

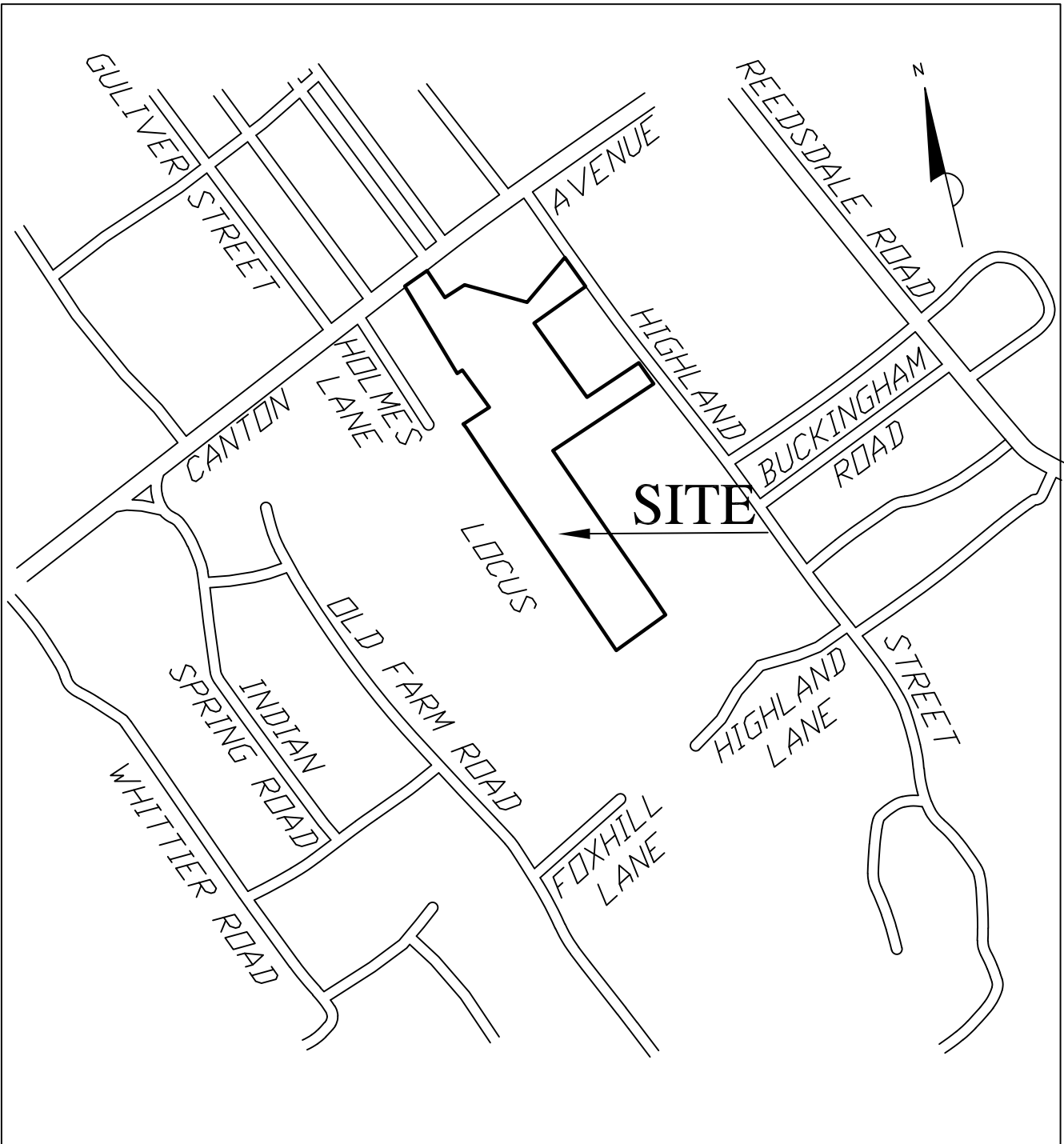
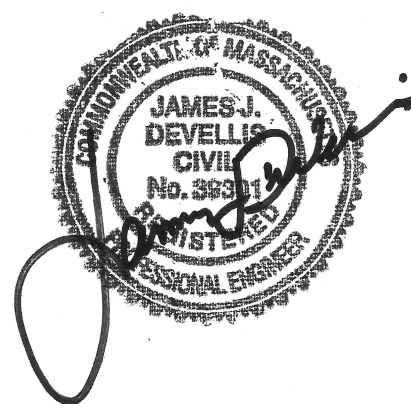
# SITE PLAN APPROVAL & NOTICE OF INTENT WINTER VALLEY RESIDENCES BUILDING 6 AT 600 CANTON AVENUE MILTON, MASSACHUSETTS

November 4, 2022

LIST OF DRAWINGS

	EXISTING CONDITIONS PLAN
SP-1	SITE PREPARATION PLAN
C-1	LAYOUT AND MATERIALS PLAN
C-2	GRADING AND UTILITY PLAN
C-3	PLANTING PLAN
C-4	SITE DETAILS
C-5	SITE DETAILS

ZONING TABLE		
ZONE: RESIDENCE D-1		
USE: SENIOR HOUSING		
	REQUIRED	PROVIDED
MIN. LOT AREA	20 ACRES	24.5+/- ACRES
MIN. LOT FRONTAGE	150 FT	152 +/- FT
MIN. SIDE YARD	40 FT	68 FT & 77 FT
MIN. REAR YARD	30 FT	679 FT
MIN. SETBACK FROM PUBLIC WAY	150 FT	1,479 FT
MAX. NUMBER OF UNITS	196	196 160(EX)+36(PR)=196
PARKING:	1 SPACE/2 UNITS 36 UNITS REQUIRE 18 SPACES	29 TOTAL SPACES [8 REMOVED] [37 ADDED]



LOCUS MAP NTS

CIVIL ENGINEER/ LANDSCAPE ARCHITECT  
DeVellis Zrein Inc.  
P.O. Box 307 Foxborough, MA 02035  
508.473.4114 (jim@develliszrein.com)

ARCHITECT  
John V. Downie Architect  
285 Auburndale Avenue, Newton MA 02466

SURVEYOR  
Precision Land Survey Inc.  
32 Turnpike Rd Southborough, MA 01772

WETLAND SCIENTIST  
Beals Associates Inc.  
2 Park Plaza Suite 200 Boston, MA 02116







WINTER VALLEY  
BUILDING 6

600 Canton Avenue  
MILTON, MA

PLAN No. 989 OF 1977 PLAN BOOK 284



LEGEND

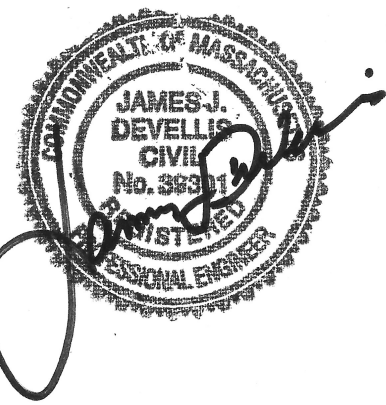
	PROPERTY LINE
	SILT SOCK
	PROPOSED LEGEND
	CATCH BASIN SILT SACK
	PROPERTY LINE CONSTRUCTION ENTRANCE
	LIMIT OF WORK LINE
	EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION TO BE CLEARED AND GRUBBED
	EXISTING PAVEMENT, CURBING AND SIGNS TO BE REMOVED AND DISPOSED OF
	BIT. CONC. PAVEMENT REMOVAL
	8' CONSTRUCTION FENCE
	CONSTRUCTION ENTRANCE

SITE PREPARATION NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY OF WESTBOROUGH, MA AND IS DATED 26 FEBRUARY 2021.
- WITHIN THE LIMIT OF THE WORK LINE AS NOTED ON THE SITE PREPARATION PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
- THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

CONSTRUCTION SEQUENCE

- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTHMOVING.
- ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP-RAP PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR CUT, DEMOLISH, AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
- GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL HARD SURFACE AREAS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES.
- THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF GRADING AS SHOWN ON THE DRAWINGS.
- UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES ON A YEARLY BASIS.



See Planning, Civil Engineering, Landscape Architecture  
P.O. Box 307  
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DeVellis Zrein Inc.

SITE  
PREPARATION  
PLAN

SCALE:	1"=20'
JOB:	2G1S-455
FILE:	
DRAWN:	CRM
CHECKED:	JD
DATE:	11-04-22

SP-1



WINTER VALLEY  
BUILDING 6

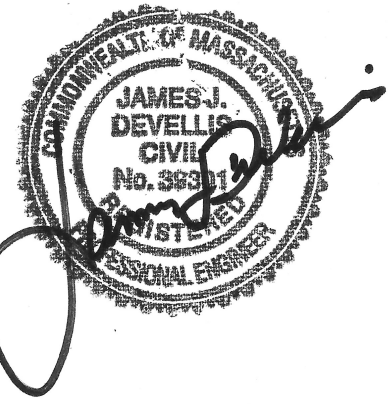
600 Canton Avenue  
MILTON, MA

LAYOUT AND MATERIAL NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY OF WESTBOROUGH, MA AND IS DATED 26 FEBRUARY 2021.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF XXXXX AND THE XXXXX HIGHWAY DEPARTMENT.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:  
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.  
ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.  
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.  
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

LEGEND

	PROPERTY LINE
	SITE LIGHTING
	CEMENT CONCRETE PAVEMENT
	VERTICAL GRANITE CURB
	BITUMINOUS CAPE COD BERM
	INTEGRAL CONCRETE CURB
	FLUSH CURB
	SILT SOXX

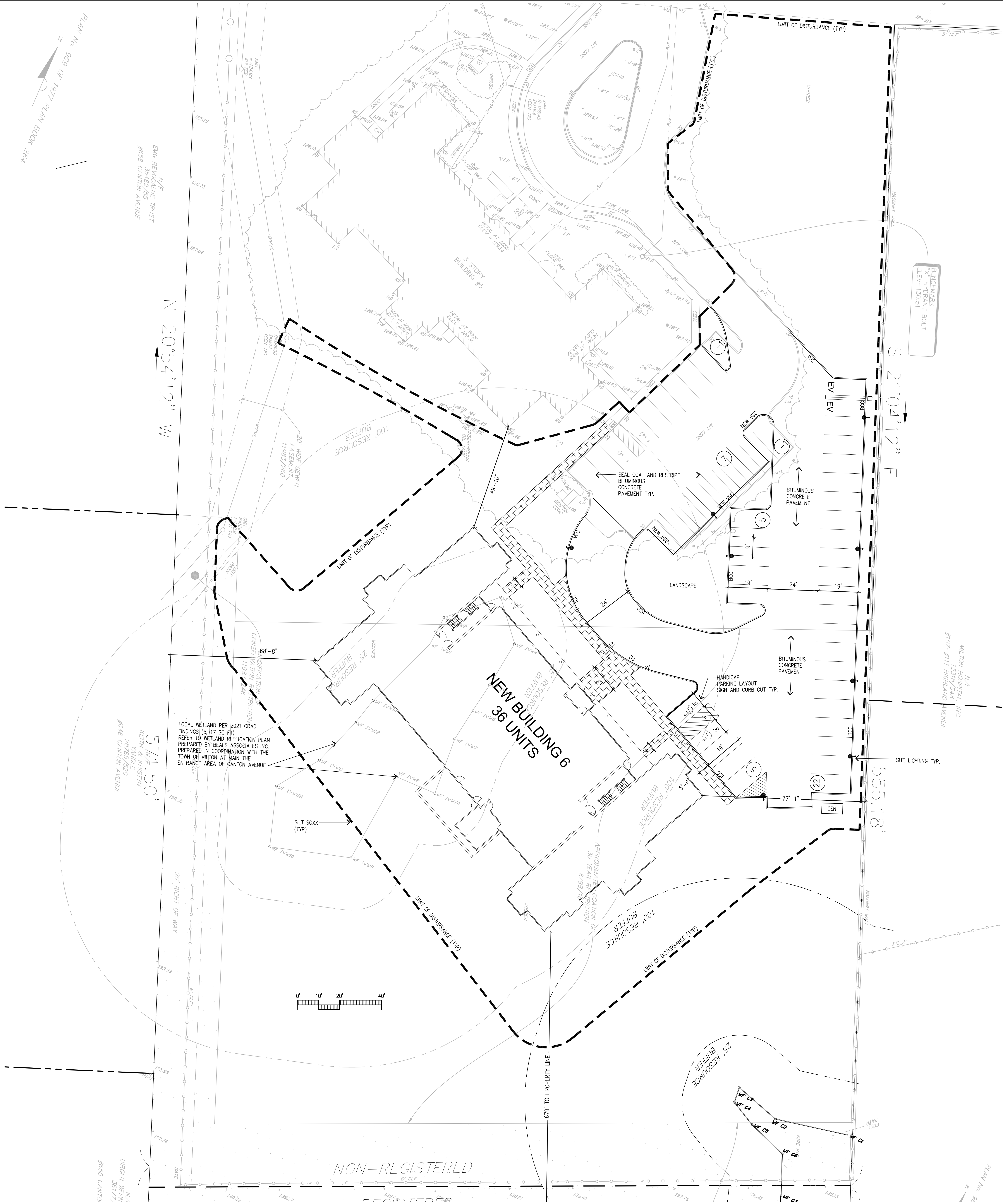


Site Planning, Civil Engineering, Landscape Architecture  
DeVellis Zrein Inc.

LAYOUT AND  
MATERIALS  
PLAN

SCALE: 1"=20'  
JOB: 2G15-455  
FILE:  
DRAWN: CRM  
CHECKED: JJD  
DATE: 11-04-22

C-1





WINTER VALLEY  
BUILDING 6

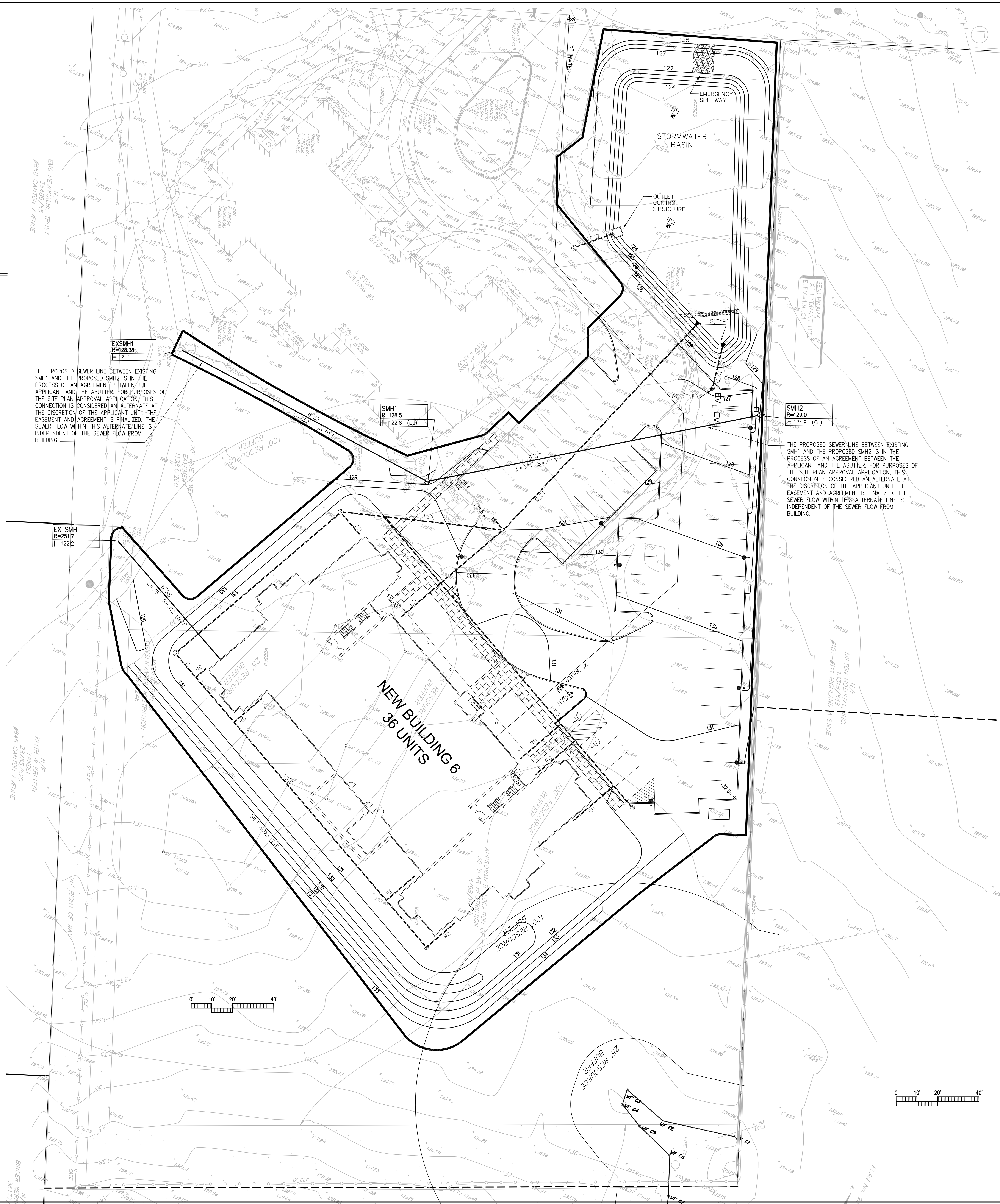
600 Canton Avenue  
MILTON, MA

LEGEND

- PROPERTY LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- SPOTGRADE
- WATER QUALITY UNIT
- DRAIN MANHOLE
- CLEANOUT
- WATER GATE
- ROOF DRAIN

GRADING AND UTILITY NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY OF WESTBOROUGH, MA AND IS DATED 26 FEBRUARY 2021.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSAFE AND BE PROVIDED WITH A DISSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER UTILITIES HAVE BEEN LOCATED AND MARKED.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH TOWN OF MILTON DEPARTMENT OF PUBLIC WORKS STANDARDS.  
ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MILTON
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 56,) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
- SITE LIGHTING IS SHOWN ON THIS PLAN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS FOR EXACT TYPE AND LOCATION.
- REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL.) FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.





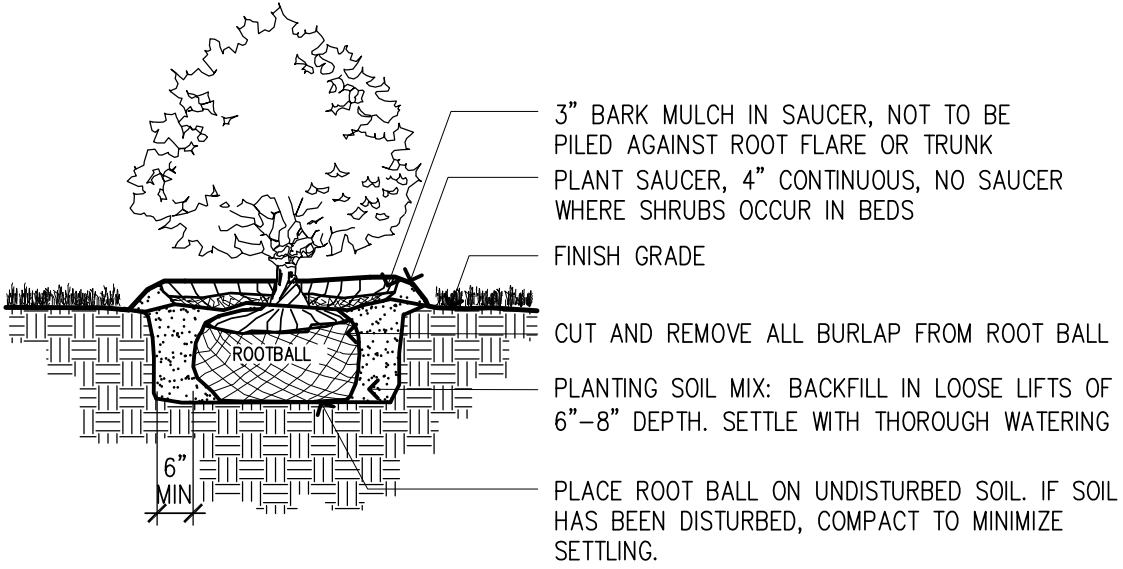
600 Canton Avenue  
MILTON, MA

**600 Canton Avenue  
MILTON, MA**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
GT	GLEDITSIA TRICANTHOS "SHADEMASTER"	SHADE MASTER HONEY LOCUST	7	3-3.5" CAL.	
QP	QUERCUS PALUSTRIS	PIN OAK	7	3-3.5" CAL.	
EVERGREEN TREES					
PN	PINUS NIGRA	AUSTRIAN PINE	20	6-7" HT.	
ORNAMENTAL TREES AND SHRUBS					
AC	AMELANCHIER CANADENSIS	SHAD BLOW	13	6-7" HT.	
HM	HYDRANGEA PANCULATA "BOBO"	BOBO HYDRANGEA	30	24-36" HT.	
IM	ILEX MESERVAE "BLUE PRINCESS"	BLUE PRINCESS HOLLY	42	24-36" HT.	
RC	RHODODENDRON CHINOIDES	WHITE RHODODENDRON	20	24-36" HT.	
VM	VIURNUM OPULIS	GUELDER ROSE	10	24-36" HT.	
PERENNIALS					
PAL	PANICUM VIRGATUM	DWARF SWITCH GRASS	1450	4" POT	
RB	RUBECCKIA GOLSTROM	BLACK EYED SUSAN	250	1 GAL.	

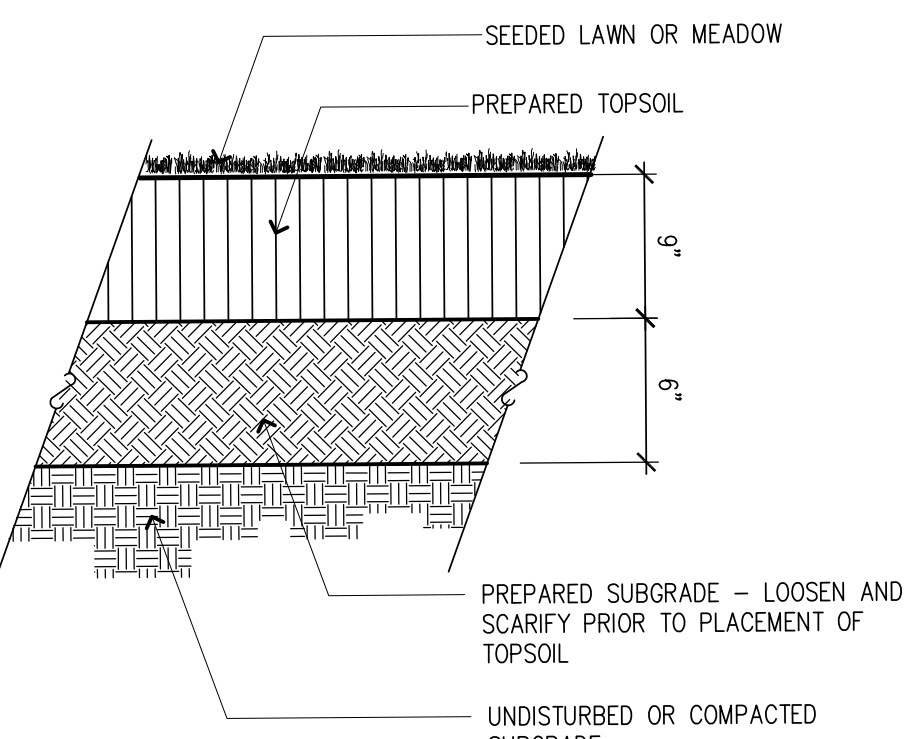
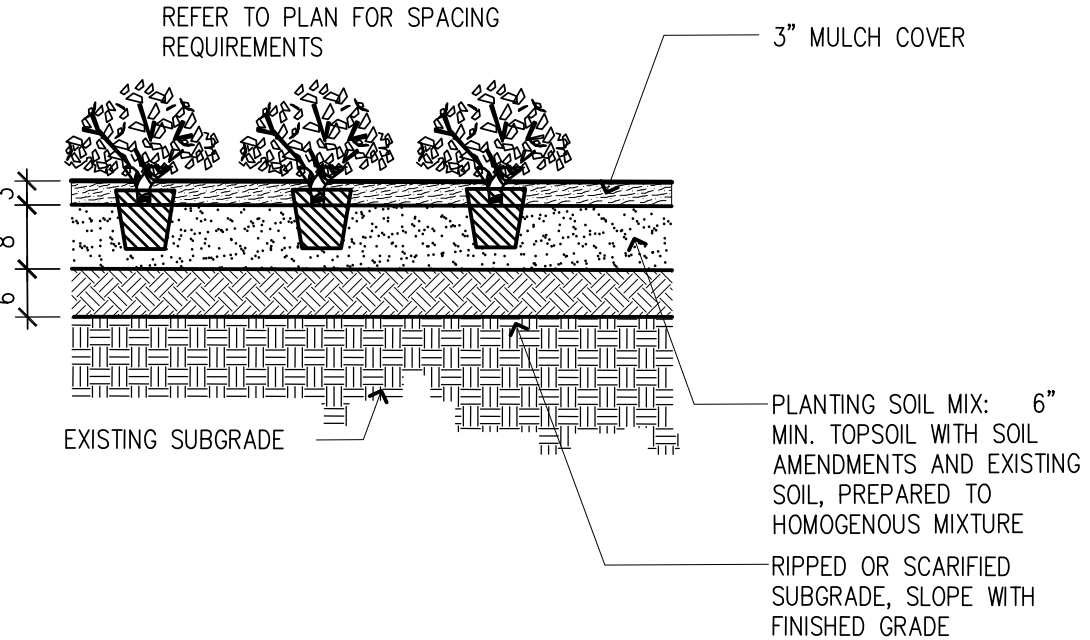
SEED BLEND FOR BASIN  
SUPPLEMENT PLANTINGS IN RAIN GARDEN WITH THE FOLLOWING SEED BLEND:  
NEW ENGLAND WETLAND PLANTS, INC.  
New England Erosion Control/Restoration Mix For Detention Basins and Moist Sites  
LB OF SEED FOR THE ENTIRE RAIN GARDEN/APPLICATION TIME LATE SPRING/SUMMER.

NATIVE SEED BLEND  
30% HARD FESCUE  
25% PER. RYE  
25% LITTLE BLUESTEM  
20% SWITCHGRASS



NOTES:

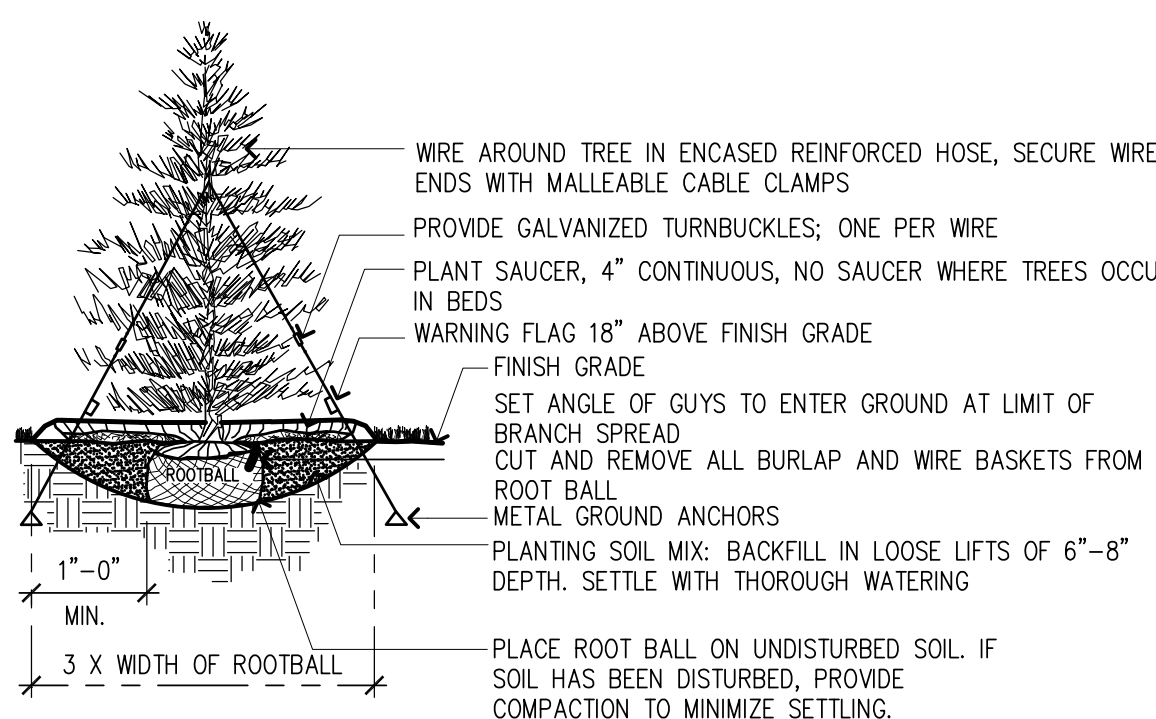
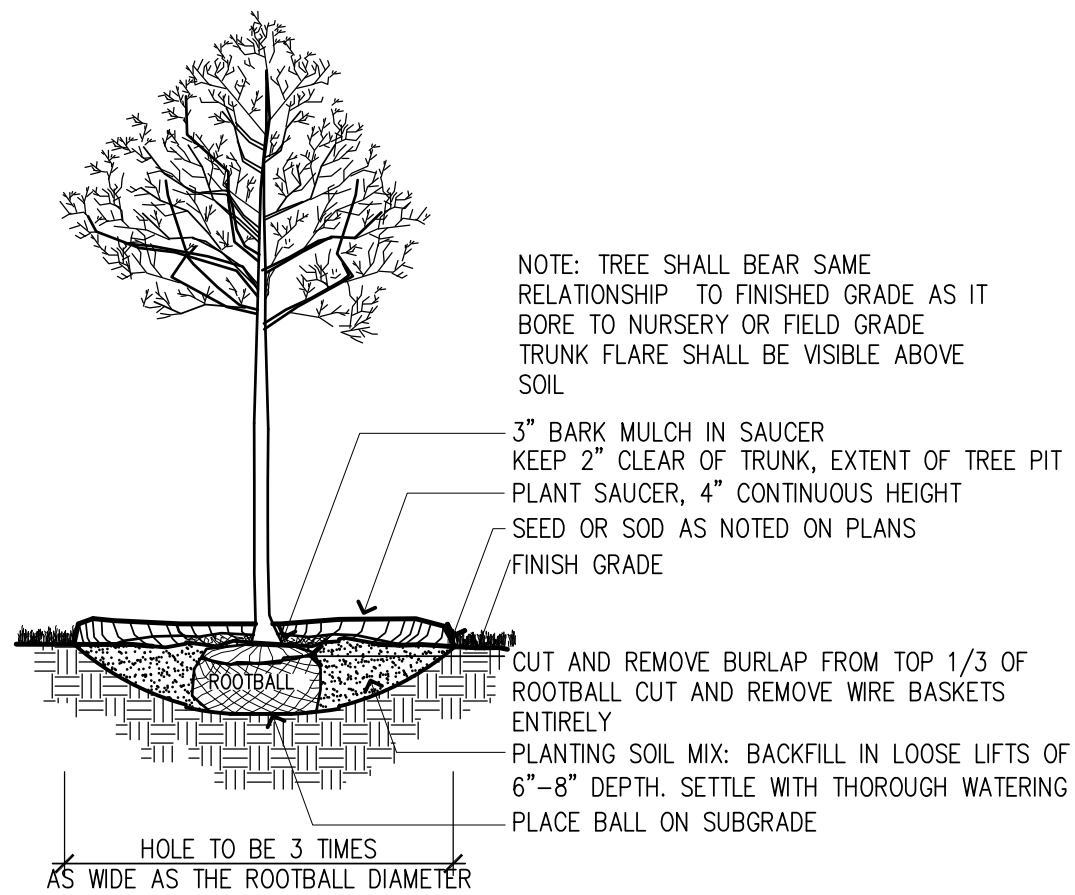
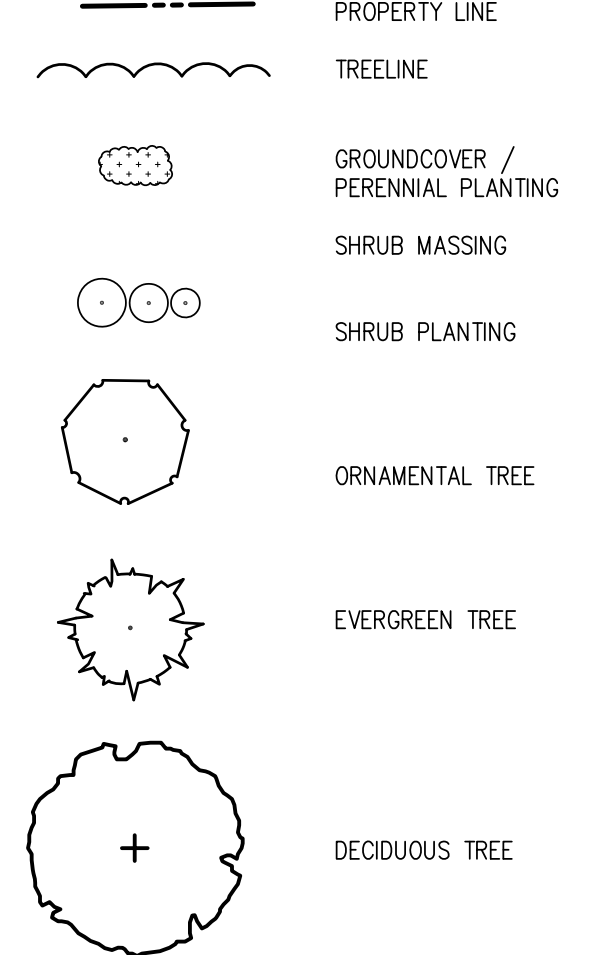
- SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE
- WHERE SHRUBS OCCUR IN GROUPINGS IN PLANT BEDS, PROVIDE 2 - FOOT DEEP CONTINUOUS LOAM BED.



SCALE:	1"=20'
JOB:	2G1S-455
FILE:	2G1S-455
DRAWN:	CRM
CHECKED:	TOG
DATE:	11-04-22

**C-3**

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PLS OF SOUTHBOROUGH MA AND IS DATED FEBRUARY 26, 2021
2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
3. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
4. LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
5. CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
7. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
8. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
9. ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
11. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
12. MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
13. PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
14. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
15. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.

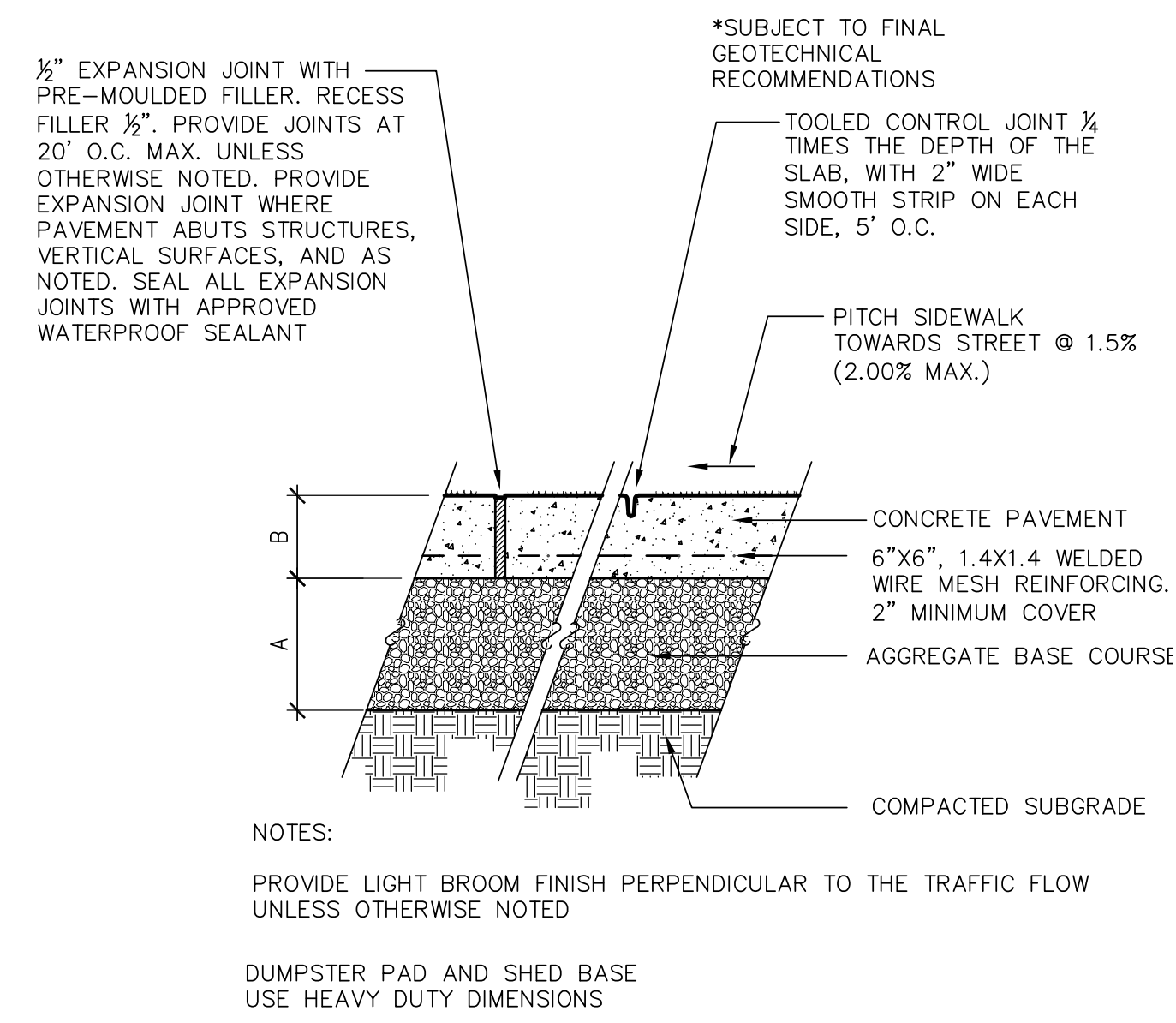


**NOTE:**

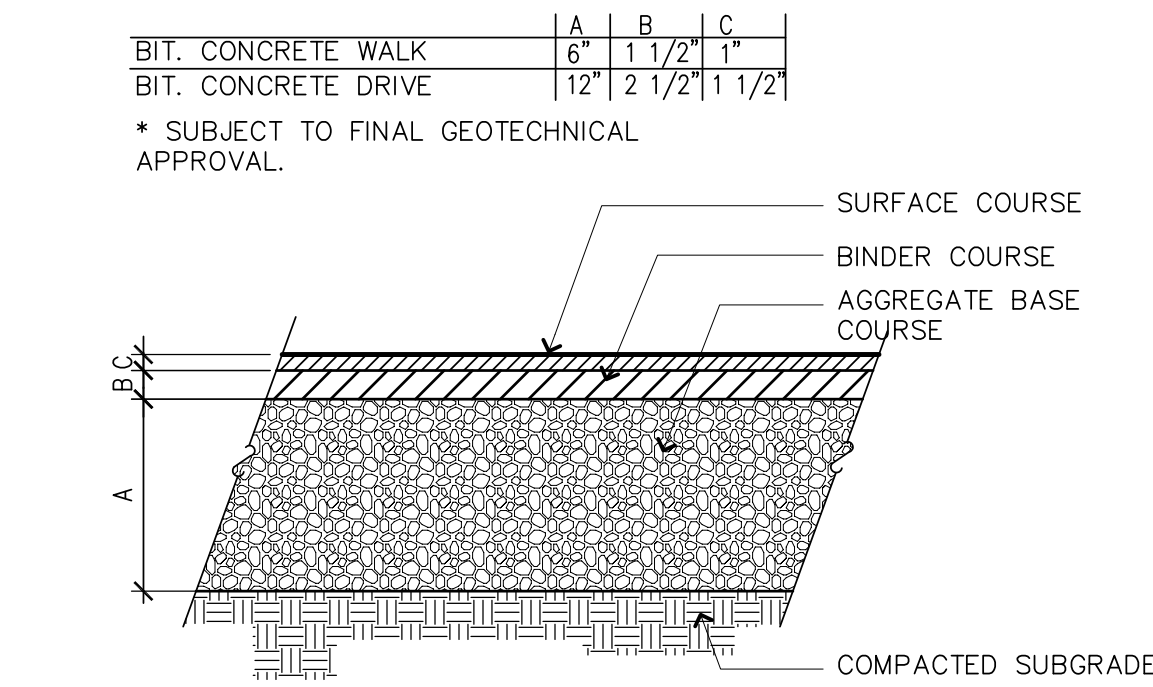
1. TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE
2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL. ATTACH GUYS AT 2/3 HEIGHT OF TREE; USE DOUBLE STRAND GALVANIZED STEEL WIRE

[illegible]

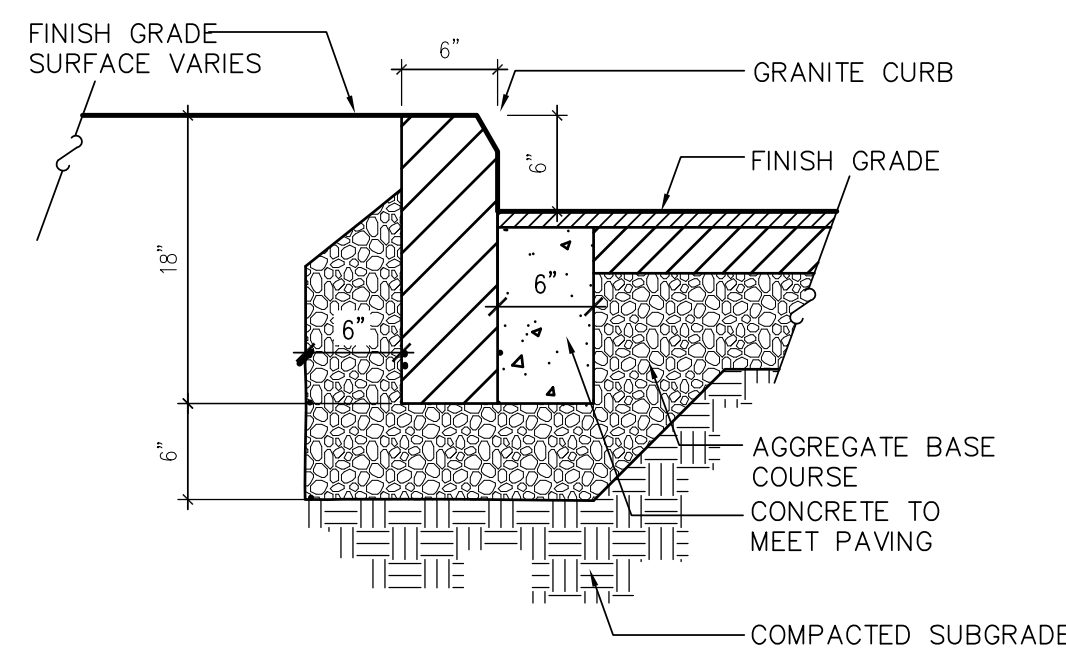




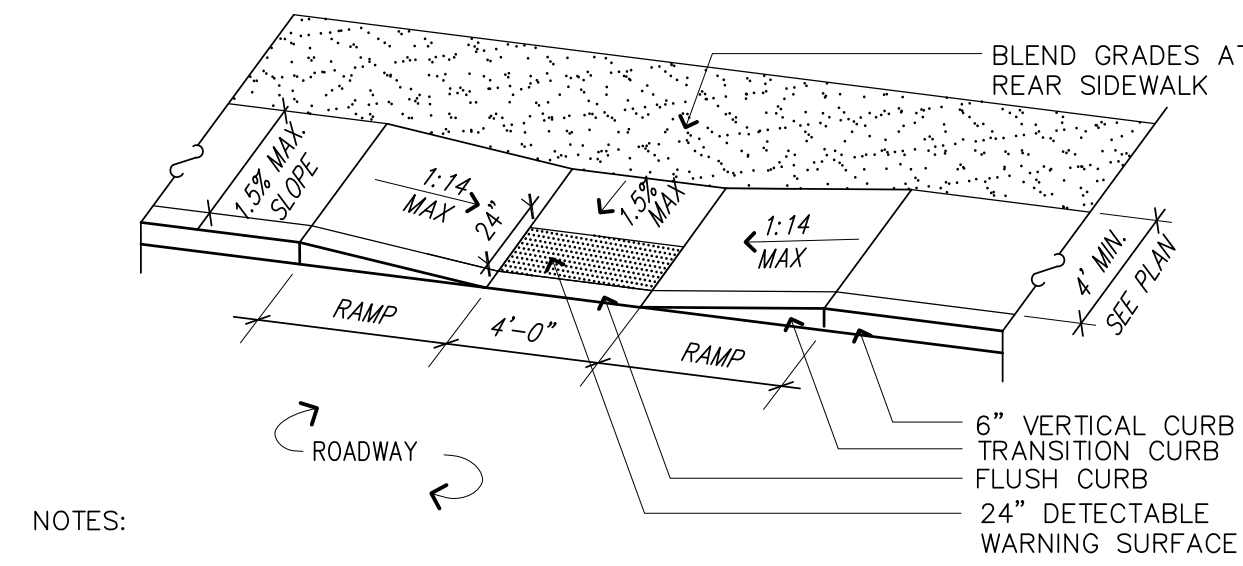
CEMENT CONCRETE SIDEWALK



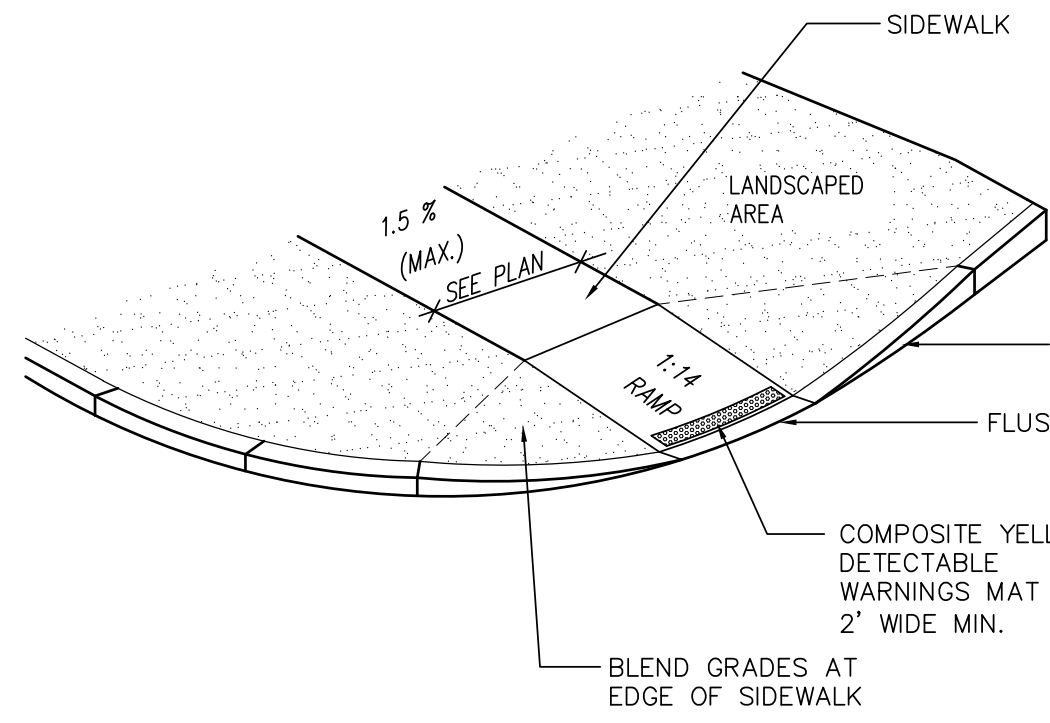
BITUMINUOUS CONCRETE PAVEMENT



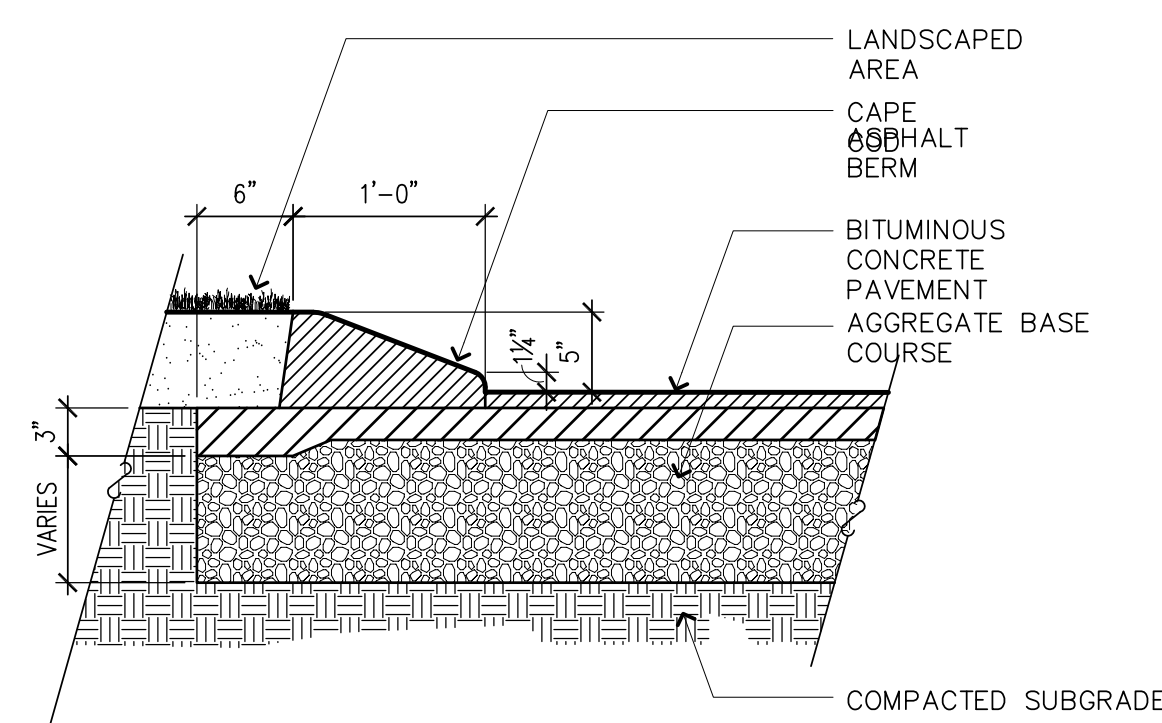
VERTICAL GRANITE CURB



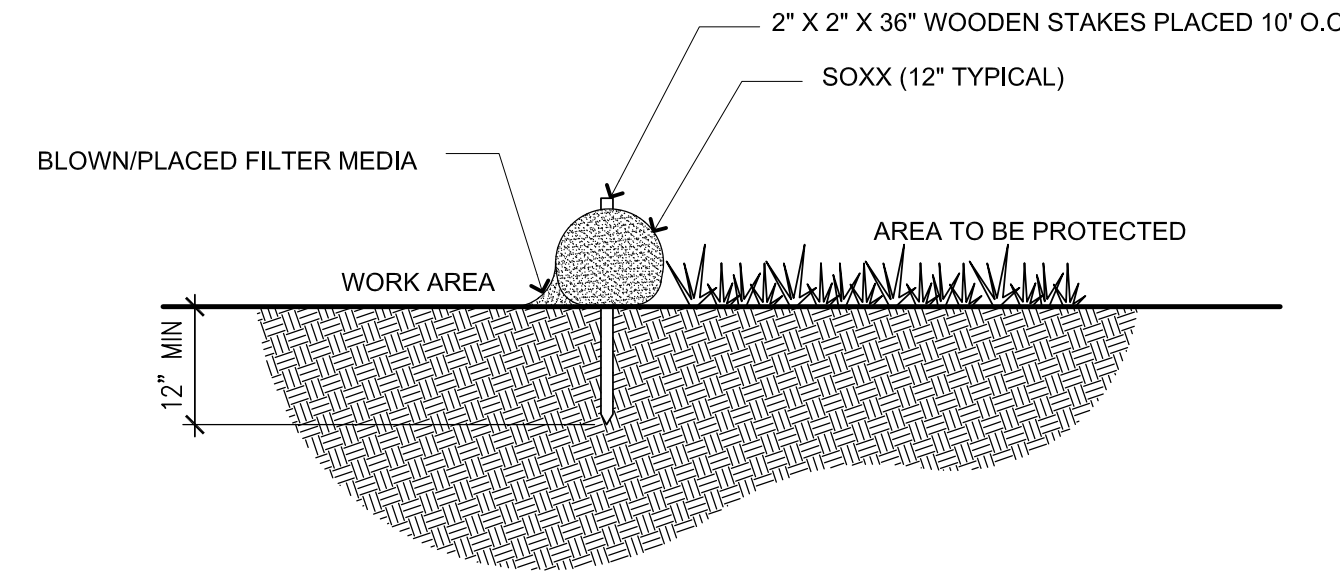
CURB CUT TYPE 'A'



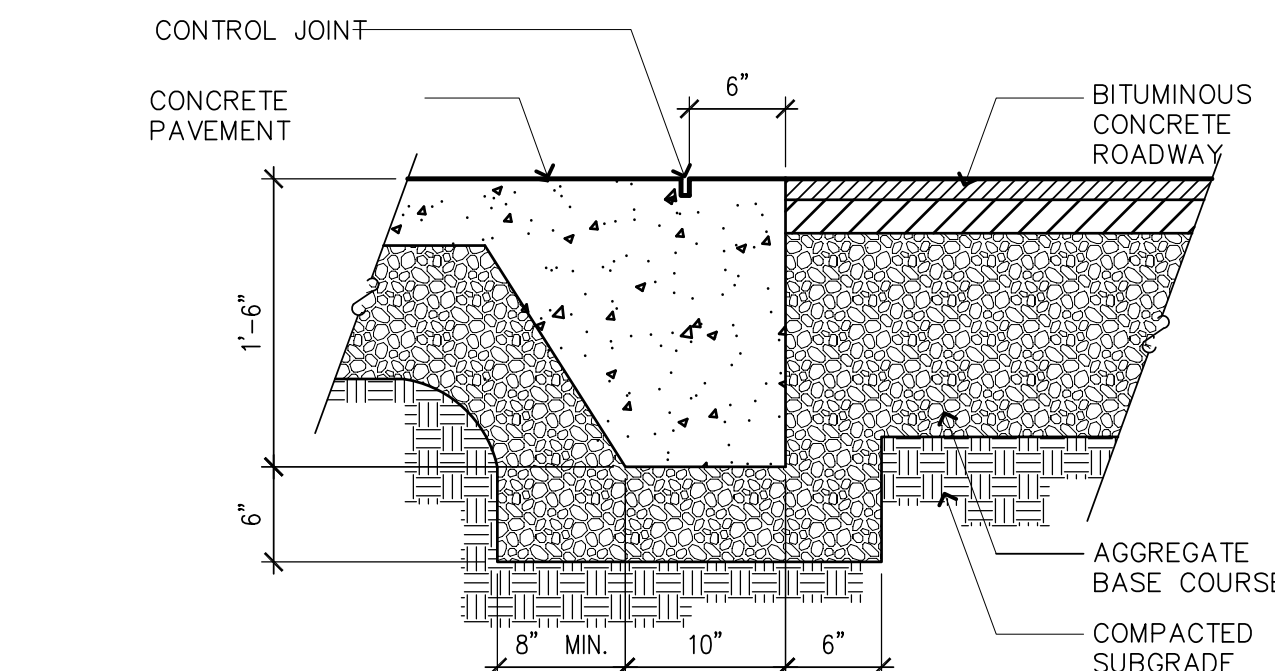
HANDICAP CURB CUT TYPE 'B'



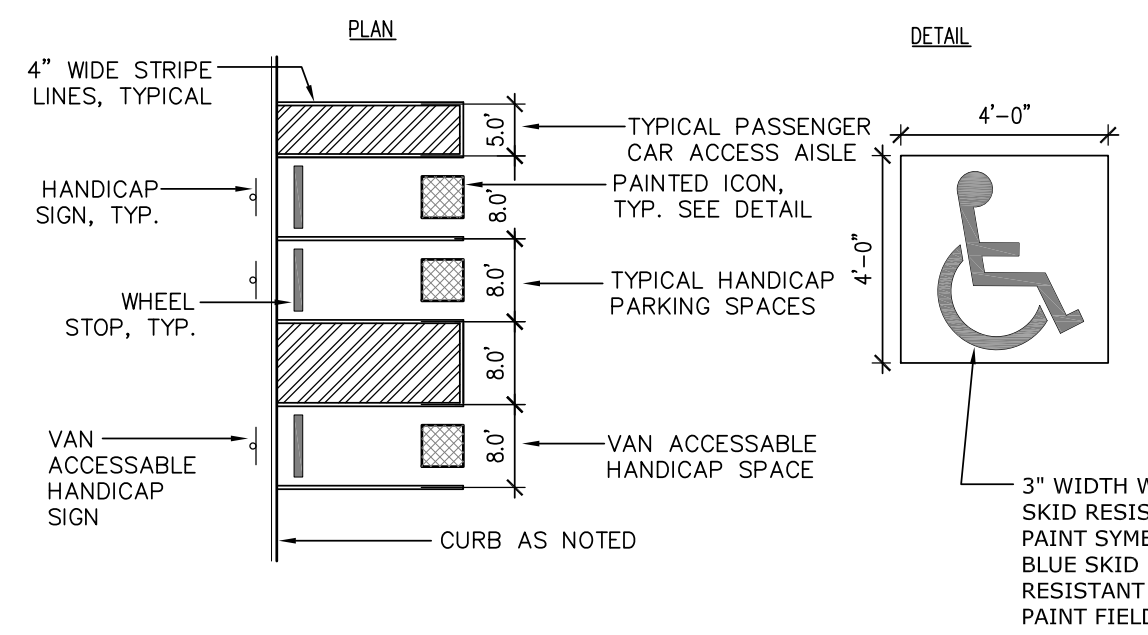
CAPE COD BERM



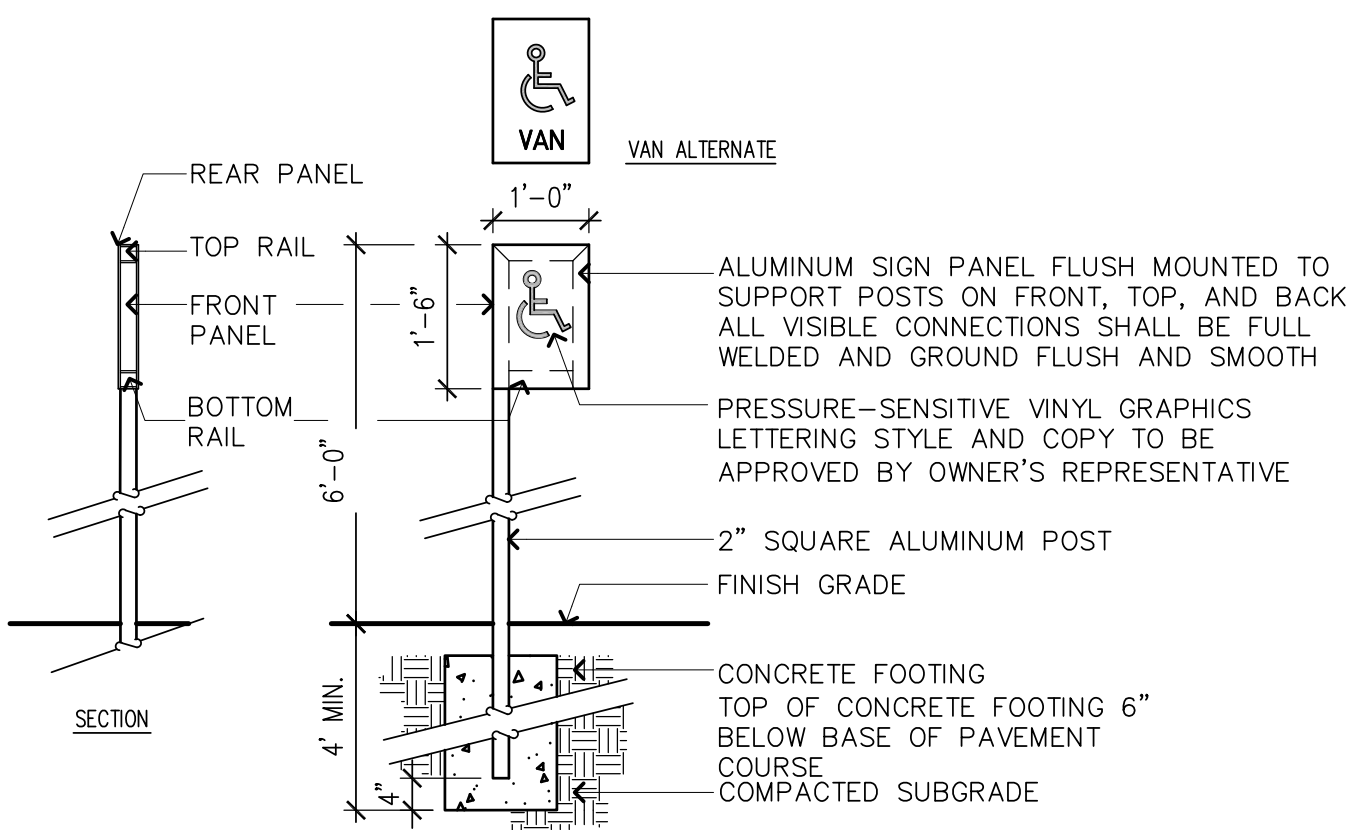
SILT SOXX



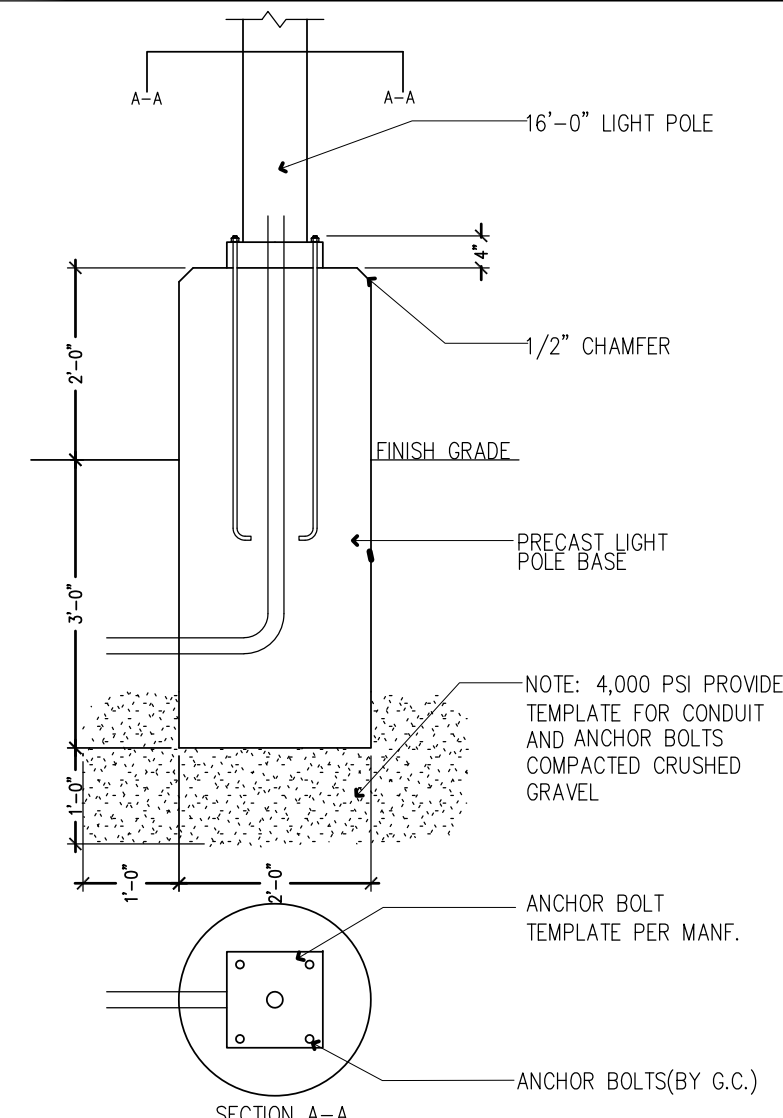
INTREGAL CONCRETE CURB



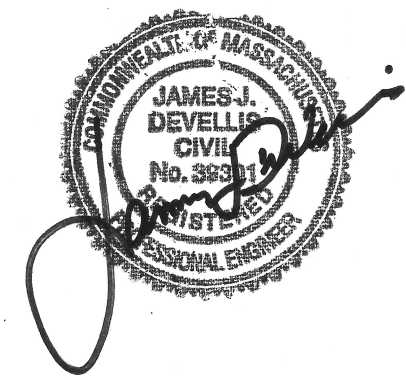
HANDICAP PARKING LAYOUT

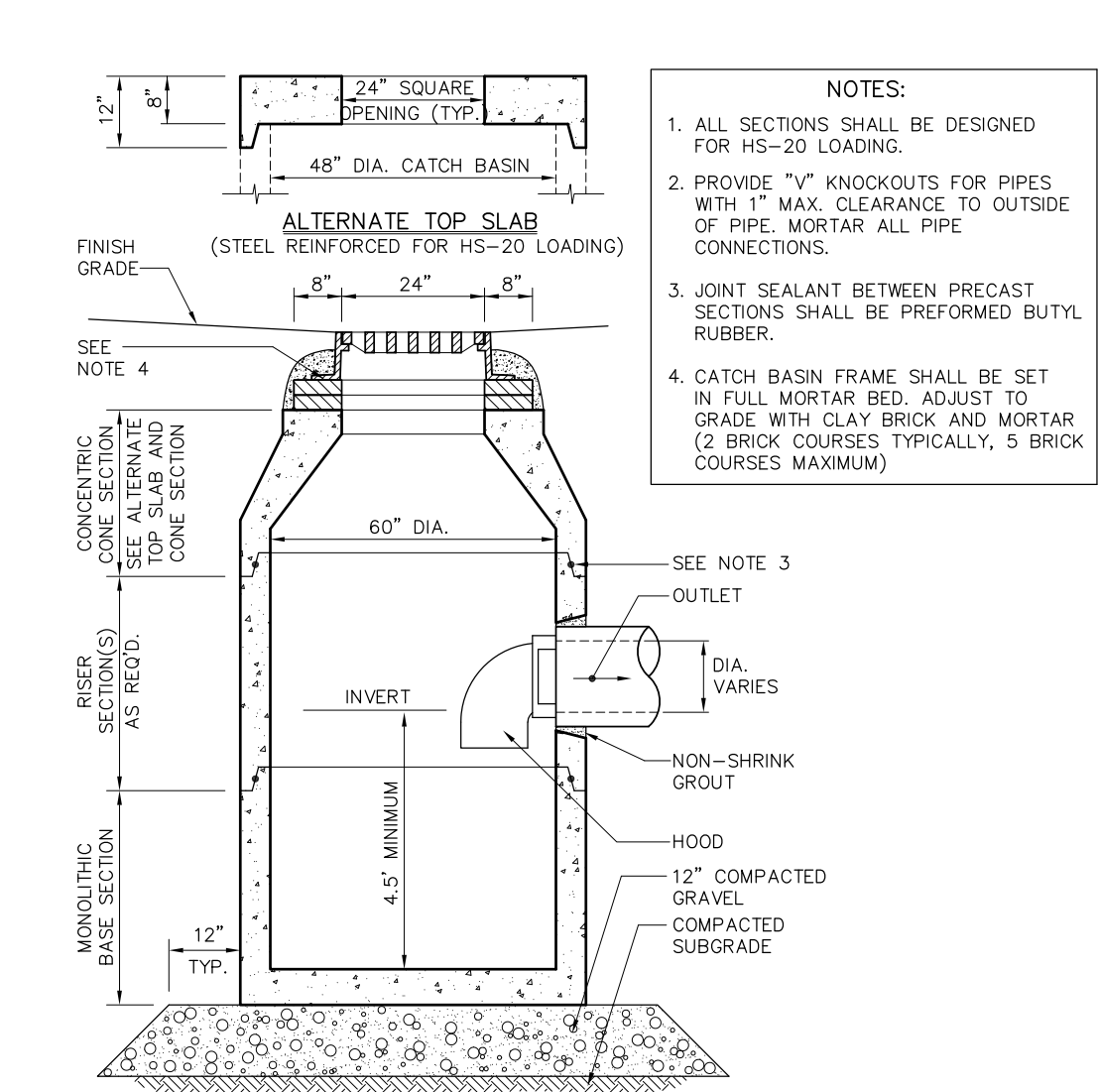


HANDICAP PARKING SIGN



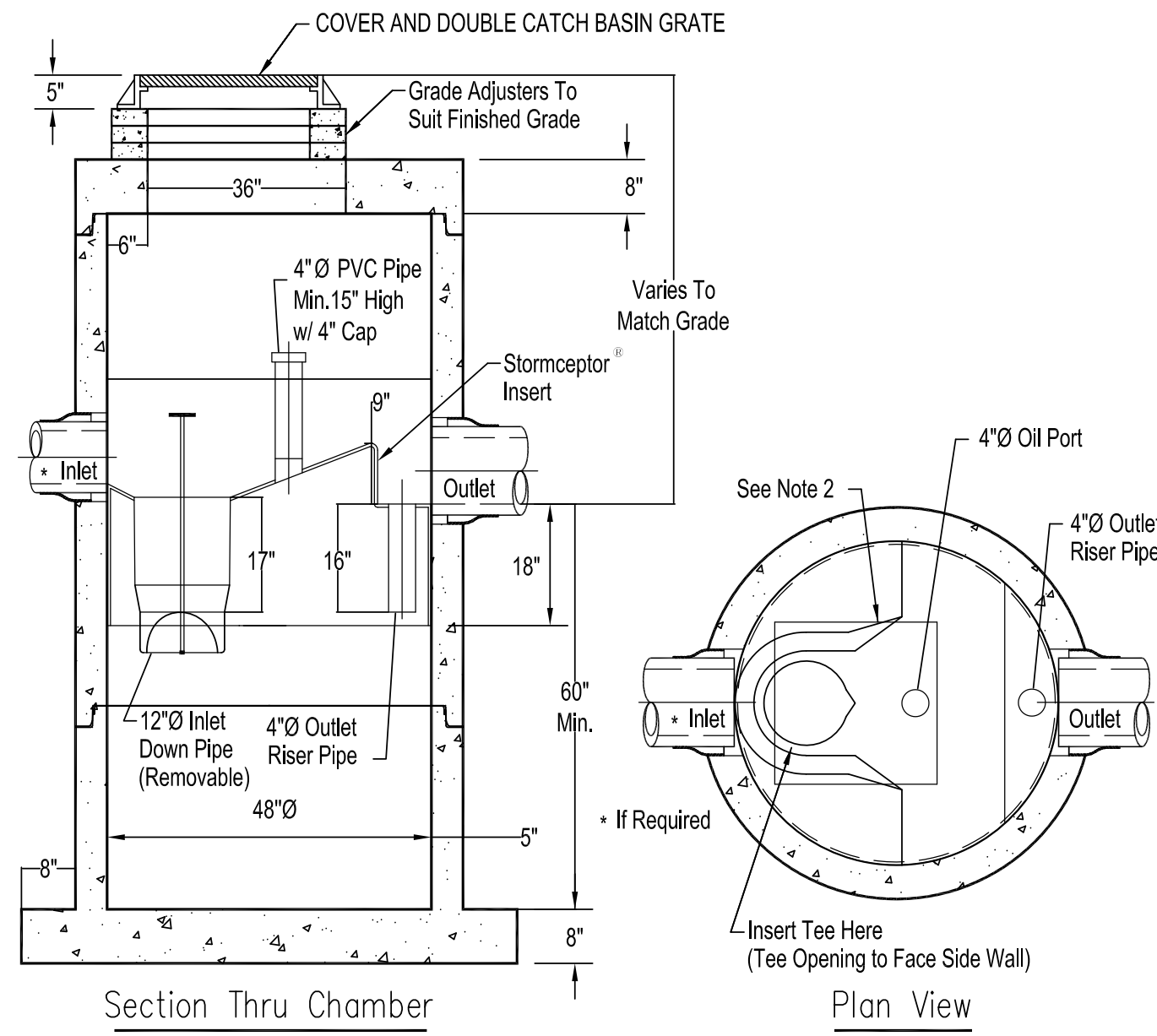
LIGHT POLE BASE





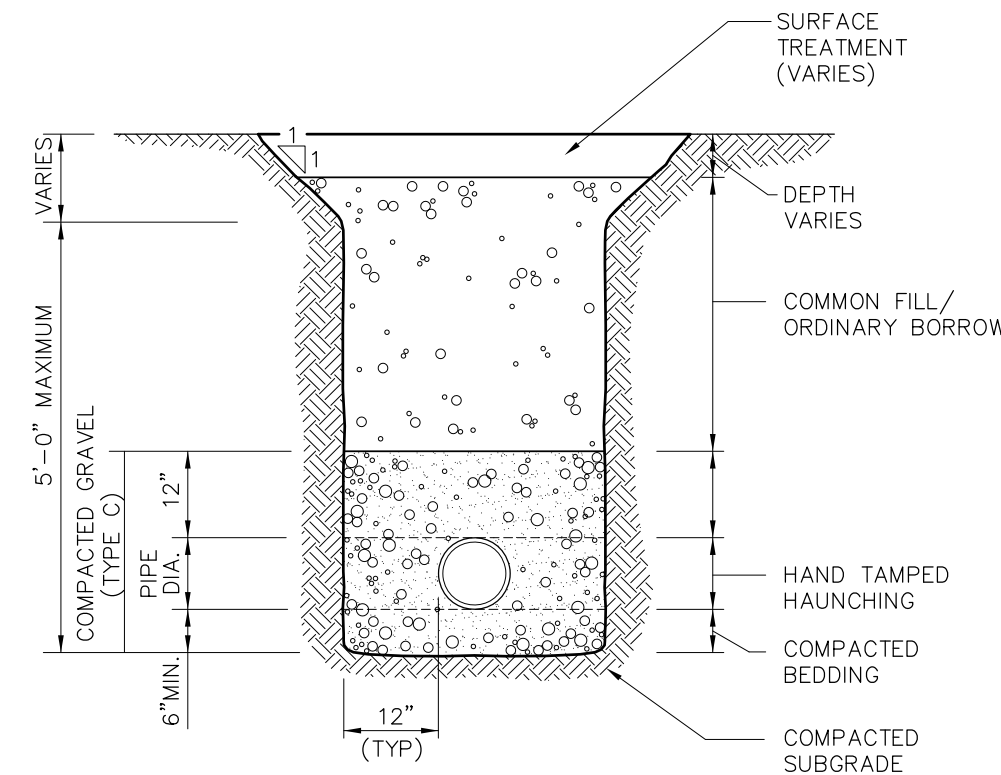
CATCH BASIN (CB)

STC 450i Precast Concrete Stormceptor  
(450 U.S. Gallon Capacity)

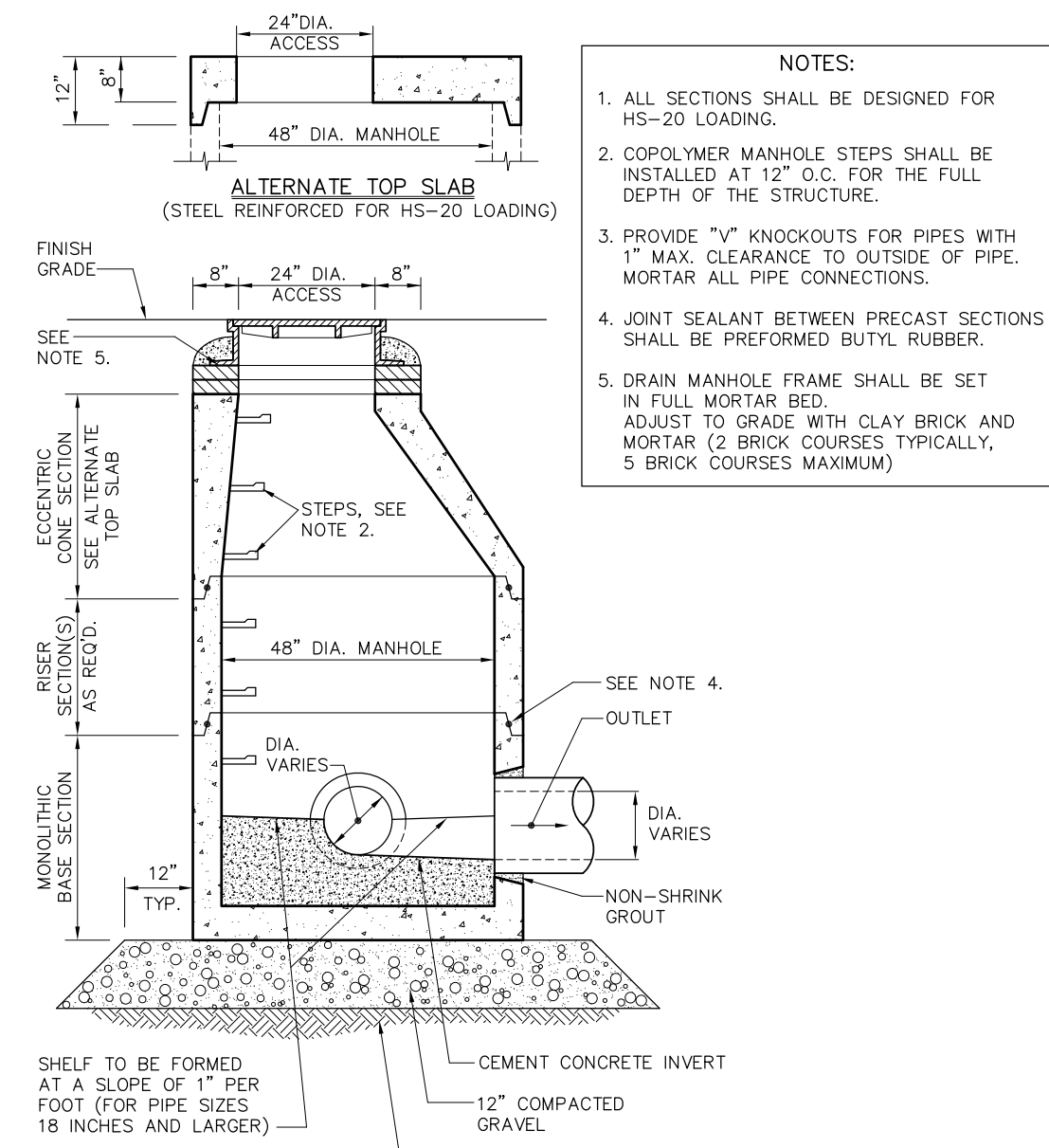


- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
  3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985146, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.

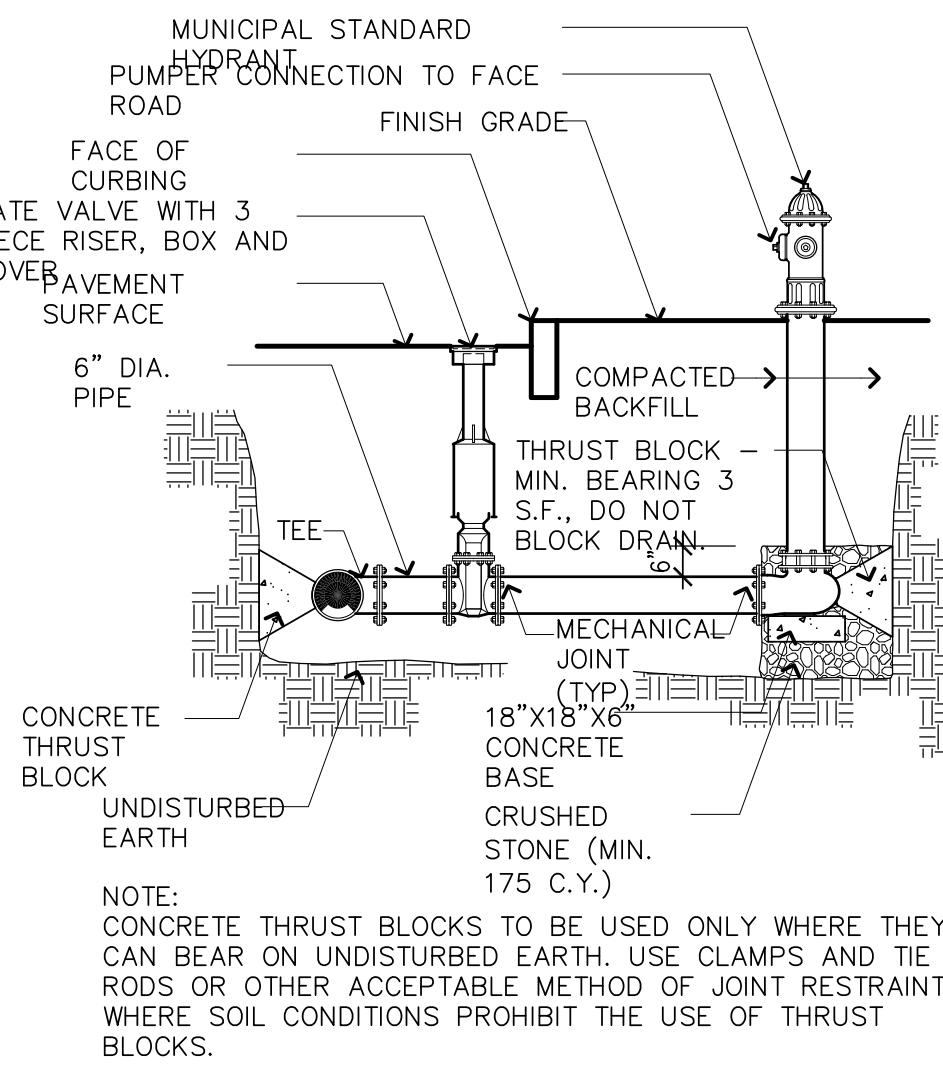
STORMCEPTOR 450I



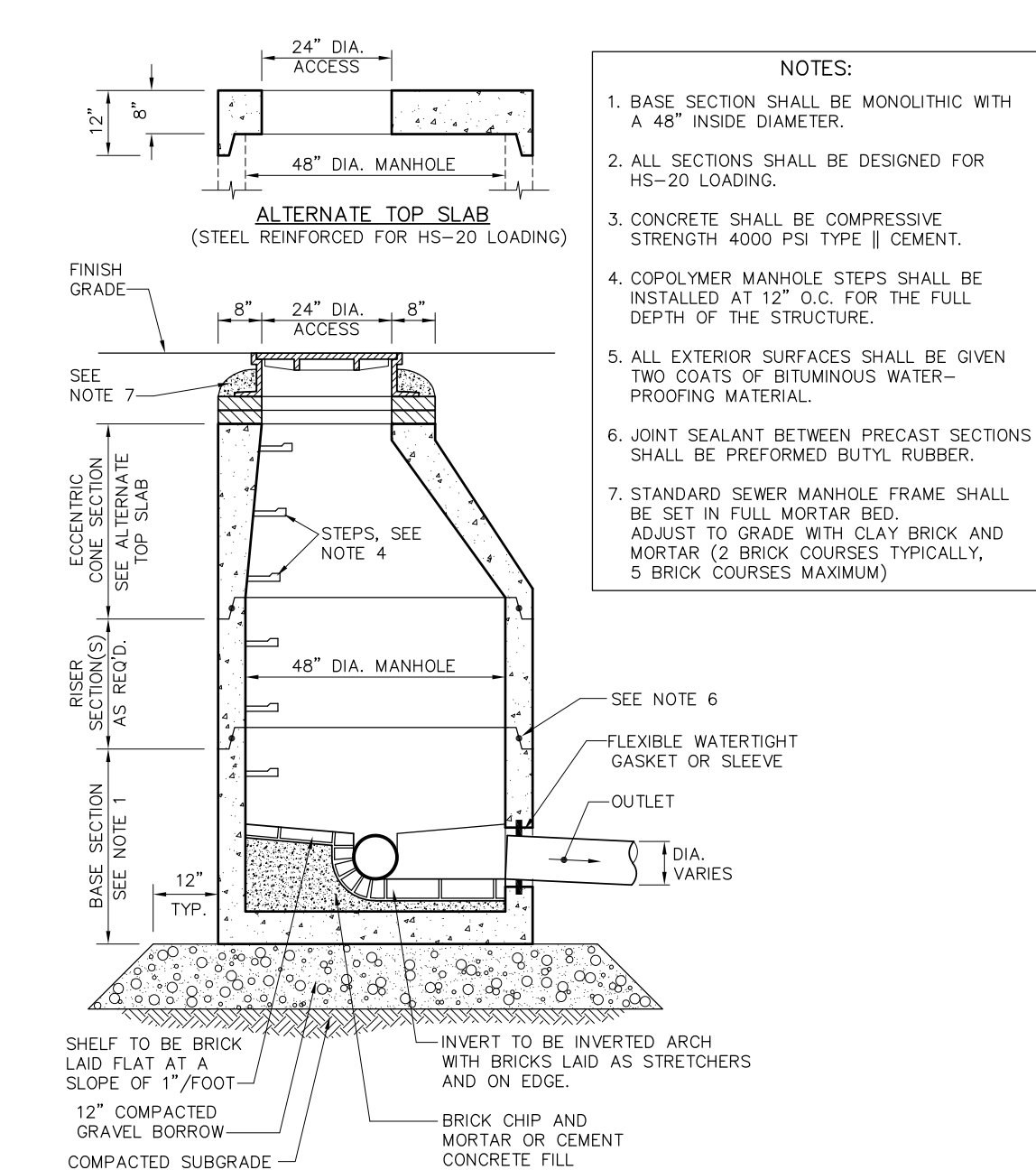
UTILITY TRENCH



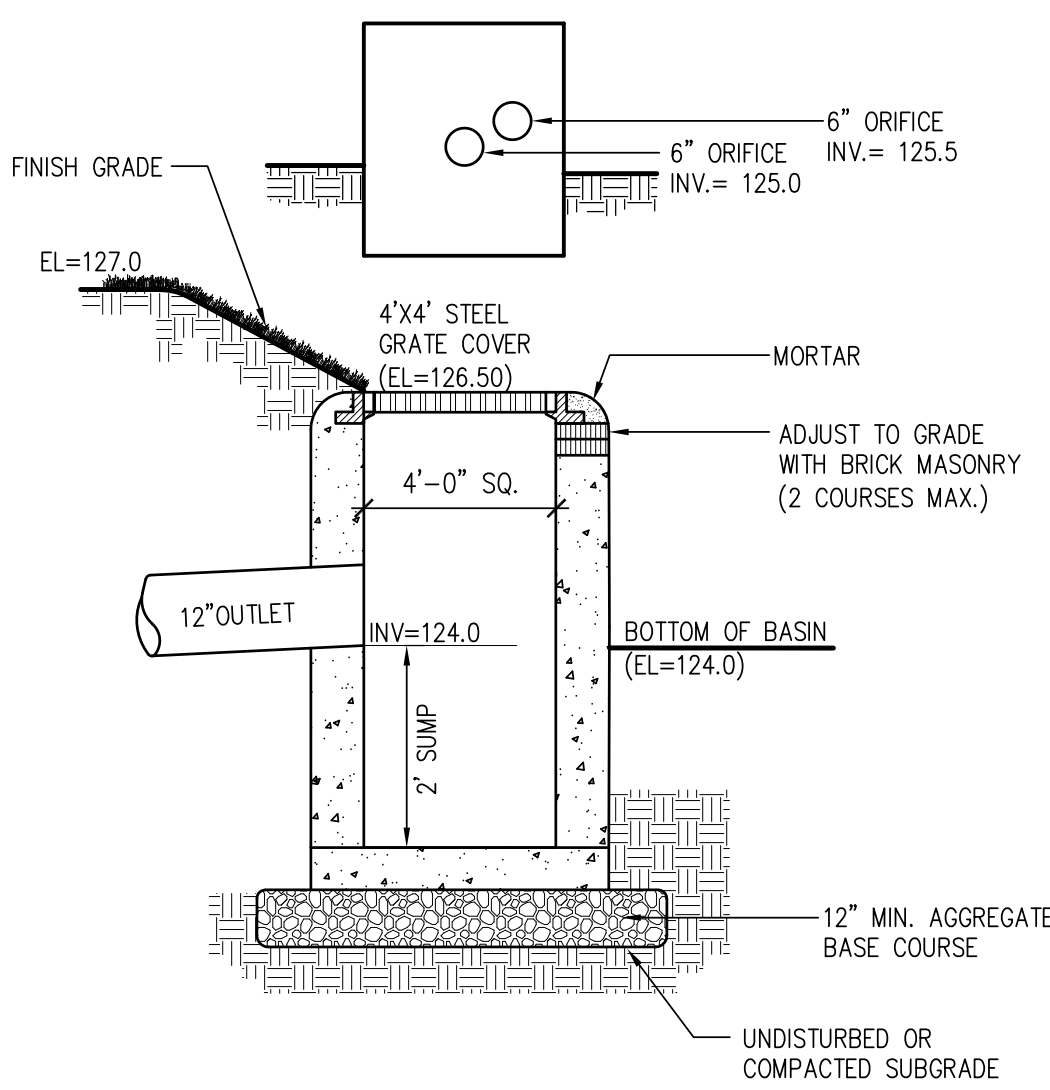
DRAIN MANHOLE (DMH)



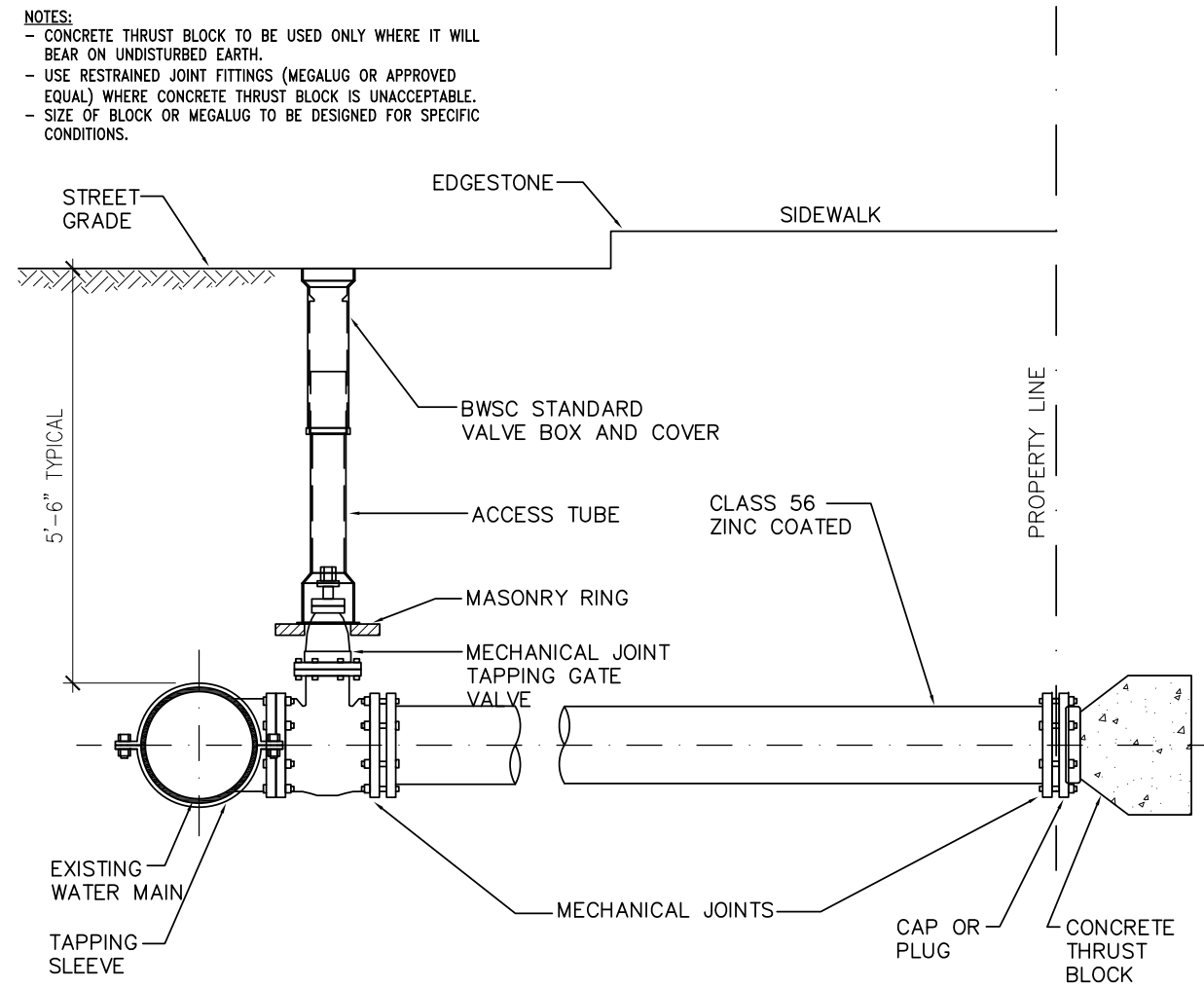
HYDRANT



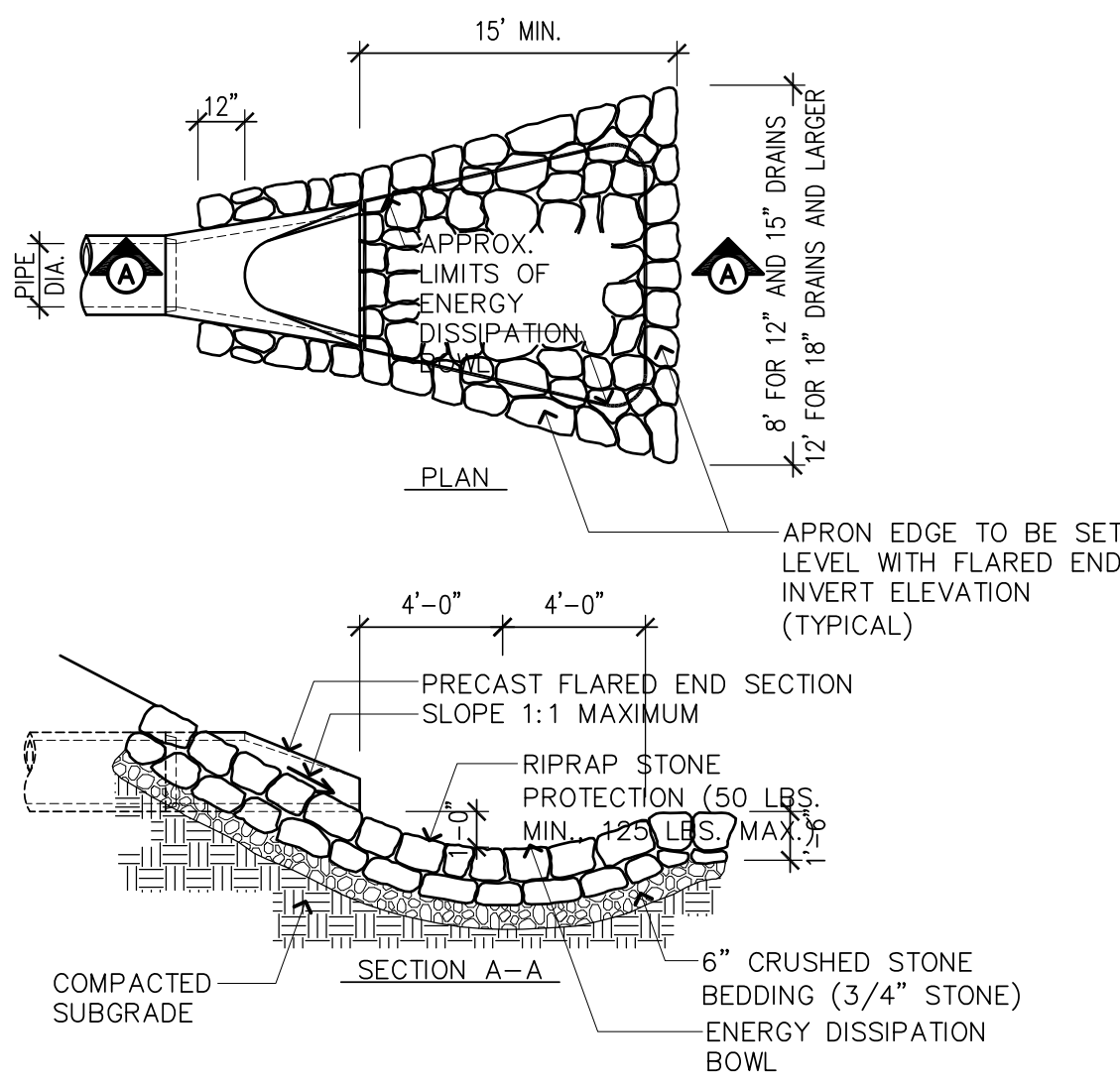
SEWER MANHOLE (SMH)



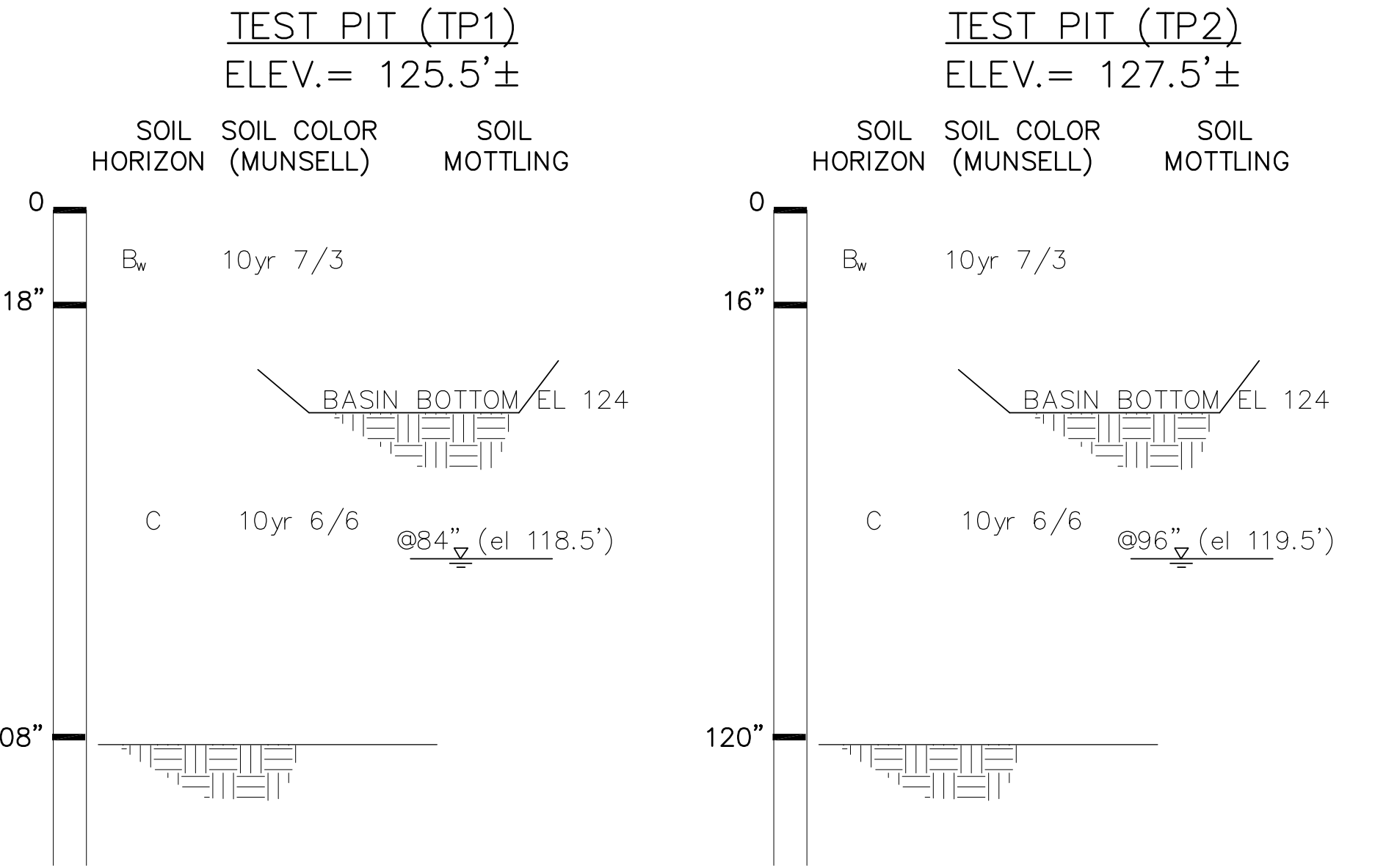
OUTLET CONTROL STRUCTURE



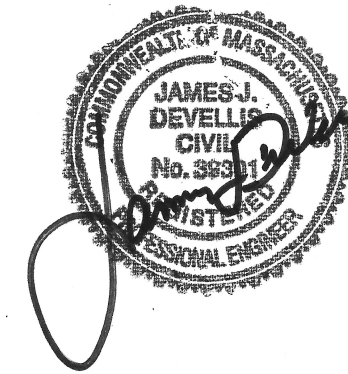
TAPPING SLEEVE AND GATE



FLARED END SECTION



TEST PIT LOGS



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**DZ** Inc.  
DeVellis Zrein Inc.

SITE DETAILS SHEET

SCALE: NTS  
JOB: 2615-455  
FILE: 2615-455  
DRAWN: CRM  
CHECKED: TOC  
DATE: 11/08/22