

ZONING DISTRICT: RESIDENCE B		
	REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	63,780 s.f.
MINIMUM LOT FRONTAGE	100 ft	197.76 ft.
MINIMUM FRONT SETBACK	25 ft.	90.3 ft.
MINIMUM SIDE SETBACK	35 ft.	41.5 ft.
MINIMUM REAR SETBACK	40 ft.	61.0 ft.
ACCESSORY STRUCTURE SETBACK	10 ft.	15.8 ft. (RET. WALL)
MAXIMUM BUILDING HEIGHT	35 ft.	33.25 ft.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5	2.5
MAXIMUM GROSS FLOOR AREA	40%	34.2% (21,785 s.f.)
OPEN SPACE	50%	58.7%
FRONT SETBACK IMPERVIOUS AREA	40% (4,880 s.f.)	15% (1,800 s.f.)
CORNER LOT PARKING IN SETBACK	30%	12%

SIDE YARD: RESIDENCE B DISTRICT WITHIN 12 FEET OF A SIDE LOT LINE OR WITHIN 24 FEET OF ANY OTHER BUILDING ON AN ADJACENT.

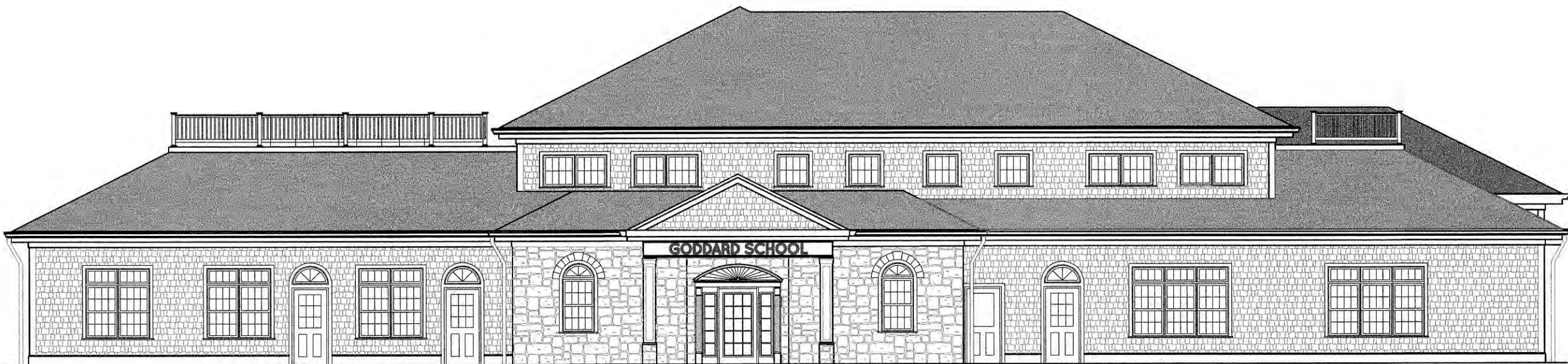
THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS		
CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES B.4.d.	3 SPACES/2 INSTRUCTIONAL ROOMS 11 ROOMS/2 x 3 = 17	31 SPACES (3 COMPACT SPACE–16'x8')
HANDICAP	2 SPACES	2 SPACES

PROJECT NOTES

1. EXISTING TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PROVIDED BY WILLIAMS & SPARAGES, LLC ON MARCH 17, 2020.
2. ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NAVD88.
3. THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC AND FROM VARIOUS PLANS ON FILE WITH THE TOWN OF MILTON. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES DEPICTED OR NOT DEPICTED AND SHOULD BE CONSIDERED APPROXIMATE.
4. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
5. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
6. DIGSAFE NUMBER: 2020115352 **CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION.** DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
7. ANY PROPOSED WATER CONNECTIONS ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
8. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
9. ANY PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
10. THE APPLICANT SHALL COORDINATE WITH THE MILTON WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE RESULTING FROM PROPOSED SITE WORK.
13. SITE WORK TO COMPLY TO ADA STANDARDS.
14. SEE DEMOLITION PLAN PRIOR TO CONSTRUCTION.
15. SEE PLANNING BOARD DECISION PRIOR TO CONSTRUCTION.
16. SEE STORMWATER PERMIT PRIOR TO CONSTRUCTION.

LEGEND OF SYMBOLS

EXISTING CONTOUR
EXISTING SPOT ELEVATION
EXIST. BITUMINOUS BERM
EXIST. FENCE
APPROXIMATE WATER
APPROXIMATE SEWER
APPROX. SEWER SERVICE
APPROX. STORM DRAIN
APPROXIMATE GAS
APPROXIMATE ELECTRIC
OVERHEAD WIRES
EXIST. SEWER MANHOLE
EXIST. DRAIN MANHOLE
EXIST. CATCH BASIN
EXIST. HYDRANT
EXIST. WATER GATE
EXIST. GAS GATE
BENCH MARK



THE
GODDARD SCHOOL®
FOR EARLY CHILDHOOD DEVELOPMENT

Goddard Milton
193 Central Avenue
Milton, MA 02186

TOWN OF MILTON DEPARTMENT CONTACTS:

VICINITY MAP

SCALE: 1"=500'±

NEPONSET RIVER

ELIOT STREET

VALLEY ROAD

AVALON ROAD

LUNCESTER LANE

COLUMBINE ROAD

ALLESTON ROAD

CENTRAL AVENUE

RAICES LANE

LOCUS

193 CENTRAL AVE

PROJECT CONTACTS:

LIST OF DRAWING SHEETS:

SHEET NUMBER & NAME

CIVIL: WILLIAMS & SPARAGES, LLC		SHEET	Milton PB Approval	GS1 Rev. #1	GS1 Rev. #2	GS1 Rev. #3
T1.1	TITLE SHEET	1				
C1.0	EXISTING CONDITIONS PLAN	2				
C1.1	SITE PLAN	3				
C1.2	PLAYGROUND DETAILS	4				
C1.3	PLAYGROUND DETAILS	5				
C2.1	GRADING PLAN	6				
C2.2	DRAINAGE PLAN	7				
C2.3	DRAINAGE DETAIL PLAN	8				
C3.1	UTILITY PLAN	9				
	PHOTOMETRIC PLAN (By Others)	10				
C5.1	SITE DETAILS	11				
C5.2	SITE DETAILS	12				
L1.0	LANDSCAPE PLAN	13				

CODE: _____

G1.1	CODE STUDY		
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ARCHITECTURAL: O'SULLIVAN ARCHITECTS, INC.

FIRE PROTECTION: MECHANICAL: PLUMBING: ELECTRICAL:	SEE PLANS BY O'SULLIVAN ARCHITECTS, INC. DATED:
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SEE PLANS BY
O'SULLIVAN ARCHITECTS, INC.
DATED:

NON-TOWN UTILITY CONTACTS:

Information provided by Town Website & DigSafe

PLAN REFERENCES: MILTON PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

GODDARD PLAN REVIEW:

THIS REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH GSI PROTOTYPE DRAWING AND SPECIFICATIONS. OWNER, DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE BUILDING MEETS ALL STATE AND LOCAL ORDINANCES, REGULATIONS, CODES, AND CHILD CARE LICENSING REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION. ANY DEVIATION FROM THE GSI PROTOTYPE DRAWING AND SPECIFICATIONS MUST BE APPROVED BY THE GSI PM.



Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18

☐ DRAWING ISSUED FOR REVIEW ONLY
☒ DRAWING ISSUED FOR PERMIT
☐ DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

[illegible]

SCALE: AS SHOWN

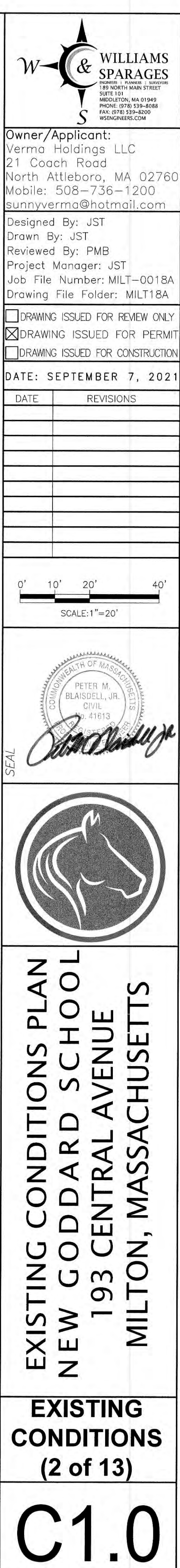
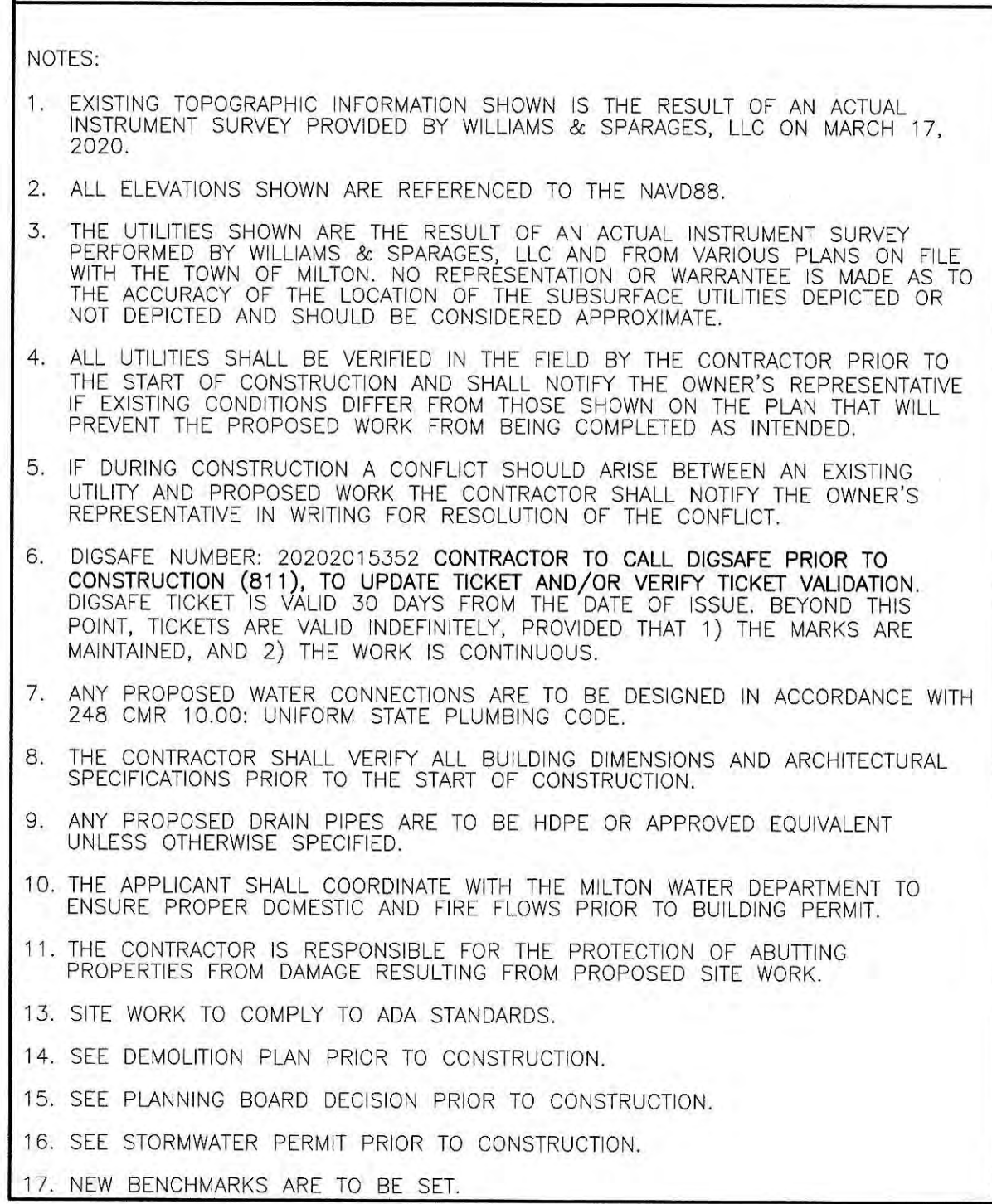


**SITE PLAN SET
TITLE SHEET**

**NEW GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS**

TITLE SHEET
(1 of 13)

T1.1



ZONING DISTRICT: RESIDENCE B		
	REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	63,760 s.f.
MINIMUM LOT FRONTAGE	100 ft.	197.76 ft.
MINIMUM FRONT SETBACK	25 ft.	90.3 ft.
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PARKING REQUIREMENTS		
THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS		
CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES	2 SPACES FOR EVERY THREE CLASSROOMS 14 ROOMS/3 x 2 = 9.3	31 SPACES (3 COMPACT SPACE 16'X8' MIN.)
HANDICAP	2 SPACES	2 SPACES

SECTION VII. PARKING REGULATIONS.

G. IN RESIDENCE AA, A, B OR C DISTRICT, ANY PARKING AREA FOR MORE THAN 5 AUTOMOBILES SHALL BE SET BACK FROM ANY STREET OR FRONT LOT LINE AT LEAST THE SAME DISTANCE AS A BUILDING IN SUCH DISTRICT MUST BE SET BACK FROM SUCH A STREET PURSUANT TO THE PROVISIONS IN PARAGRAPHS 1, 2 OR 3 OF SECTION VI.

CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES	2 SPACES FOR EVERY THREE CLASSROOMS 14 ROOMS/3 x 2 = 9.3	31 SPACES (3 COMPACT SPACE 16'X8' MIN.)
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EXIST. 6' STOCKADE FENCE
(ON ABUTTING PROPERTY) -

*ELECTRIC VEHICLE
CHARGING STATIONS
DESIGN BY OTHERS

EXIS. STONE & CEMENT

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS APPLICABLE.
2. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OR OUTSIDE FACE OF BRICK, BLOCK OR BUILDING FASCIA UNLESS OTHERWISE INDICATED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
4. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
5. WHERE APPLICABLE ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ABUTS THOSE AREAS.
6. CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED.
7. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE STATES DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
8. CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PLAYGROUND BOXES. PAVEMENT EDGES WITH GRANULAR BACKFILL.
10. CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC DISABLED PARKING SIZES, STRIPPING AND SIGNAGE REQUIREMENTS.
11. PRIMARY COLORED PLAYGROUND EQUIPMENT WILL BE INSTALLED UNLESS THE LOCAL JURISDICTION, HOA OR COVENANTS AND RESTRICTIONS REQUIRE EARTH-TONE.
12. GATES TO BE HARD WIRED, CONNECTED TO SEPARATE ALARM SYSTEM. CHIME BACK AT OFFICE WHEN OPENED. PUSH BARS TO HAVE MINIMUM 12" DEPTH 16 GAUGE EXPANDED METAL BACKING ALONG WIDTH OF GATE WITH LOCKABLE HANDLES ON EXTERIOR.
13. G.C. SHALL INSTALL GSI'S STANDARD 'COMING SOON' TEMPORARY SIGN PER AHJ STANDARDS. RE:02/C5.2. ALL SIGNS TO BE APPROVED SEPARATELY.
14. G.C. TO PROVIDE QTY. 3 MIN. SELF CLOSING HINGE SETS TO ALL EXTERIOR GATES. DUE TO 4FT WIDTH AND TO PREVENT POSSIBLE SAGGING .
15. G.C. TO INSTALL & LOCATE CLEAN OUTS PER PLUMBING PLANS AND SPECIFICATIONS.
17. ALL BOLLARDS ARE TO BE 48" GAP BETWEEN EACH BOLLARD OR 54" ON CENTER -- REFER TO SHEET C5.2.
18. BUILDING SIGNS TO BE APPROVED BY ZONING OFFICER PRIOR TO BEING ERRECTED.
19. TRAFFIC GUARD BOLLARDS ARE TO BE USED, NO SUBSTITUTIONS UNLESS APPROVED BY GODDARD SCHOOL. SEE SPEC. 32 39 13 MANUFACTURED BOLLARDS (SEE DETAIL).
20. PROPOSED FENCE(S) TO BE APPROVED BY ENGINEER & GODDARD SCHOOL PRIOR TO INSTALLATION.
21. VERIFY UNDERGROUND UTILITIES PRIOR TO INSTALLING BOLLARDS & PLAYGROUND EQUIPMENT.
22. PARCEL 1 NOT TO BE CONSIDERED A SEPARATE BUILDING LOT, BUT TO BE HELD IN COMMON OWNERSHIP WITH ADJOINING LAND.
23. BOLLARDS TO BE 4.5' ON CENTER.
24. VERIFY DUMPSTERS SIZES & NUMBERS WITH OWNER PRIOR TO CONSTRUCTION.
25. CONCRETE CURB TO BE USED AT SIDEWALK. BIT. CURB TO BE USED ELSEWHERE.
26. GODDARD SIGNS TO BE APPROVED SEPARATELY.
27. COMPACT SPACES TO HAVE DESIGNATED SIGNS.
28. COMPACT SPACES & CHARGING STATIONS TO HAVE APPROPRIATE SIGNS.

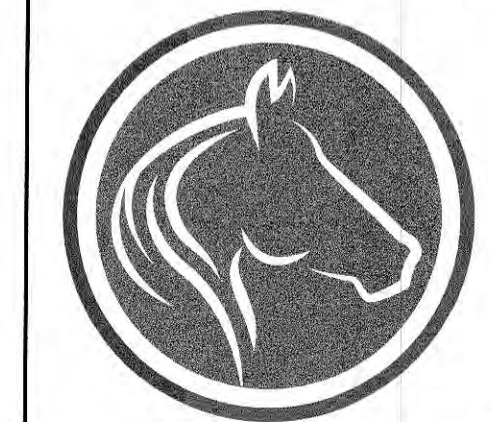
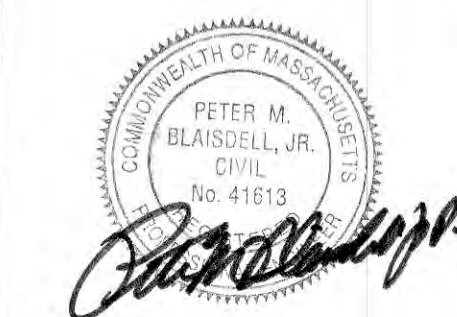
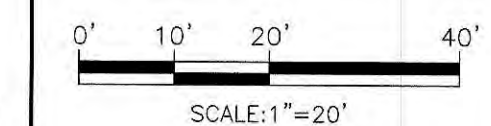
EXIST. CONTOUR
EXISTING SPOT ELEVATION
EXIST. BITUMINOUS BERM
EXIST. FENCE
APPROXIMATE WATER
APPROXIMATE SEWER
APPROX. SEWER SERVICE
APPROX. STORM DRAIN
APPROXIMATE GAS
APPROXIMATE ELECTRIC
OVERHEAD WIRES
EXIST./PROP. SEWER MANHOLE
EXIST./PROP. DRAIN MANHOLE
EXIST. CATCH BASIN
EXIST. HYDRANT
EXIST. WATER GATE
EXIST. GAS GATE
BENCH MARK
LIGHT
TRAFFIC FLOW
SIGN
WALL
UTILITY POLE
PROP. CONTOUR
PROP. SPOT GRADE
DRAINAGE FLOW DIRECTION
RAIN CLEANOUT
YARD DRAIN
PROPOSED BOLLARD
CHARGING STATION
COMPACT SPACE (8'x16')
BENCH (TBD BY OWNER)
PROPOSED DRAIN



Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

☐ DRAWING ISSUED FOR REVIEW ONLY
☒ DRAWING ISSUED FOR PERMIT
☐ DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

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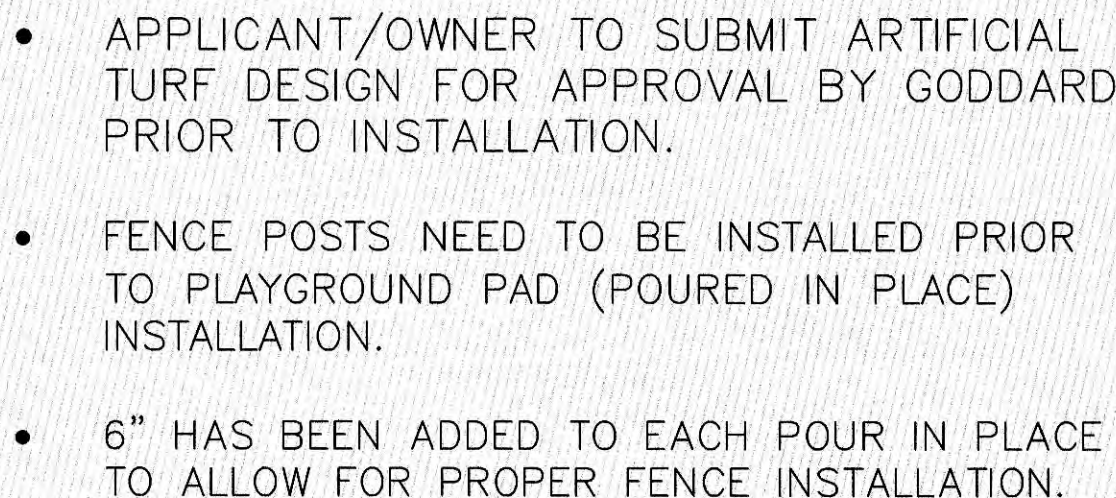
SITE PLAN

(3 of 13)

C1.1

PROP.	6'	VINYL PERIMETER FENCE (6'PF)	
PROP.	4'	VINYL SEPARATOR FENCE (4'SF)	
PROP.	4'	VINYL SECURITY GATE (4'G)	
PROP.	6'	VINYL SECURITY GATE (6'G)	
PROP.	4' & 6'	DOUBLE GATE (4'DG, 6'DG)	

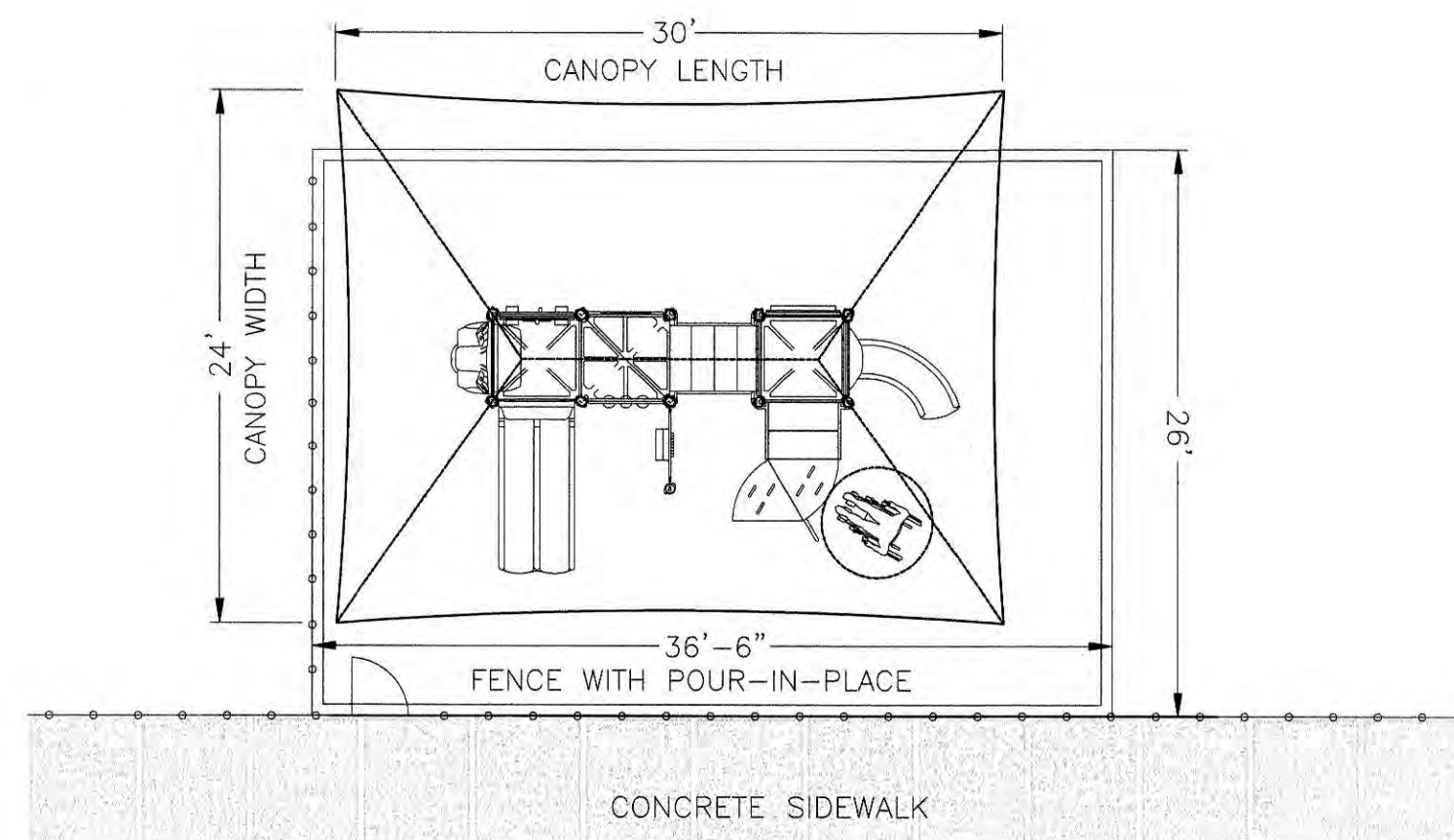
COLUMBINE ROAD



C1.2

Diagram illustrating the layout of a canopy structure. The overall dimensions are 40'-6" in width and 20'-6" in depth. The canopy length is 24'. The canopy width is 20'. The diagram shows two tables (one labeled 'TABLE') and two chairs (one labeled 'CHAIR') positioned under the canopy. A concrete sidewalk is shown at the bottom.

POUR & PLACE
36'-6"x26'
(6" ADDED TO THE SIDE
WHERE FENCE IS LOCATED)
CANOPY
30'x24'



A 3D rendering of a vehicle-mounted machine gun, possibly a Vickers or similar model, mounted on a tripod. A large, dark canvas cover is stretched over the top of the tripod and gun. To the right of the machine gun, a soldier in a helmet and uniform is sitting on the ground, facing away from the camera. The scene is set on a flat, light-colored surface.

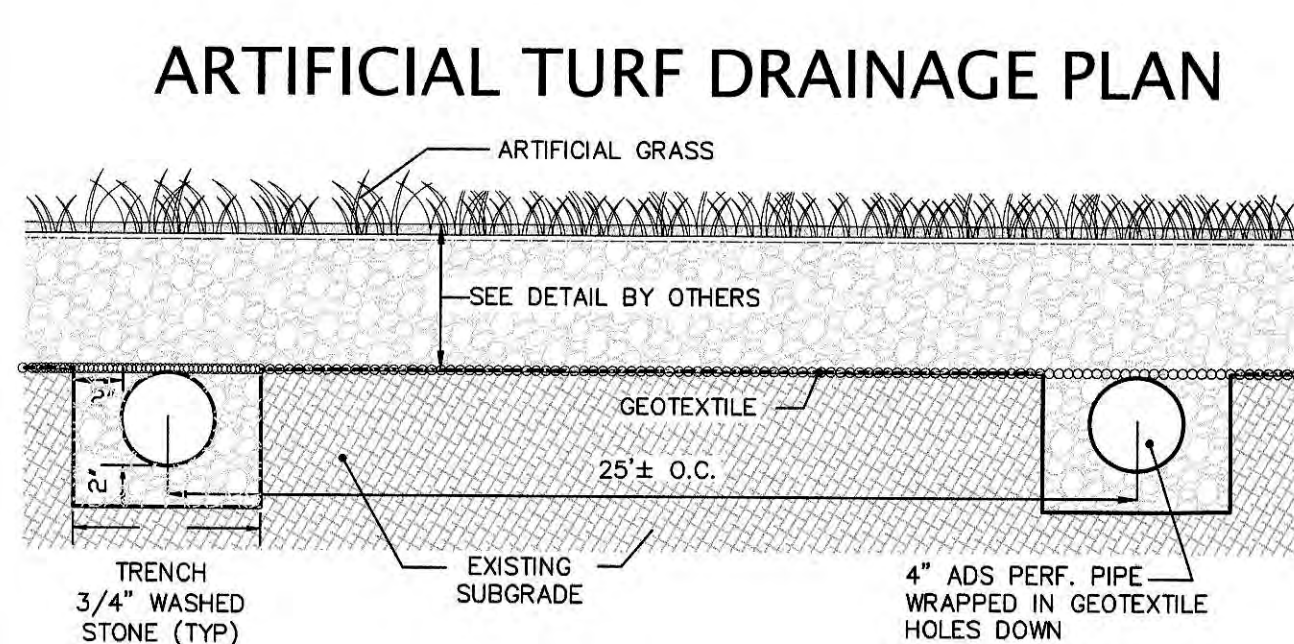
FENCE POSTS NEED TO BE INSTALLED PRIOR TO PLAYGROUND PAD INSTALLATION

WHEN FENCING IS WITHIN THE POUR-IN-PLACE DIMENSIONS THE PLAYBOX SHALL INCREASE BY 6" ON FENCE SIDE TO ALLOW FOR FENCE LOCATION PER GODDARD REVIEW.



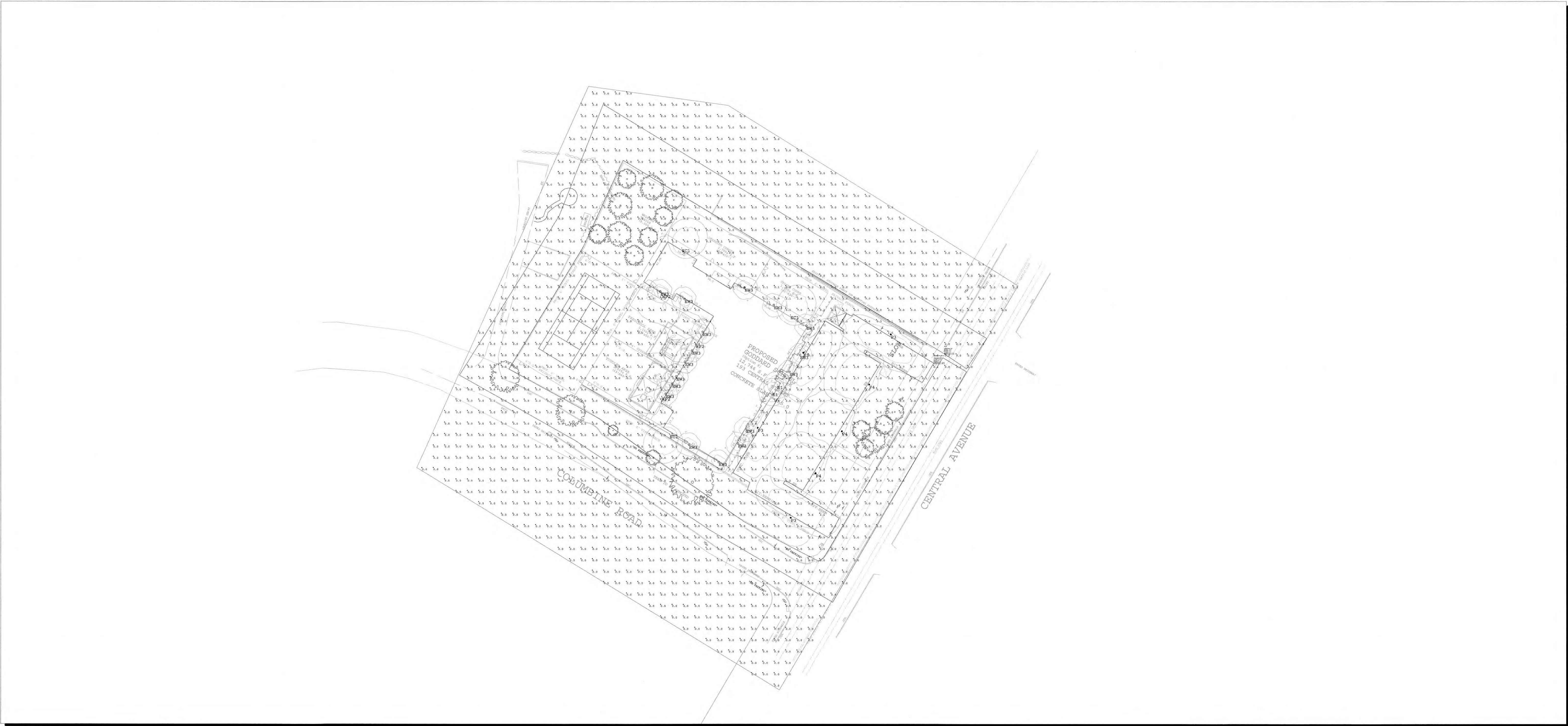
PRESCHOOL PLAYGROUND RENDERING
NTS

D:\MAIL T-0018\183 Central Ave\Drawings\SP-NEW\BUILDING - 183 Central Ave_R3.dwg, 9/22/2021 9:55:23 AM, JST



1. PLANS TO BE REVIEWED AND APPROVED BY PLAYGROUND TURF DESIGN/INSTALLER COMPANY AND THE GODDARD SCHOOL SYSTEMS PRIOR TO CONSTRUCTION.
2. DRAINAGE SYSTEM SHALL BE INSPECTED AND APPROVED BY ENGINEER PRIOR TO BACKFILL.

C2.2

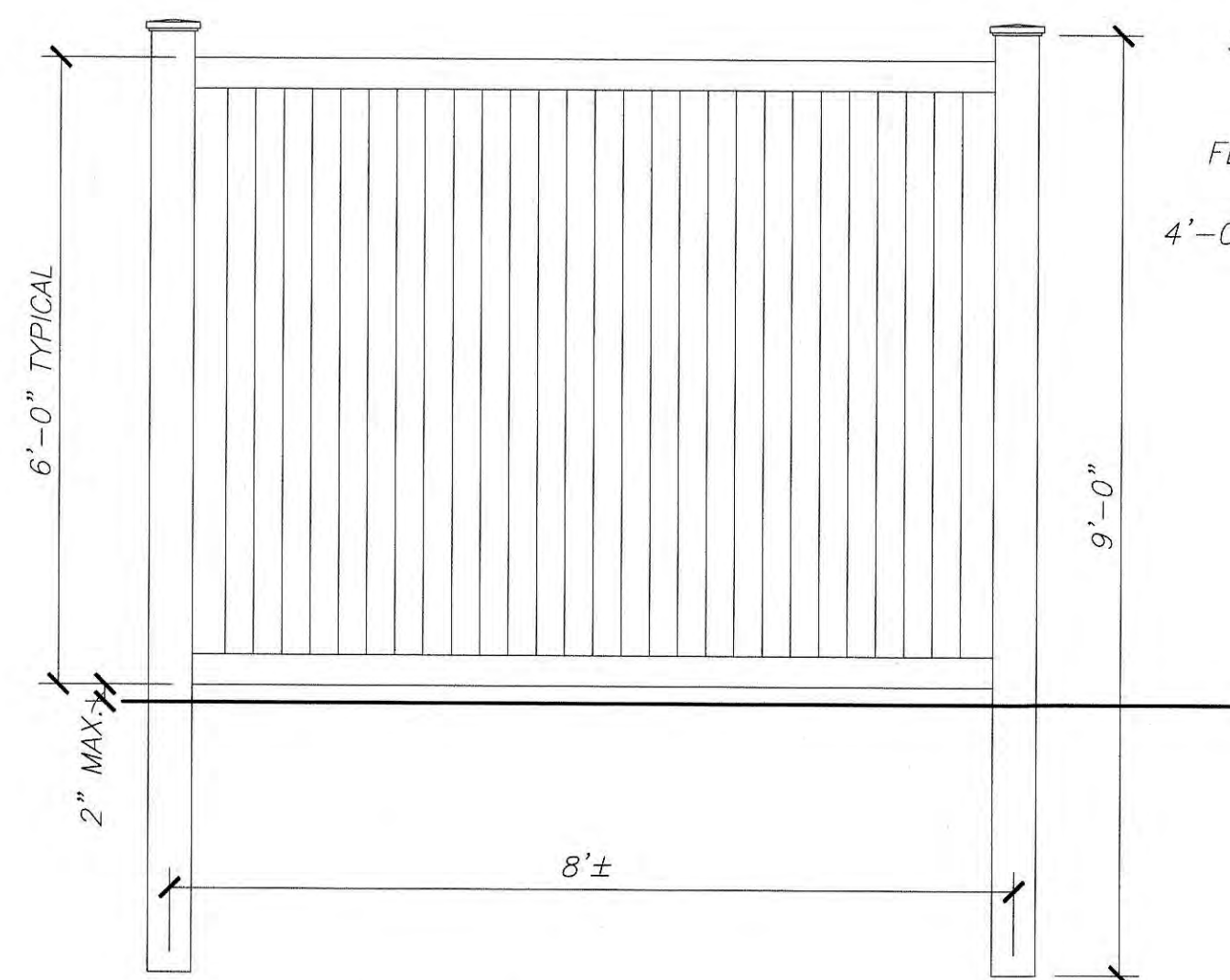


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	P3	SINGLE	N.A.	0.500	BEACON VP-S-24L-39-3K7-4-BC CD UNV A BLS/SSA-B-10-40-A-1-B3-BLS
	3	P4	SINGLE	N.A.	0.500	BEACON VP-S-24L-39-3K7-4-BC CD UNV A BLS/SSA-B-10-40-A-1-B3-BLS
	3	WP2	SINGLE	N.A.	1.000	HUBBELL LNC-5LU-3K-4 BLT PCU
	2	R1	SINGLE	N.A.	1.000	LITON LCMPD5RW-UE-D10 T30
	17	EW3	SINGLE	466.23	1.000	MODERN FORMSWS-28516-BK
	3	EC1	SINGLE	N.A.	2.000	HUBBELL ML-2L3K-1 WH

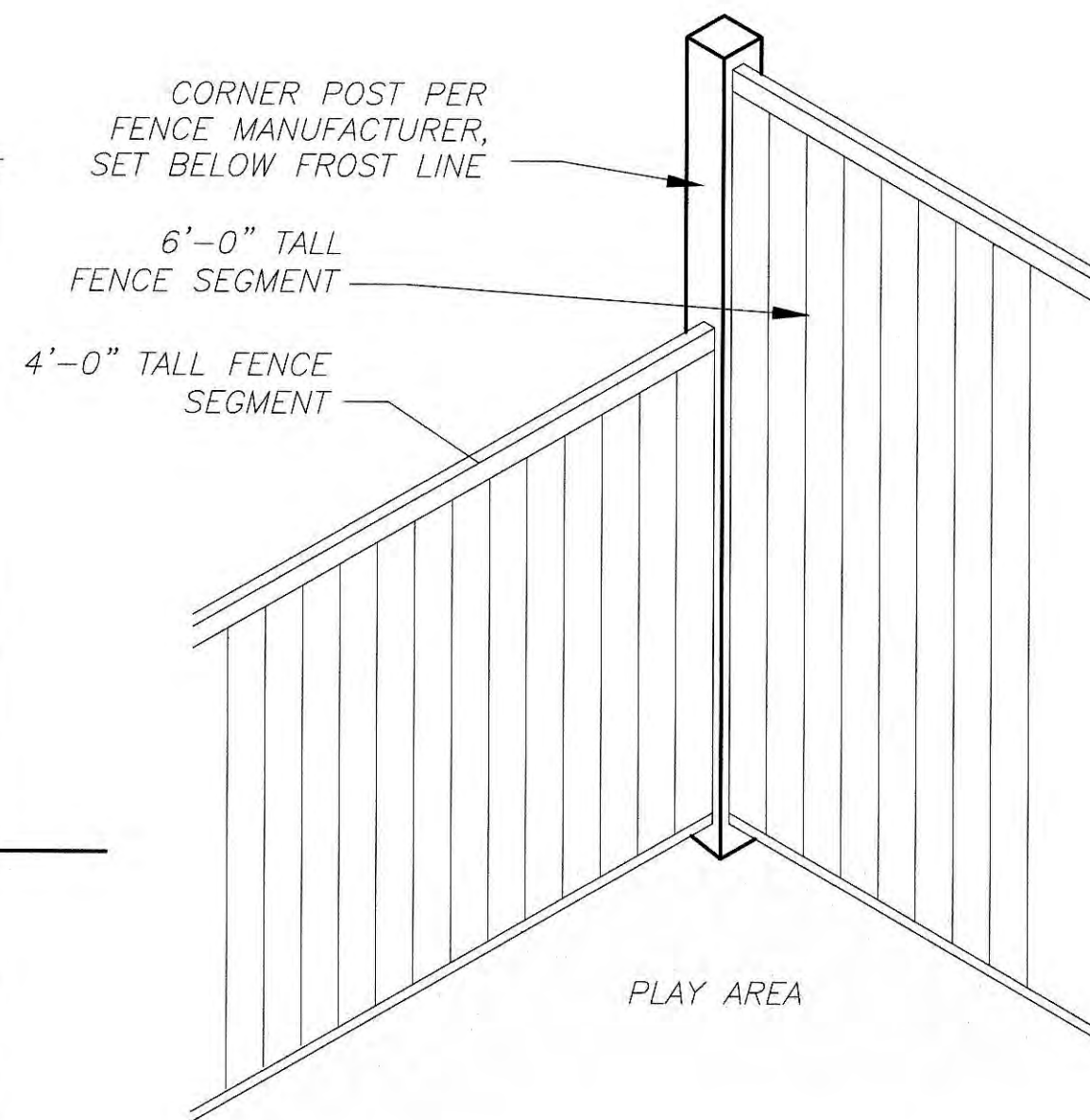
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object_1_Planar	Illuminance	Fc	0.21	7.5	0.0	N.A.	N.A.
Driveway and parking	Illuminance	Fc	1.48	5.0	0.1	14.80	50.00
Spill	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

#	Date	Comments
Revisions		

Drawn By: RK	
Checked By:	
Date: 8/24/2021	
Scale:	



VINYL FENCE DETAIL
(NOT TO SCALE)

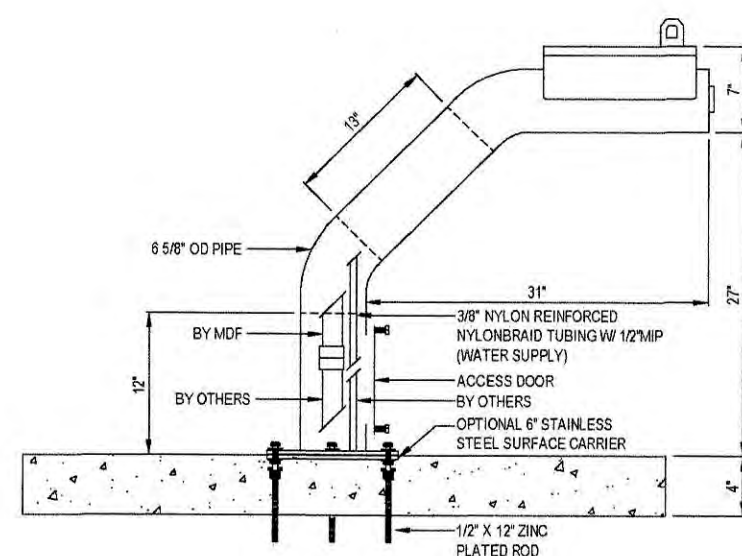


VINYL FENCE TRANSITION DETAIL
(NOT TO SCALE)

ALL FENCE TO BE VINYL
PRIVACY FENCE

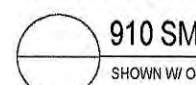


MOST DEPENDABLE FOUNTAINS INC.
5705 COMMANDER DR. P.O. BOX 587
ARLINGTON, TN 38002-0587
TOLL FREE: 1-800-552-6331
PHONE: (901) 867-0039
FAX: (901) 867-0159
www.mostdependable.com



NOTES:

1. MEETS ADA REGULATIONS.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. DO NOT SCALE DRAWING.
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdata.com AND ENTER REFERENCE NUMBER 35644.

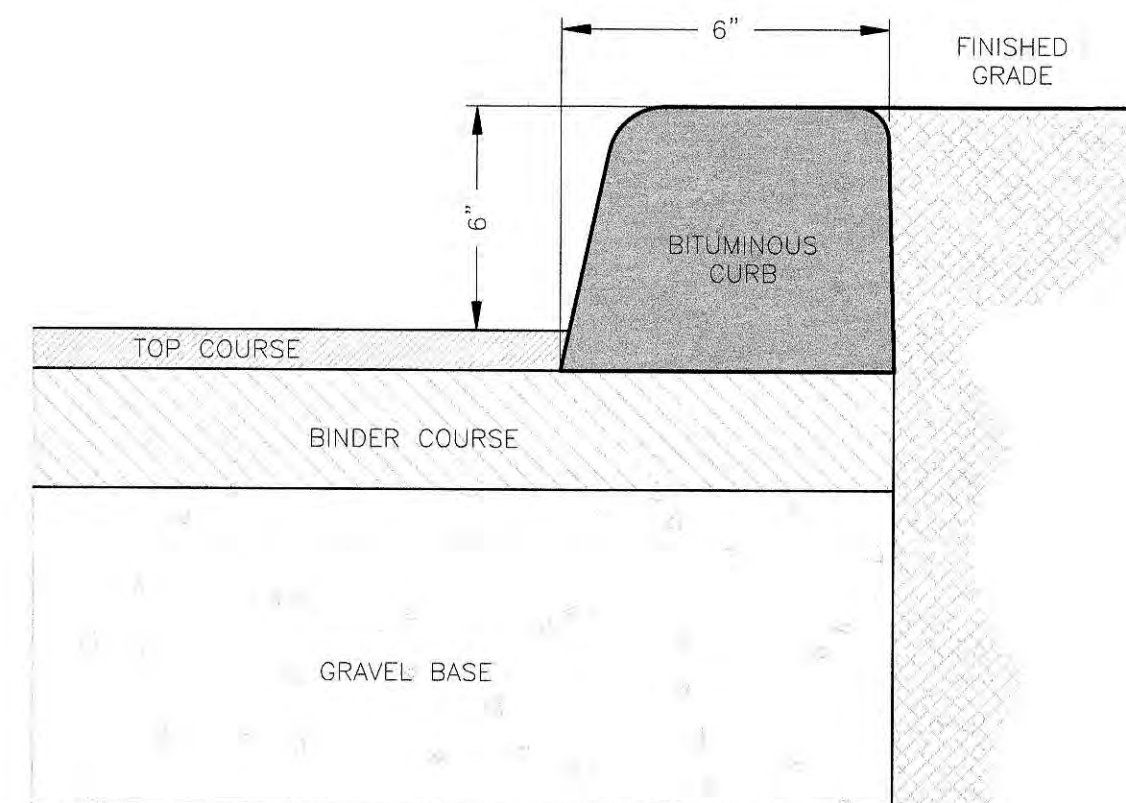


DRINKING FOUNTAIN

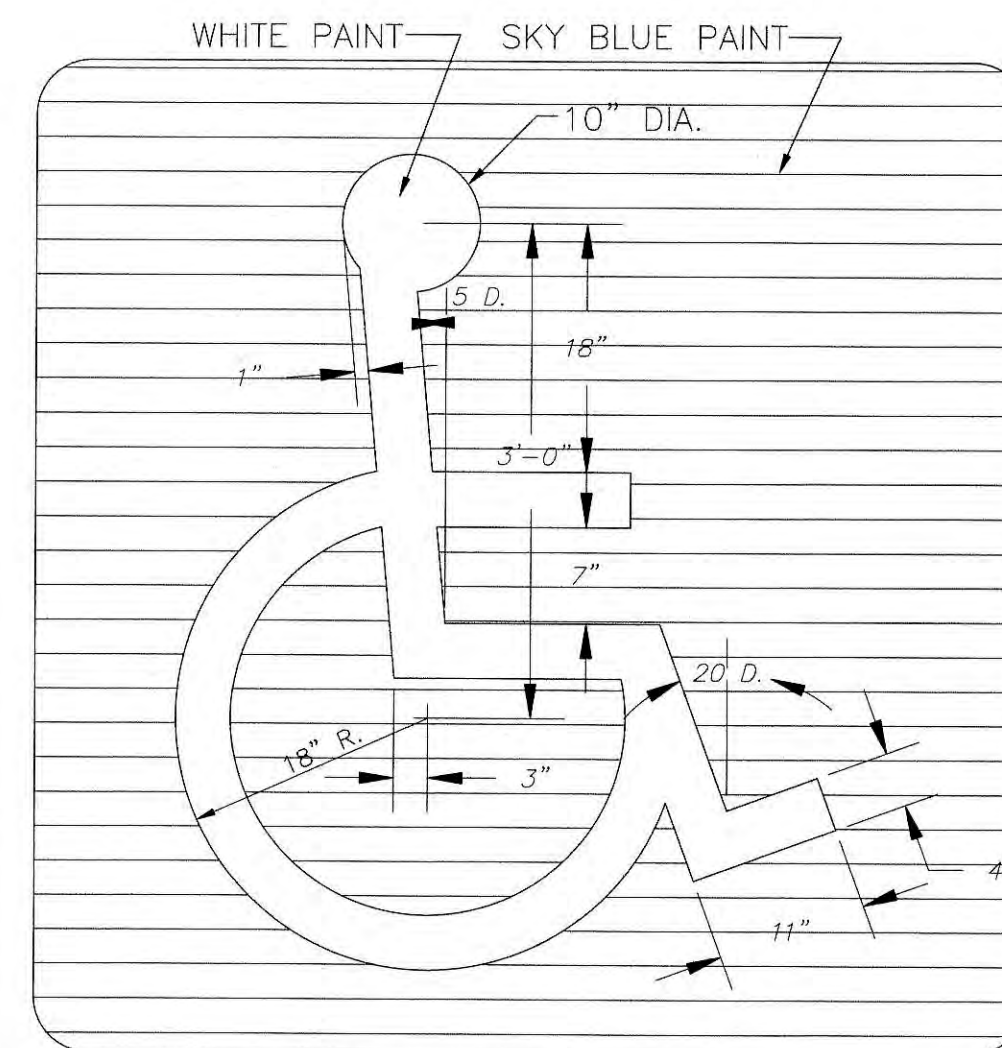


REVISION DATE 12/23

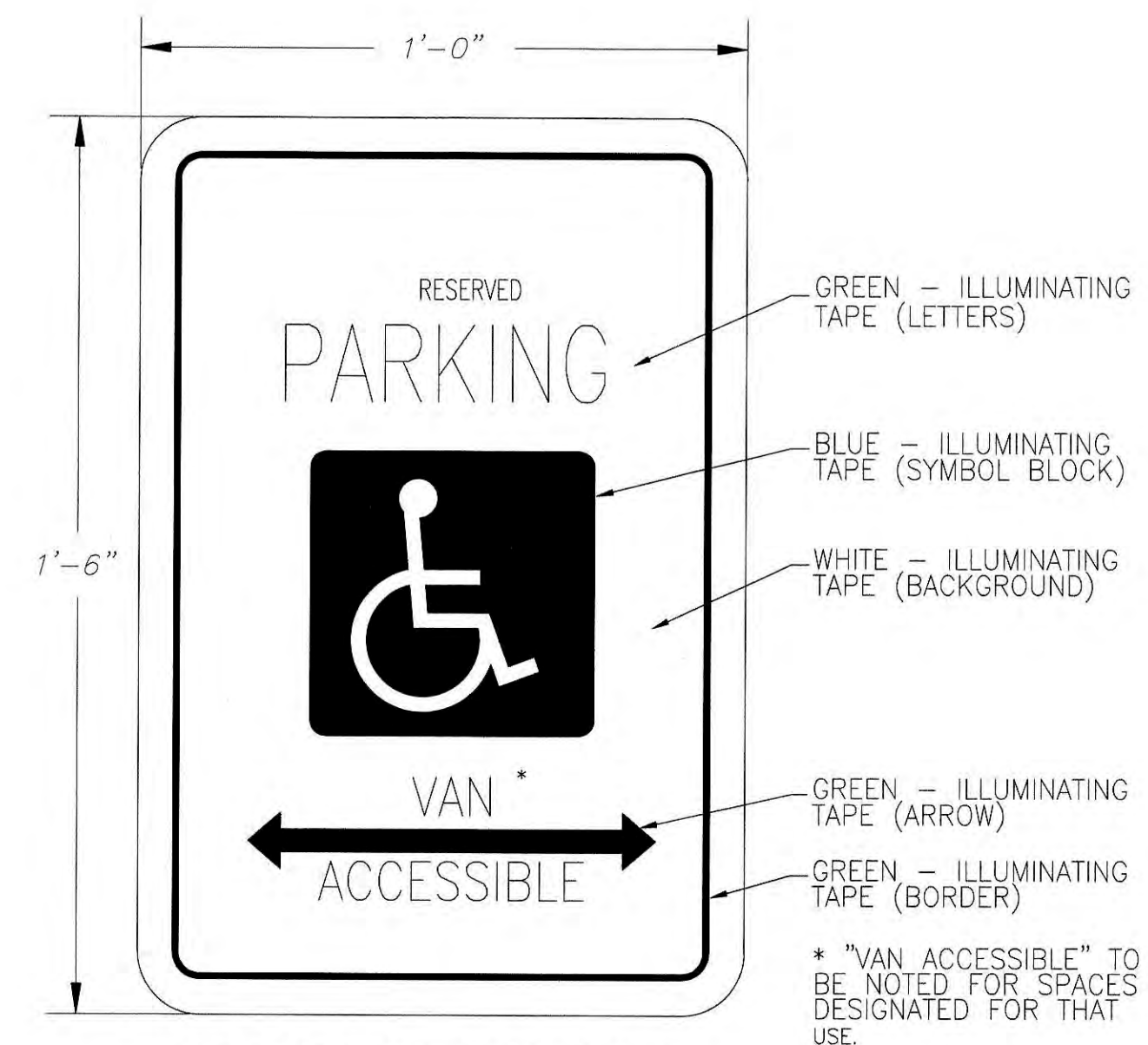
ALTERNATIVE CAN BE
USED. TO BE
APPROVED BY OWNER



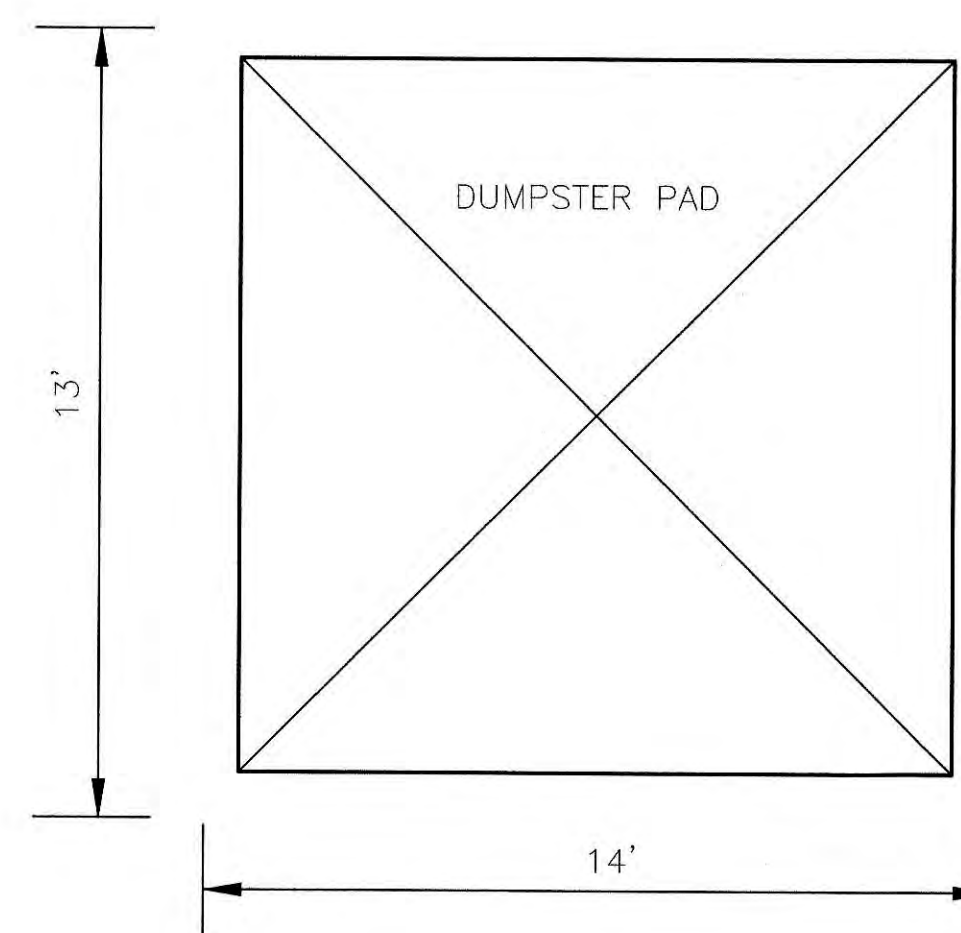
BITUMINOUS CURB
NOT TO SCALE



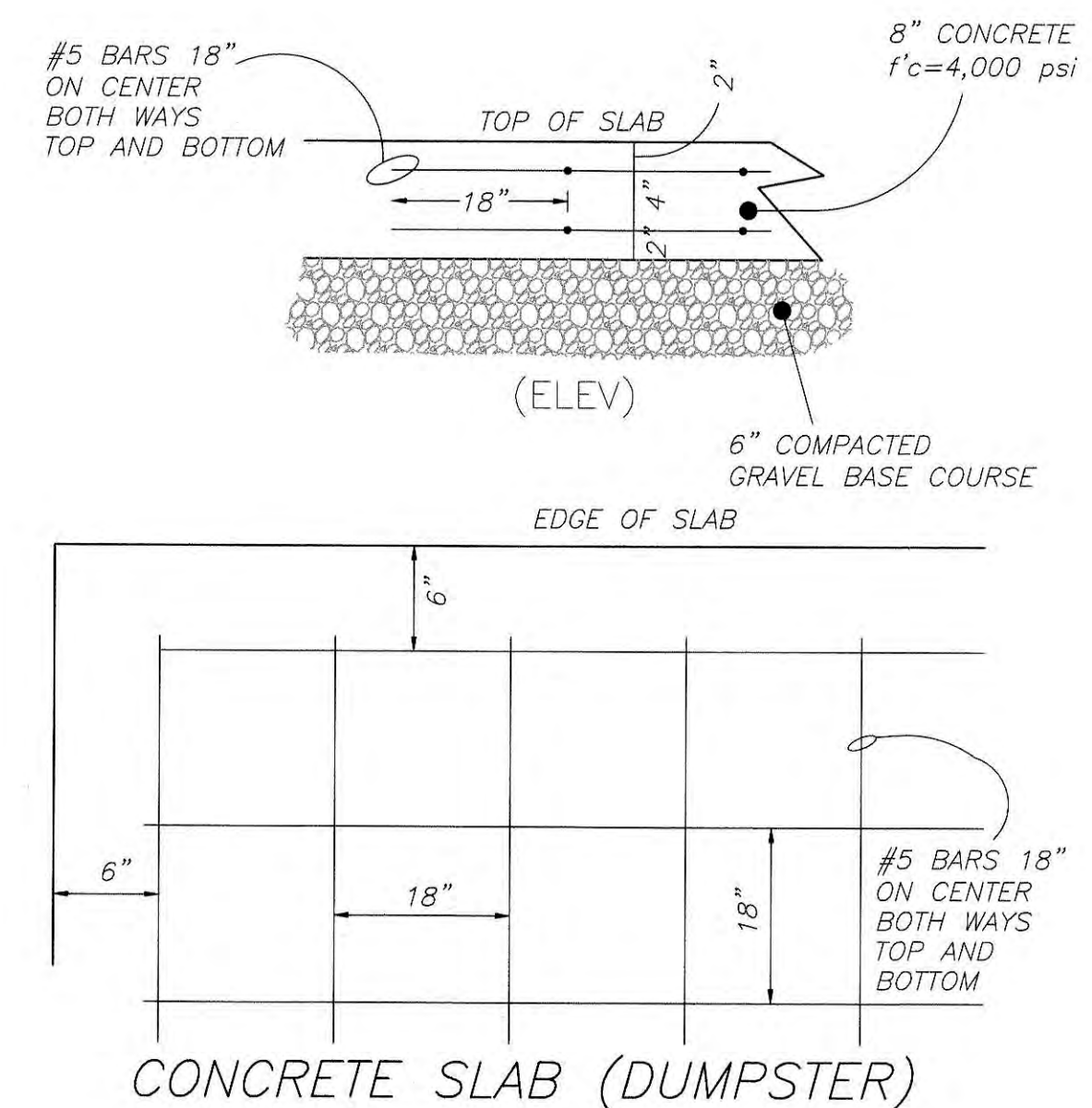
PAINTED HANDICAP
SYMBOL DETAIL
(NOT TO SCALE)



*HANDICAP PARKING
SIGNAGE DETAIL
(NOT TO SCALE)*



TRASH ENCLOSURE DETAILS
(NOT TO SCALE)



CONCRETE SLAB (DUMPSTER)



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

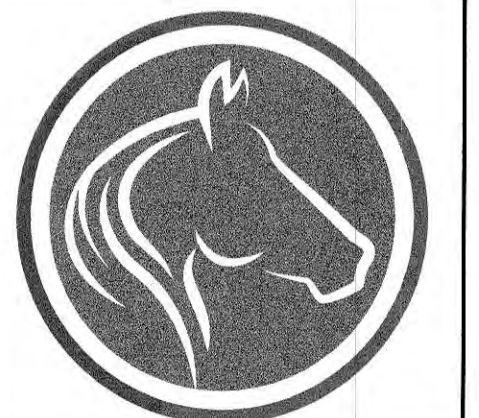
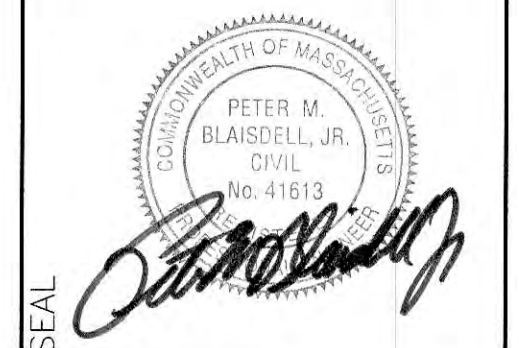
Designed By: JST
 Drawn By: JST
 Reviewed By: CPS
 Project Manager: JST
 Job File Number: MILT-0018A
 Drawing File Folder: MILT18A

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DATE: SEPTEMBER 7, 2021

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NOT TO SCALE



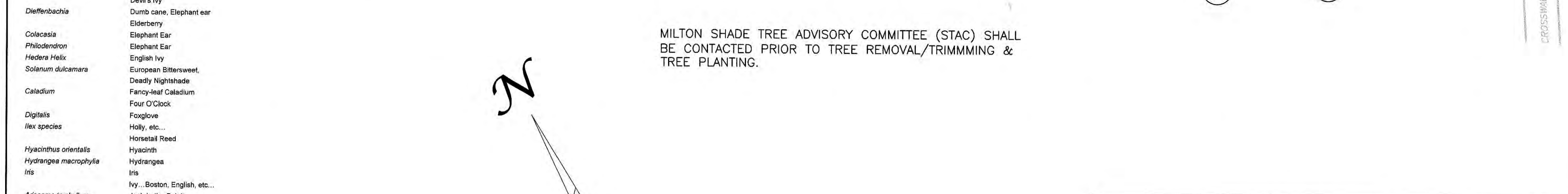
SITE DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

SITE DETAILS

(11 of 13)

C5.1

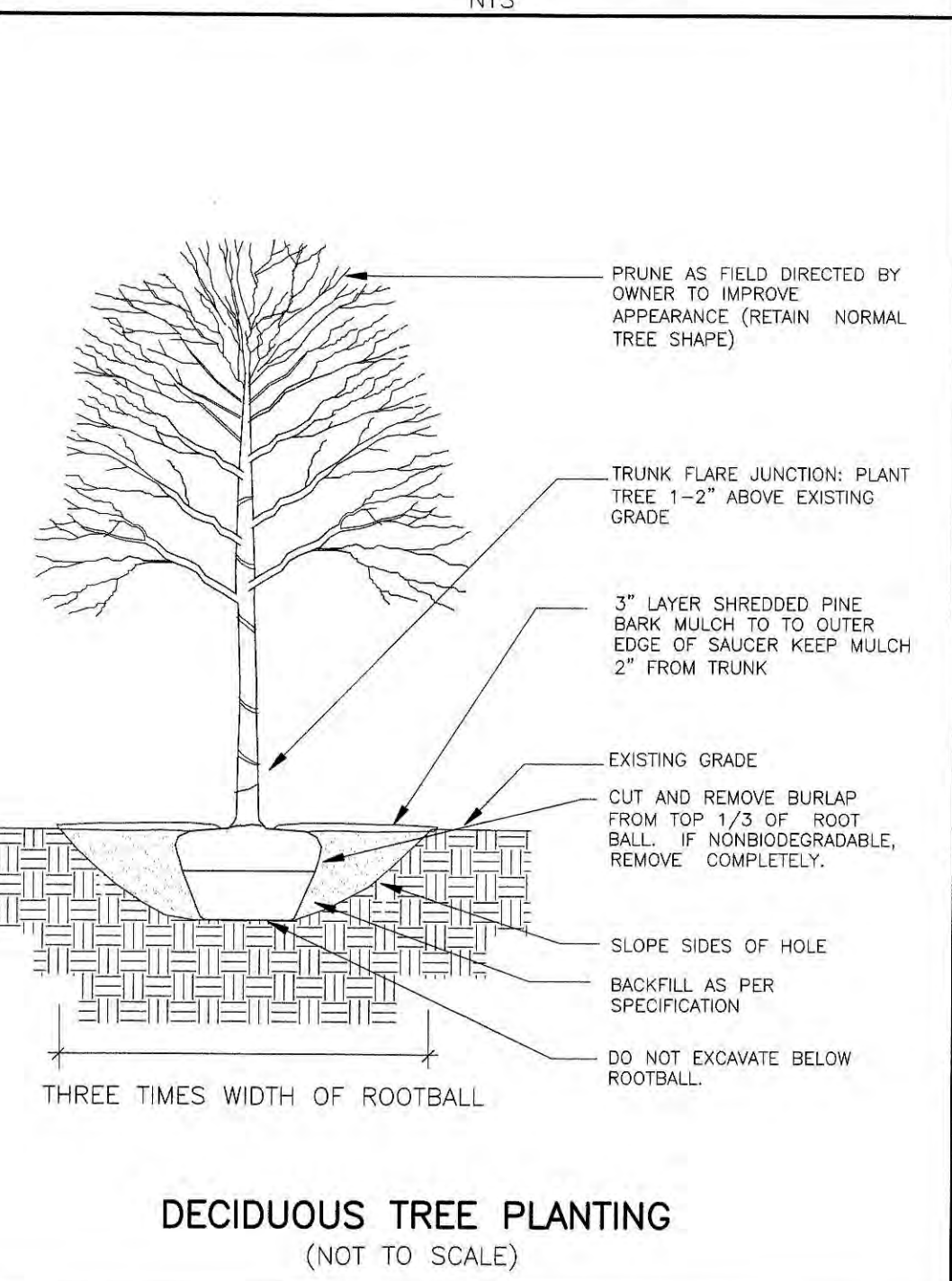
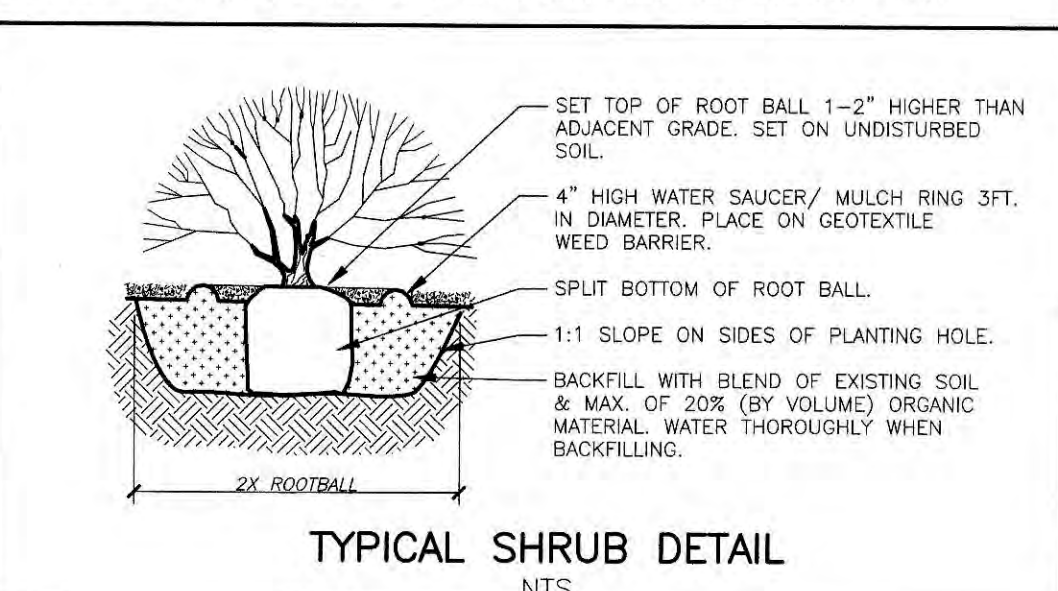
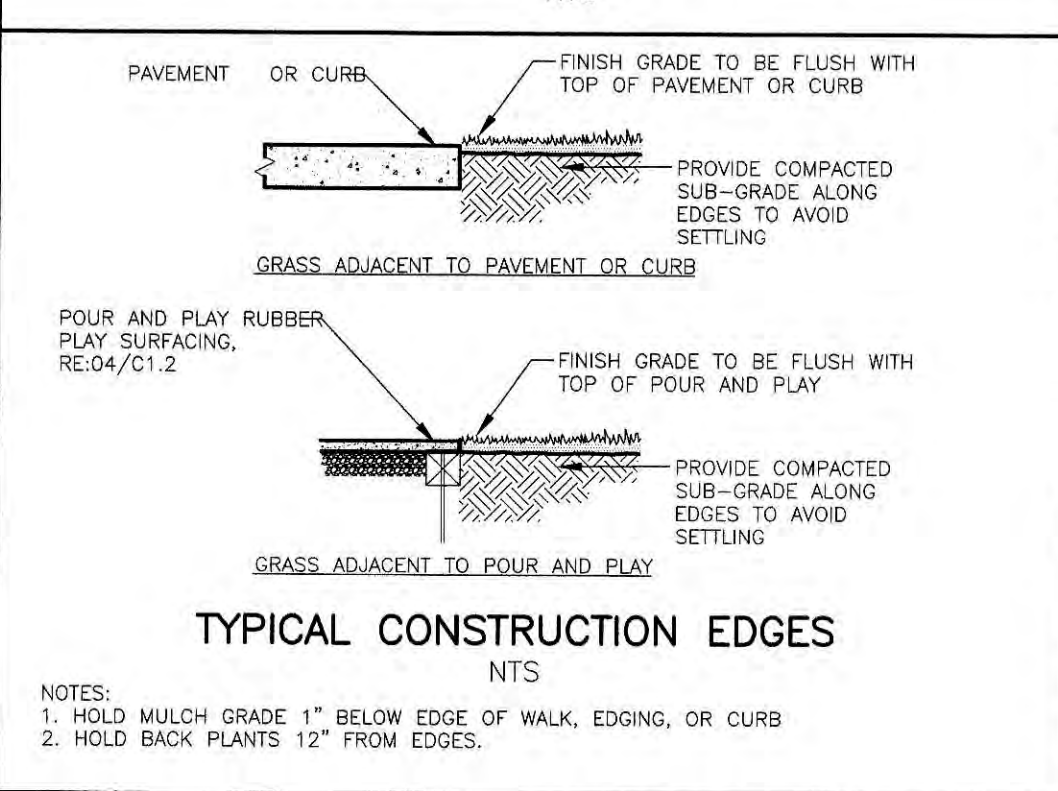


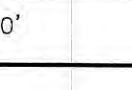


<i>Pyrus</i> species	Peach, Plum, Cherry, Apricot Pearlridge	TOWN OF MILTON STREET/SHADE TREE INFORMATION					
	Peyote (mesquite) Philodendron	TREES MUST BE SELECTED ONLY FROM THE ATTACHED LIST PREPARED BY THE MILTON SHADE TREE ADVISORY COMMITTEE. TREES UNDER THIS PROGRAM ARE ONLY PLANTED DURING THE MONTHS OF SEPTEMBER, OCTOBER, NOVEMBER, AND DECEMBER SO LONG AS WEATHER PERMITS.					
<i>Cornus masculatum</i>	Posion Hemlock, False Parsley Posion Ivy Posion Oak						
<i>Phytolacca americana</i>	Pokeberry, Highberry Poppy (California Poppy exempt) Potato Sprouts Primrose	MILTON STAC RECOMMENDED TREE LIST IS BASED ON THE FOLLOWING CRITERIA:					
<i>Rhododendron</i>	Ranunculus Rhododendron, Azalea	ABILITY TO SURVIVE IN DIFFICULT URBAN CONDITIONS.					
<i>Rheum rhabarbarum</i>	Rhubarb Star of Bethlehem	NATIVE SPECIES (TO ATTRACT NATIVE BIRDS AND BUTTERFLIES) ATTRACTIVE					
<i>Lathyrus odoratus</i>	Sweet Pea	PROVIDES APPROPRIATE LEVEL OF VISIBILITY FOR WALKERS AND DRIVERS					
<i>Monarda</i>	Swiss Cheese Plant, Ceriman Tobacco	DECIDUOUS TREES (NO EVERGREENS INCLUDED DUE TO VISIBILITY AND OTHER ISSUES)					
<i>Parthenocissus quinquefolia</i>	Tomato Vines	AVAILABILITY IN MASSACHUSETTS NURSERIES					
<i>Cicuta maculata</i>	Tulip Virginia Creeper, American Ivy Water Hemlock	SOURCES: ARBOR DAY FOUNDATION, THE LADY BIRD JOHNSON WILDFLOWER CENTER, UMASS URBAN FORESTRY PROGRAM, BOSTON PARKS DEPARTMENT, BROOKLYN BOTANICAL GARDENS, DIRR'S HANDBOOK OF WOODY PLANTS, NYC STREET TREE GUIDE, CORNELL UNIVERSITY HORTICULTURE DEPARTMENT, VARIOUS SHADE TREE COMMITTEES FROM ACROSS MASSACHUSETTS					
<i>Wisteria species</i>	Spotted Cowbane Vateria						
<i>Gelsemium sempervirens</i>	Yellow Jessamine, Carolina Jessamine						
<i>Taxus</i>	Yew (Japanese)						

1. ALL LANDSCAPING WILL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM WHERE APPLICABLE. TREES AND SHRUBS (DIP/BUBBLER) SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS (SPRAY). THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE SYSTEM IS TO HAVE A RAIN SENSOR SHUT-OFF REQUIRED.

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- NOTE: CONFERS W/2' OR LARGER ROOT BALL NEED NOT BE STAKED
- (8" MAX. 1" MIN.)
- HARDWOOD STAKE
DBL. STRAND 12 GA
WIRE W/RUBBER HOSE
6" BELOW TOP OF
STAKE
- 2" MULCH
- CONSTRUCT EARTH
SAUCER AROUND
PLANT (3" HEIGHT)
- 6"
- MIN.
- 6"
- 1"
- PLANTING SOIL
AND FERTILIZER
- GROUND LINE
SAME AS NURSERY
- CONFEROUS TREE PLANTING
(NOT TO SCALE)



W & S WILLIAMS SPARAGES	
LICENSED LANDSCAPE ARCHITECTS STATE OF MASSACHUSETTS SUITE 101 MIDDLETON, MA 01948 PHONE: (978) 339-8088 FAX: (978) 339-8090 WEBSITE: WWW.WSENGINEERS.COM	
Owner/Applicant: Verma Holdings LLC 21 Coach Road North Attleboro, MA 02760 Mobile: 508-7336-1200 sunnyvermahotmail.com	
Designed By: JST Drawn By: JUST Reviewed By: CPS Project Manager: JST Job File Number: MILT--0018A Drawing File Folder: MILT18A	
☐ DRAWING ISSUED FOR REVIEW ONLY ☒ DRAWING ISSUED FOR PERMIT ☐ DRAWING ISSUED FOR CONSTRUCTION	
DATE: SEPTEMBER 7, 2021	
DATE	REVISIONS
 SCALE: 1"=20'	
	
	
LANDSCAPE PLAN THE GODDARD SCHOOL 193 CENTRAL AVENUE MILTON, MASSACHUSETTS	
LANDSCAPE PLAN (13 of 13)	
L1.0	