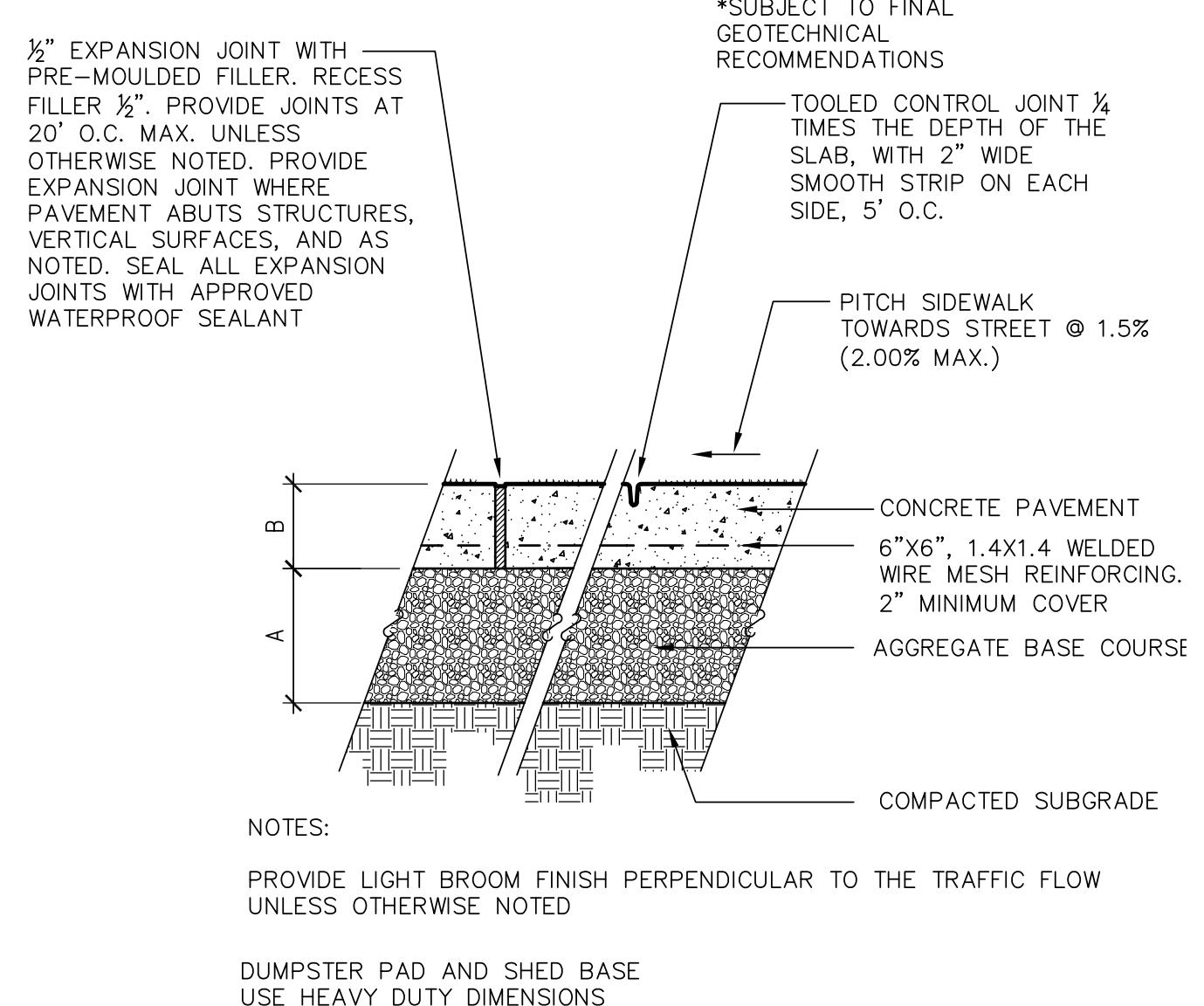


DZI
DeVellis Zrein Inc.

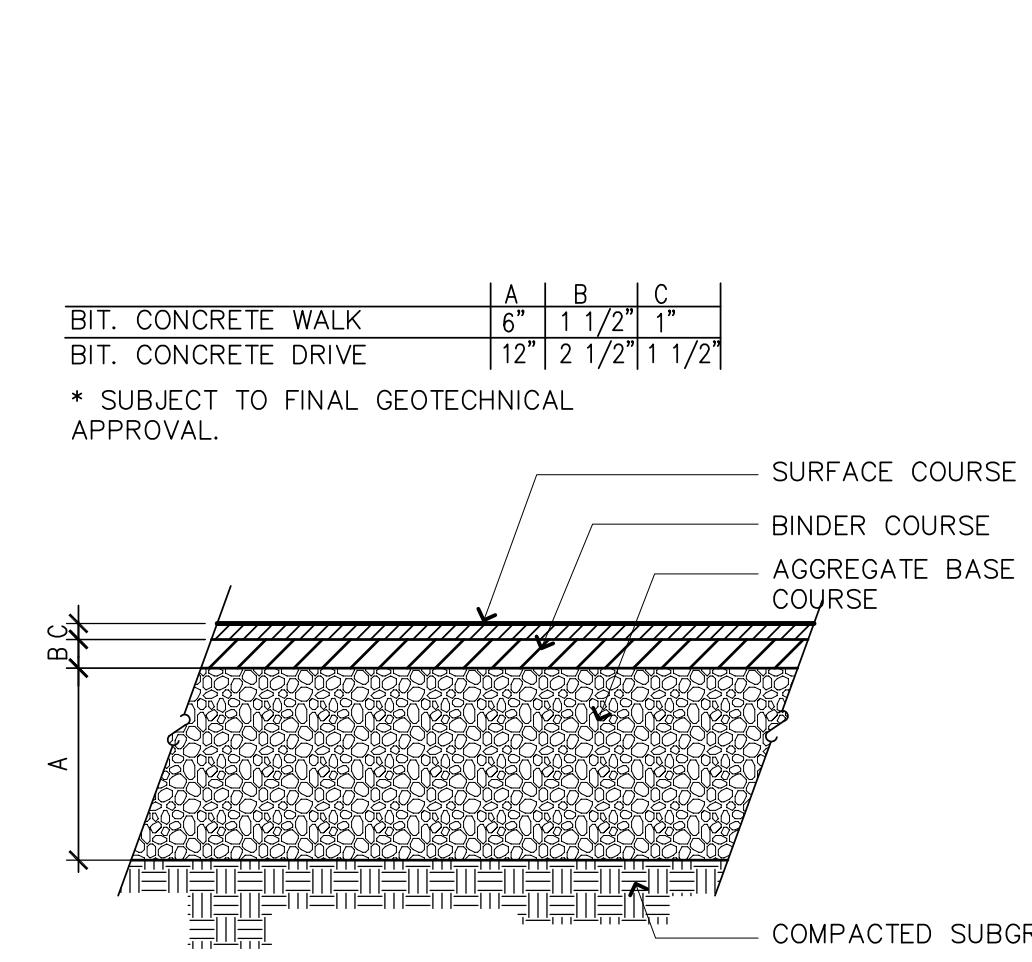
GRADING AND UTILITIES
PLAN

SCALE: 1"=20'
JOB: 2G15-455
FILE: 2G15-455-04
DRAWN: CRM
CHECKED: JD
DATE: 11-04-22

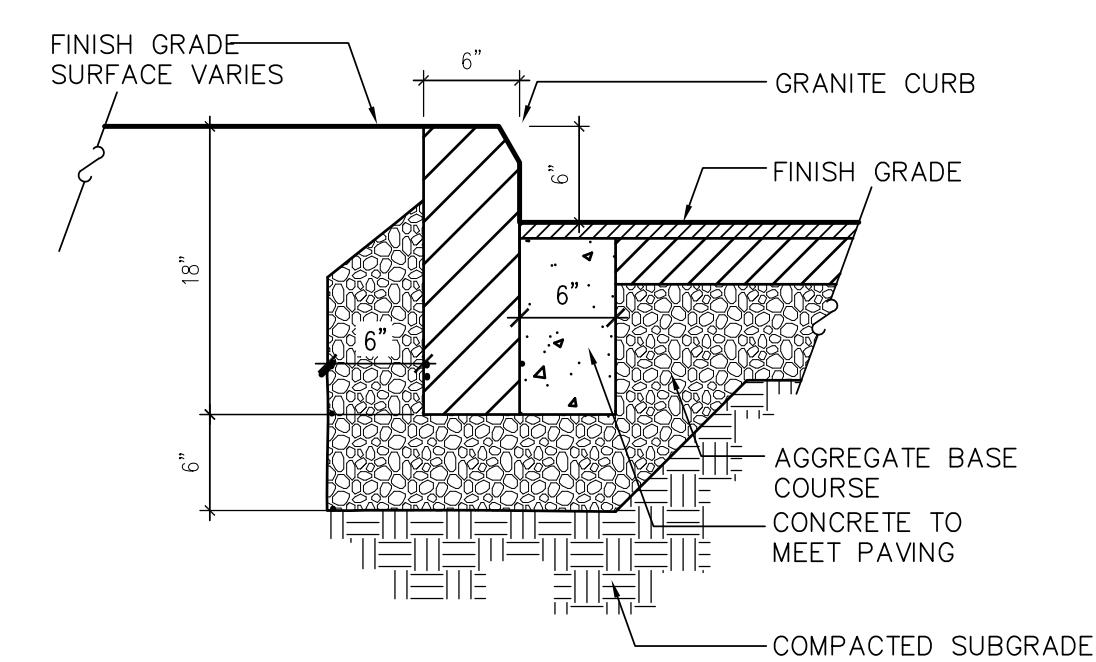




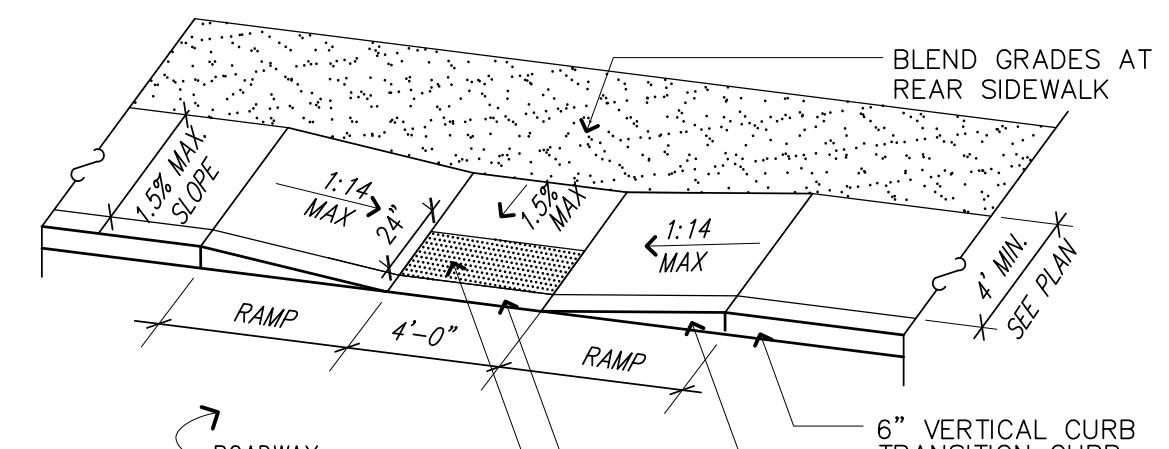
CEMENT CONCRETE SIDEWALK



BITUMINOUS CONCRETE PAVEMENT

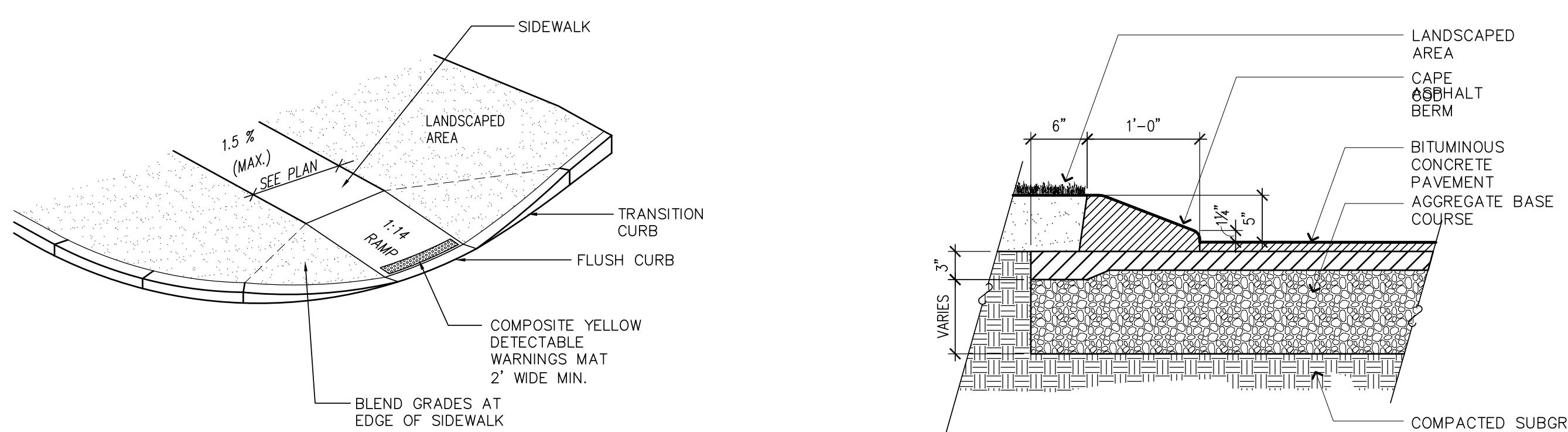


VERTICAL GRANITE CURB

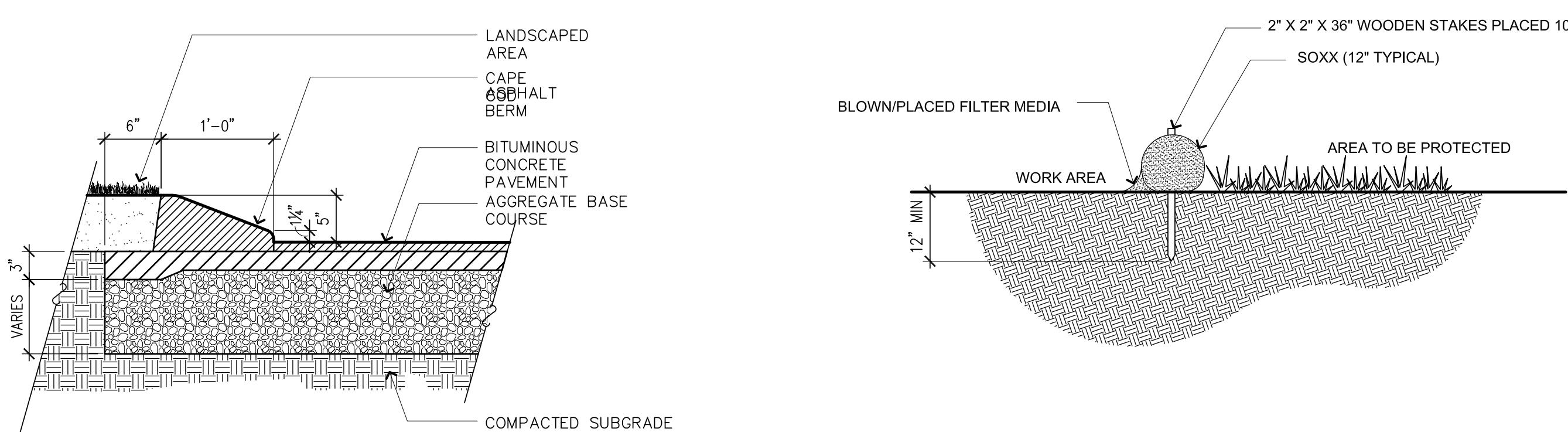


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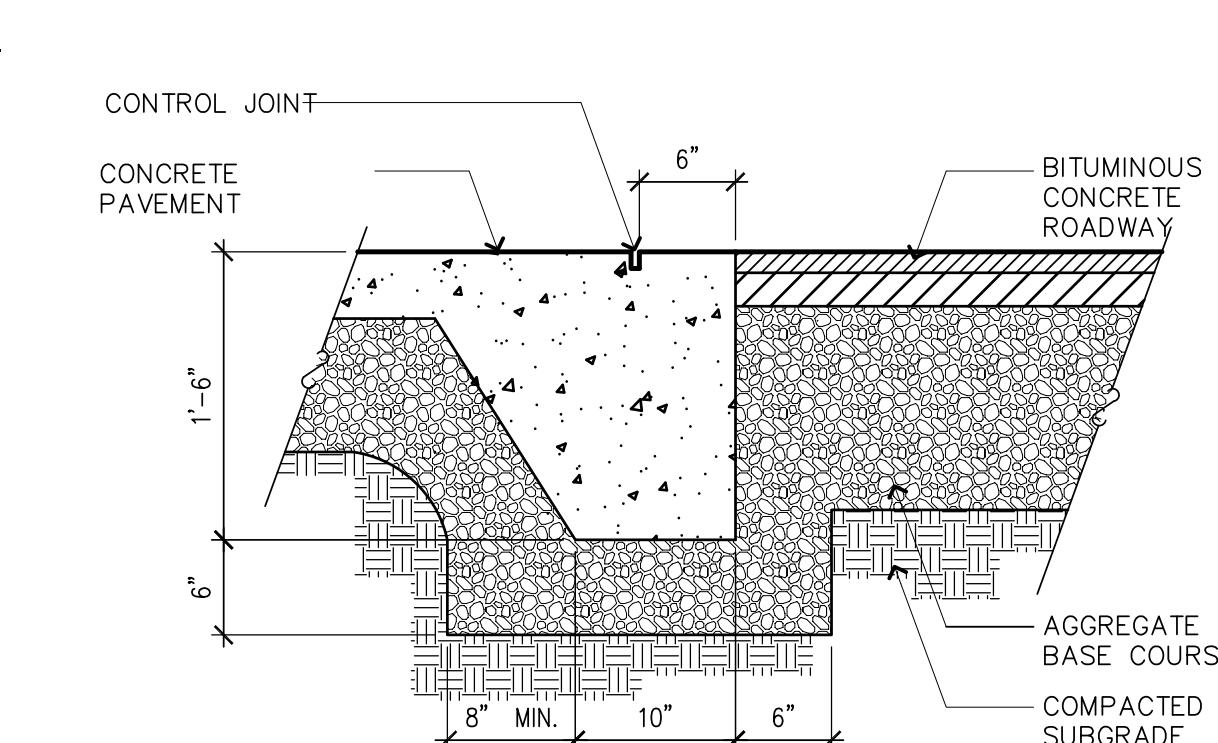
1. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
2. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
3. PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
4. PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
5. MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
6. TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
7. FIXED OBJECTS (i.e. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCROACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
8. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.



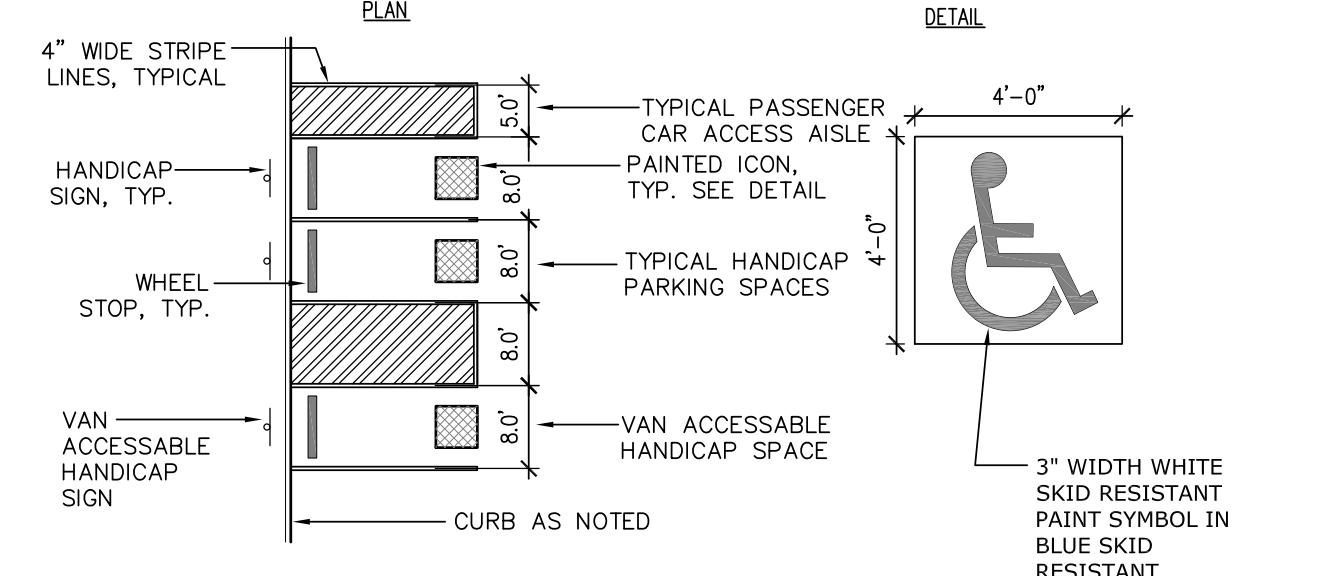
HANDICAP CURB CUT TYPE 'B'



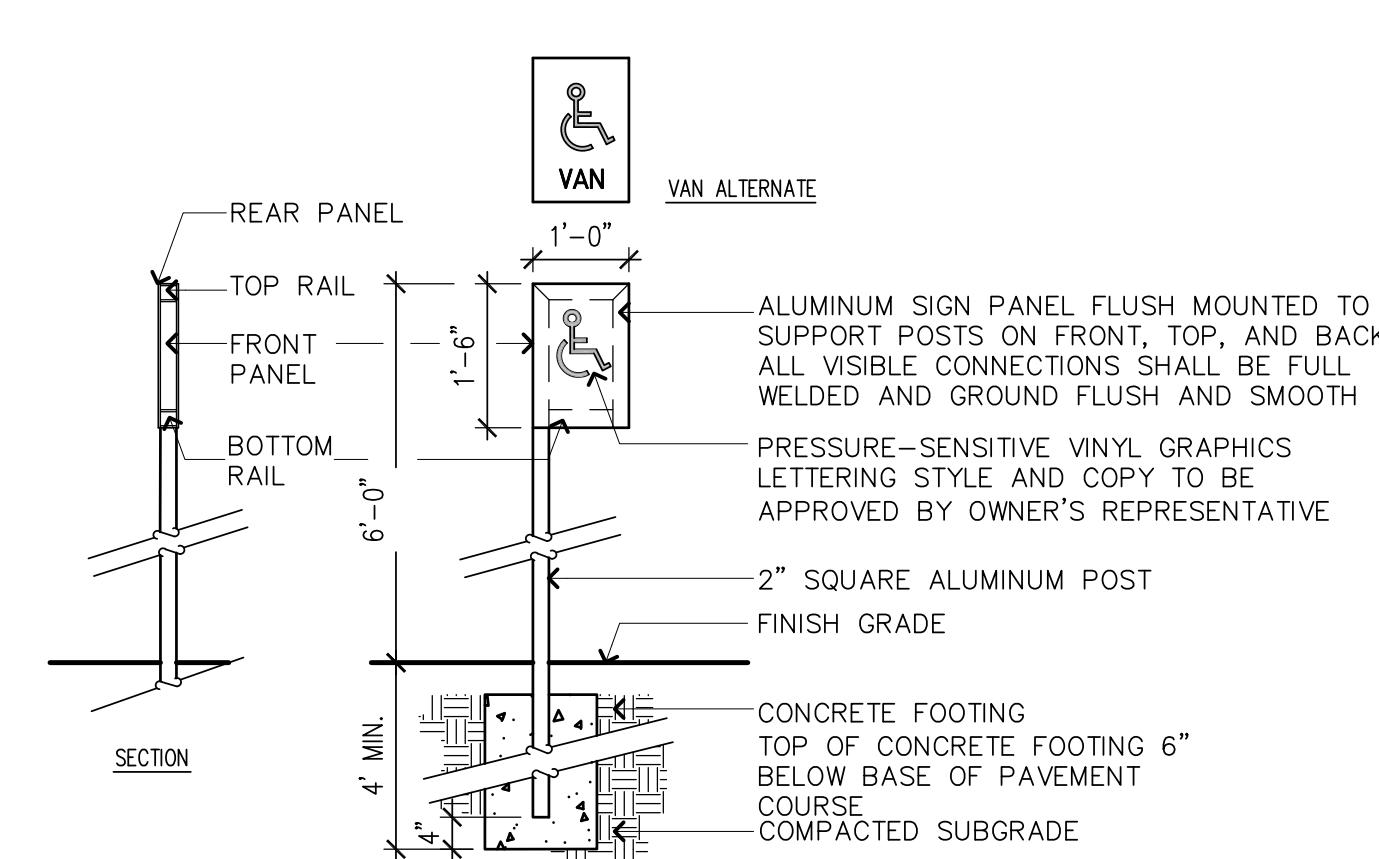
CAPE COD BERM



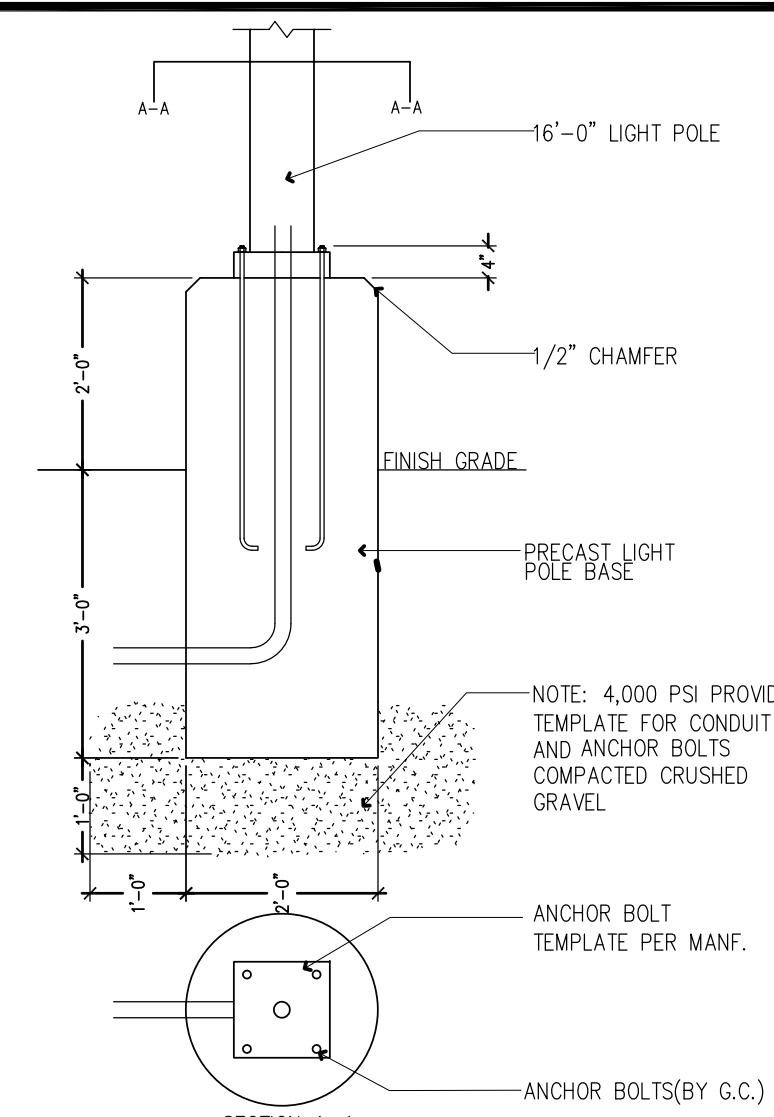
INTREGAL CONCRETE CURB



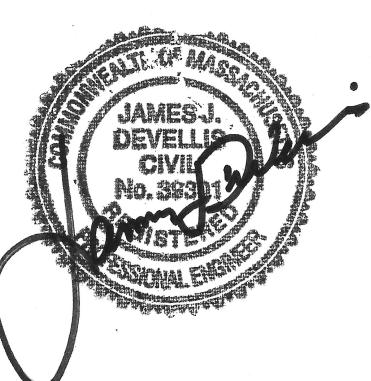
HANDICAP PARKING LAYOUT

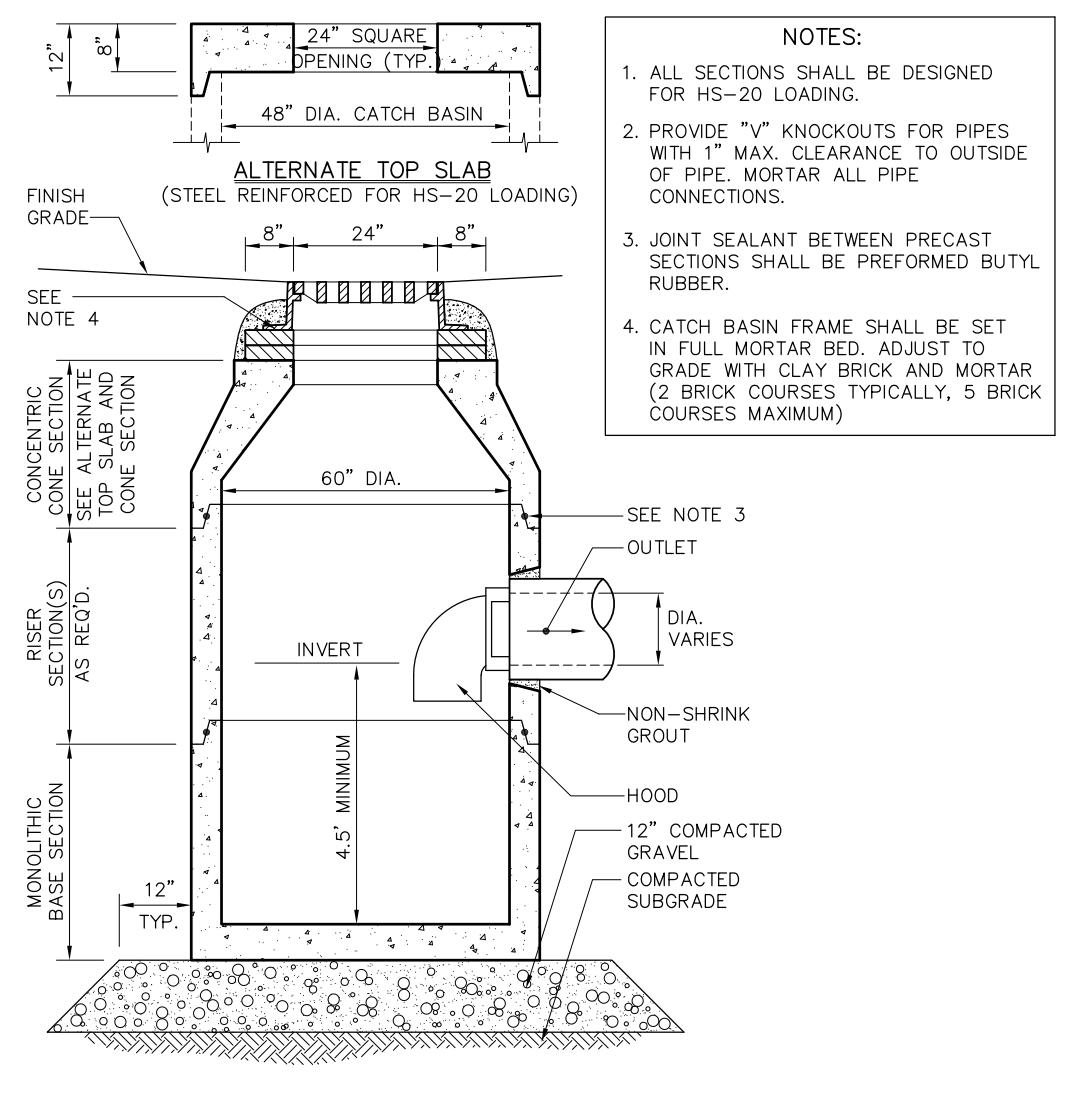


HANDICAP PARKING SIGN



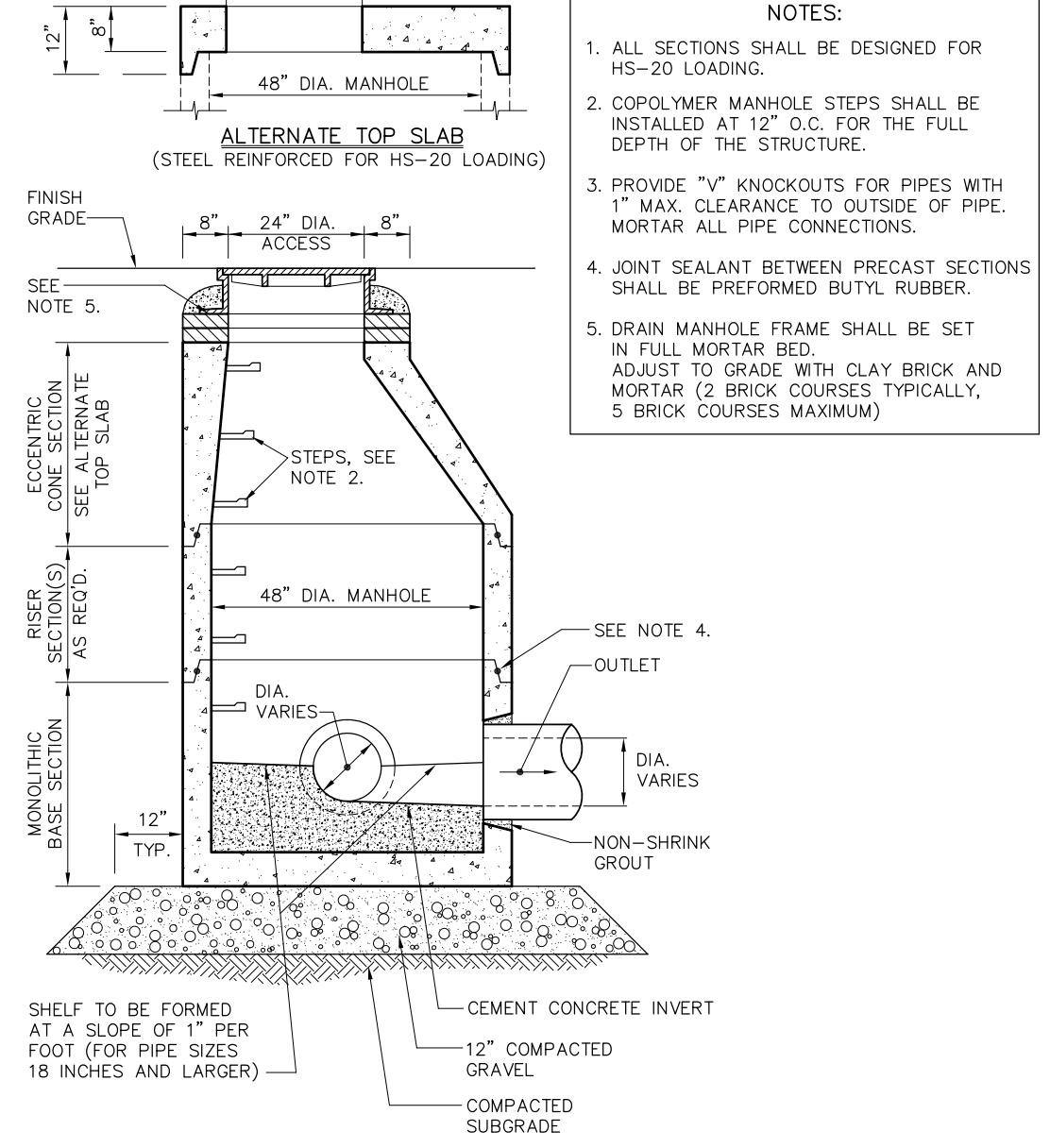
SECTION



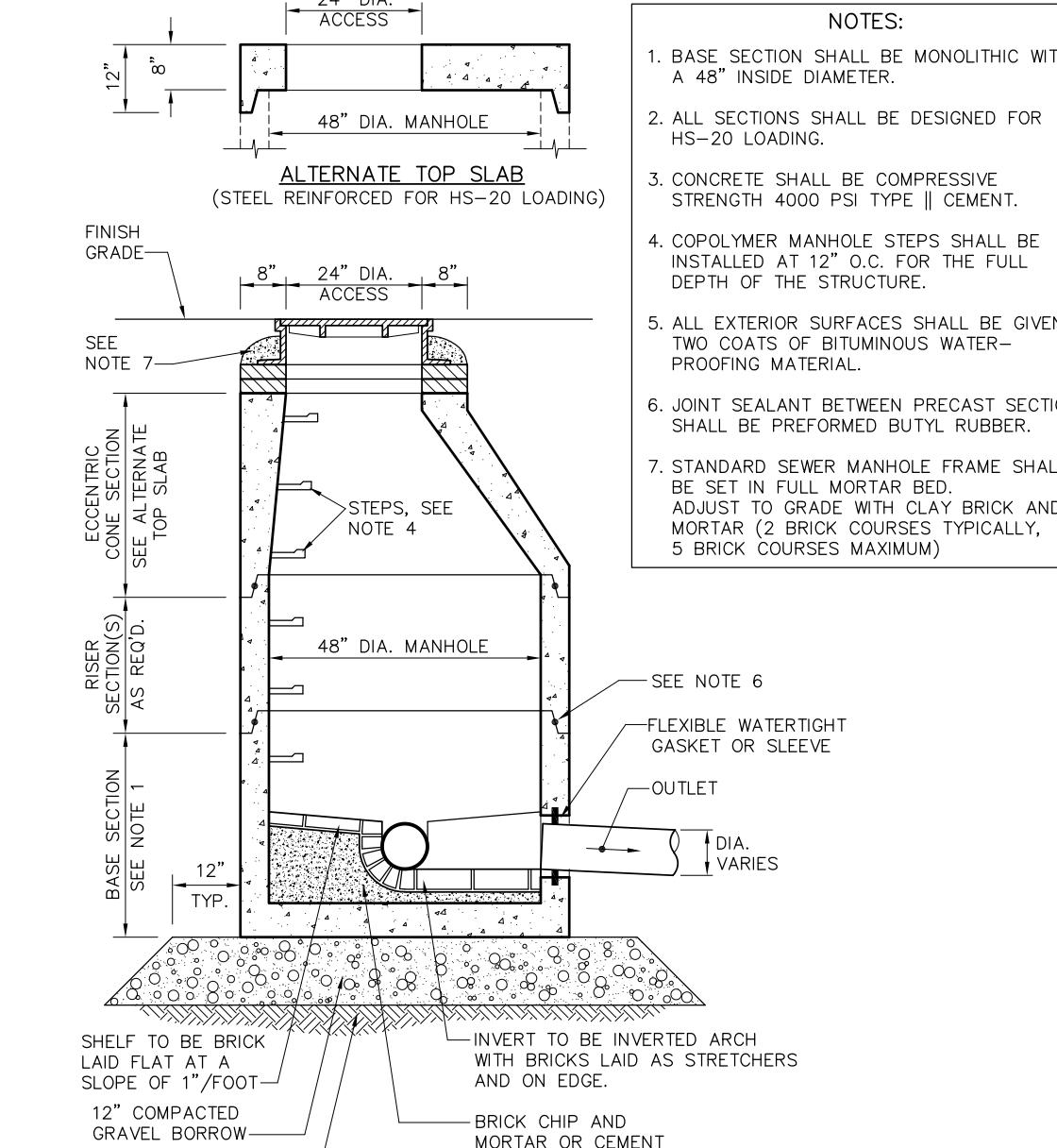


CATCH BASIN (CB)

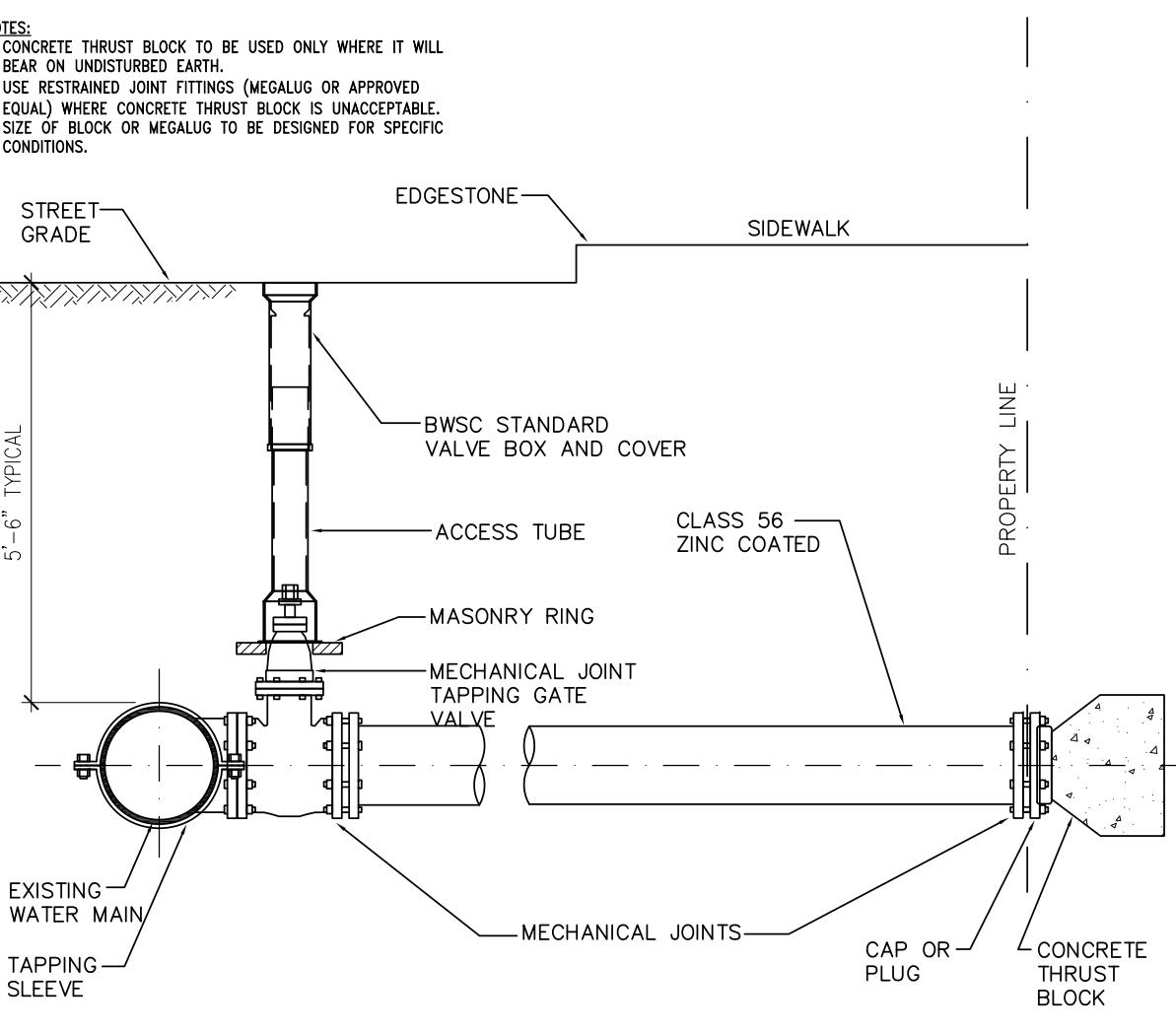
STC 450i Precast Concrete Stormceptor[®]
(450 U.S. Gallon Capacity)



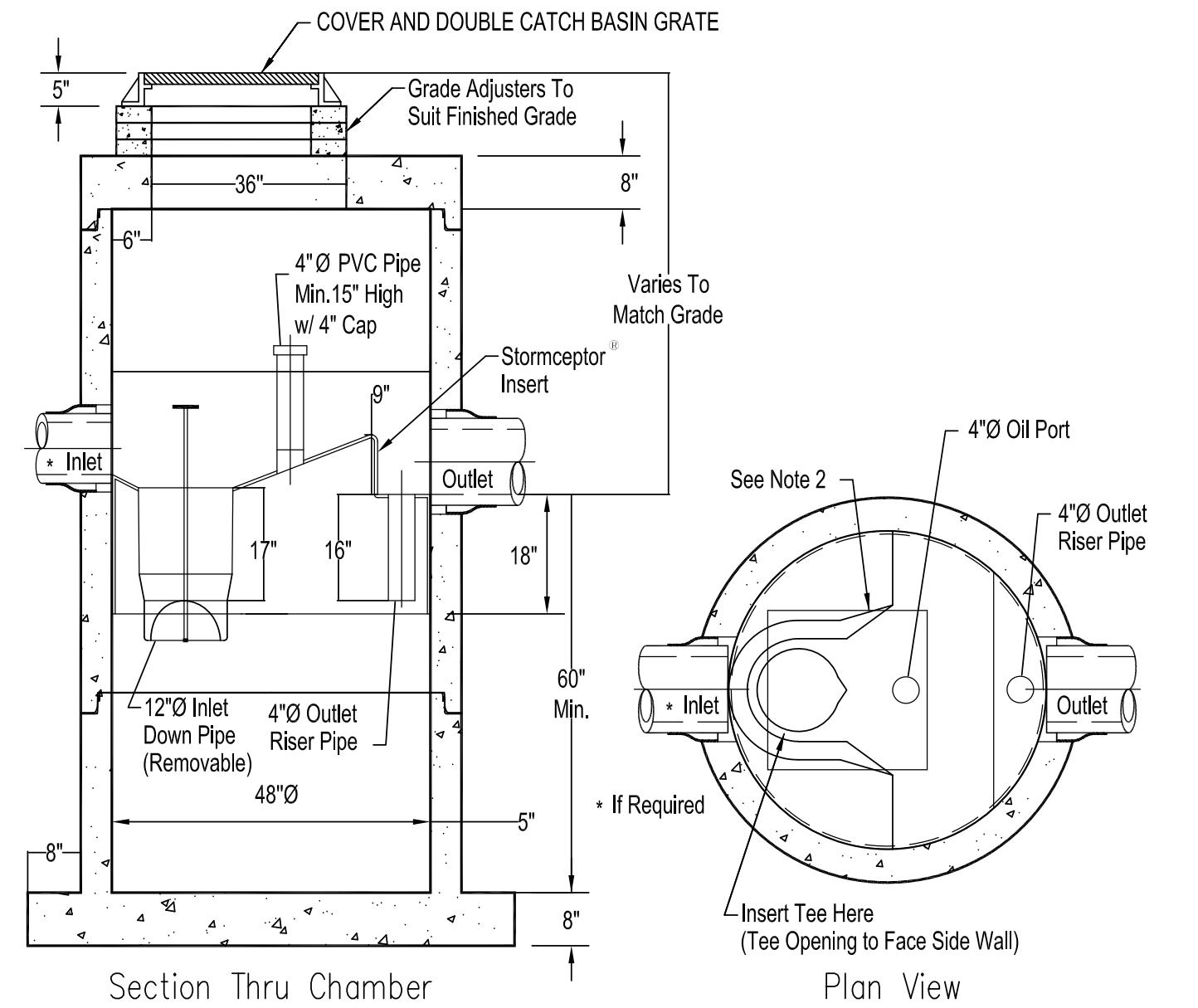
DRAIN MANHOLE (DMH)



SEWER MANHOLE (SMH)

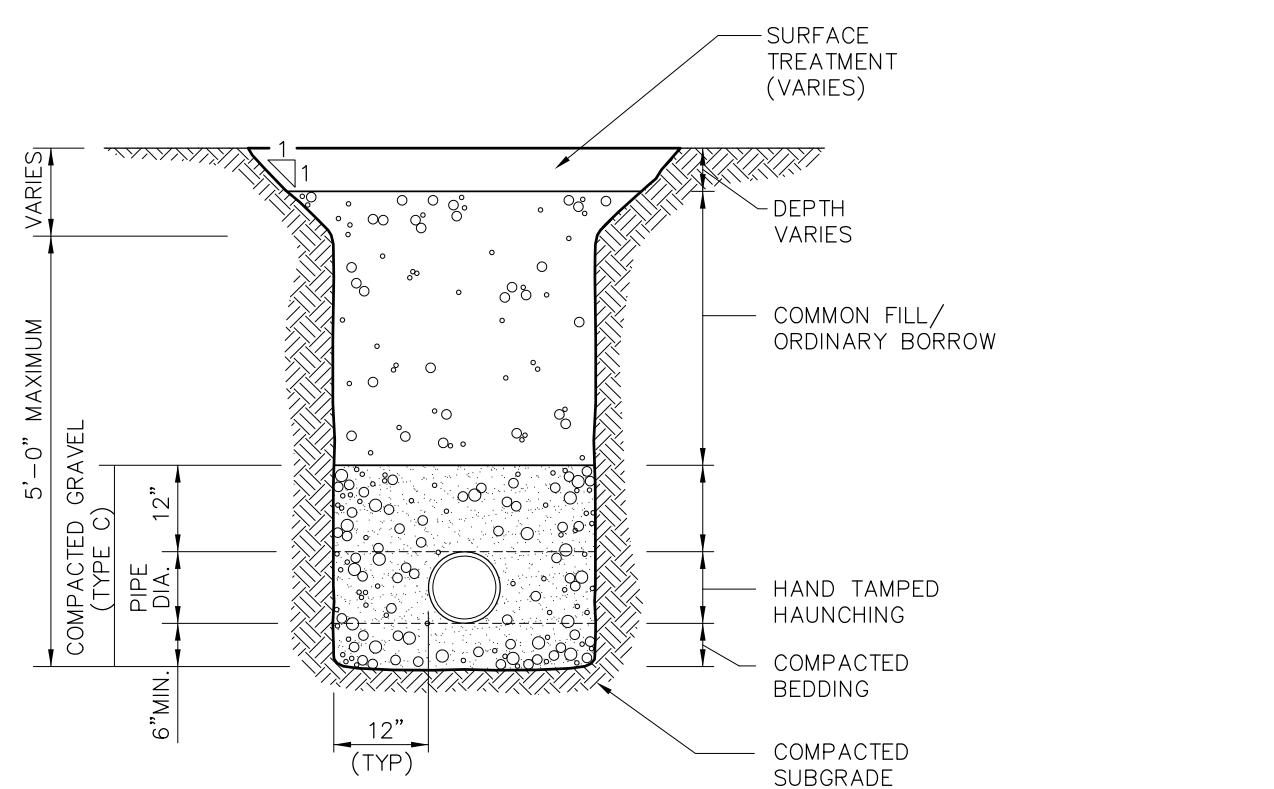


TAPPING SLEEVE AND GATE

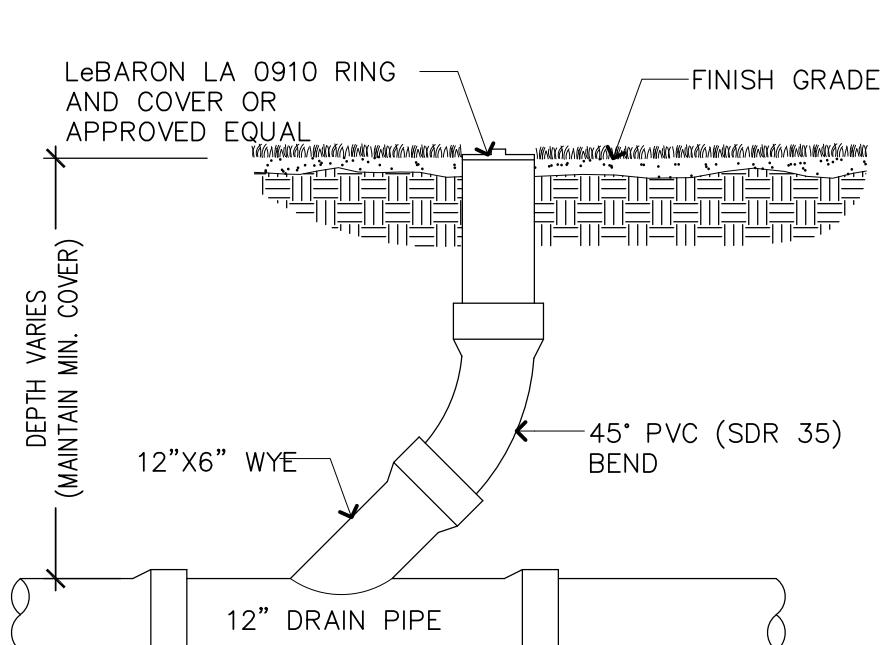


Notes:
1. The Use of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985145
#5498331, #5725760, #5753115, #5849181, #6068765, #6371690.

STORMCEPTOR 450i



UTILITY TRENCH

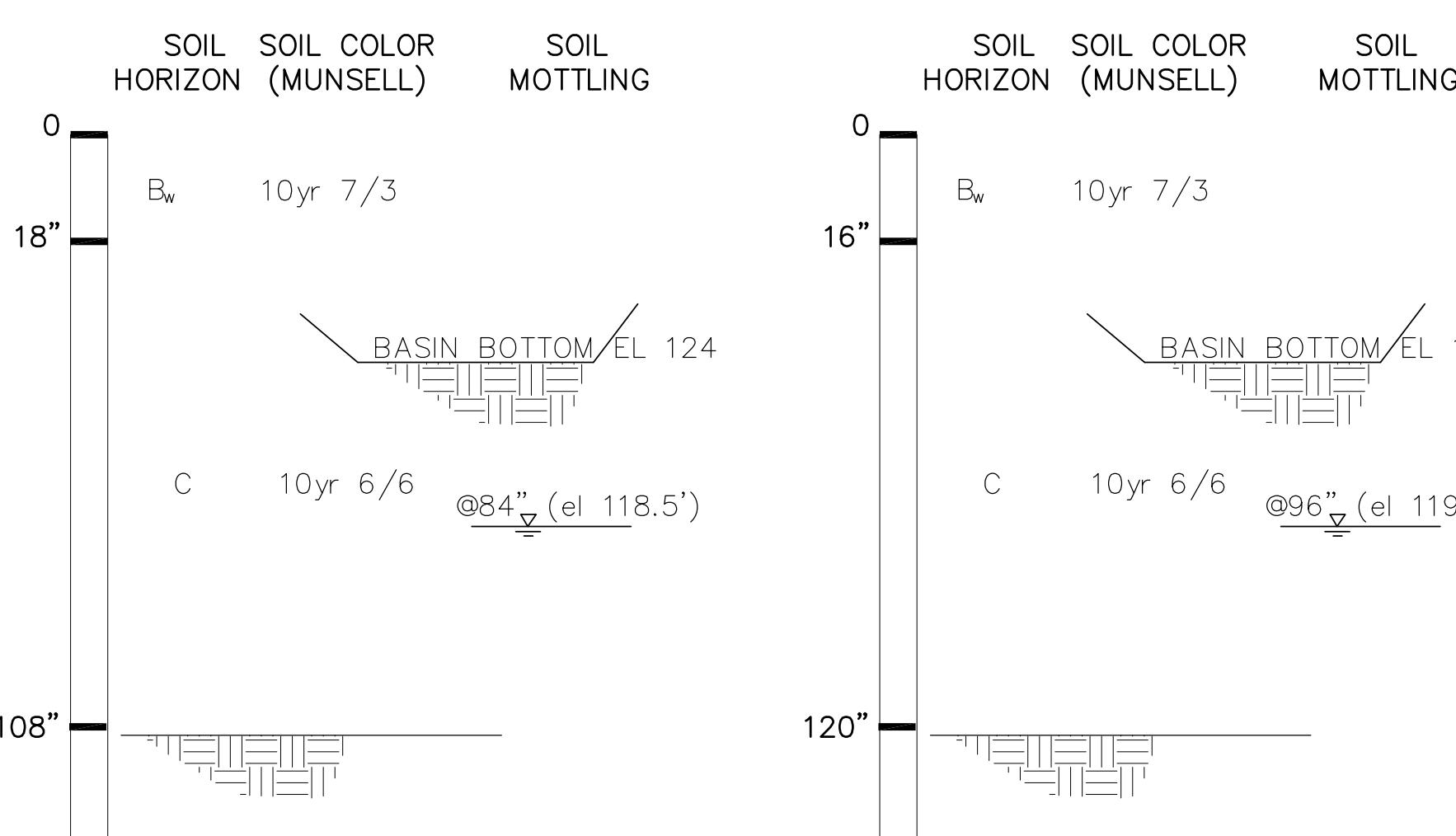


CLEAN OUT

HYDRANT

OUTLET CONTROL STRUCTURE

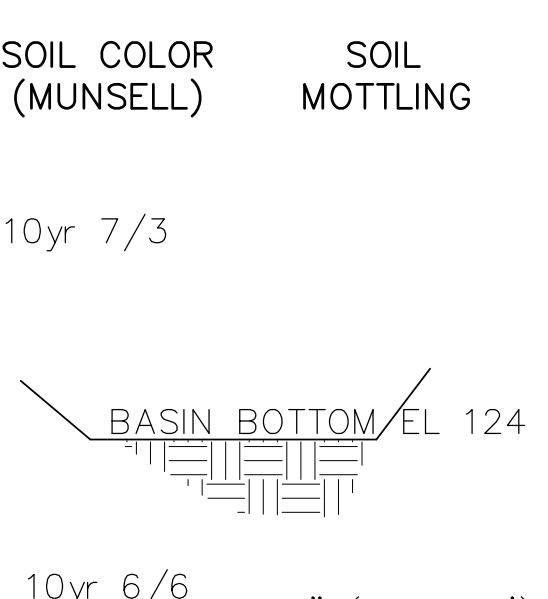
TEST PIT (TP1)
ELEV. = 125.5' ±



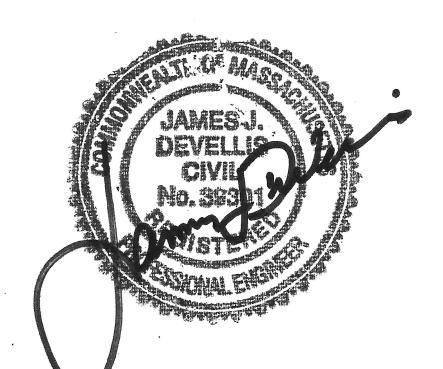
NOTE: TEST PIT WAS PERFORMED ON AUGUST 4, 2022.
THE TESTING WAS PERFORMED BY SOIL EVALUATOR/PE
JAMES J DEVELLIS,PE OF DEVELLIS ZREIN INC.

TEST PIT LOGS

TEST PIT (TP2)
ELEV. = 127.5' ±



NOTE: TEST PIT WAS PERFORMED ON AUGUST 4, 2022.
THE TESTING WAS PERFORMED BY SOIL EVALUATOR/PE
JAMES J DEVELLIS,PE OF DEVELLIS ZREIN INC.



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