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Town of Milton

SPECIAL PERMIT, SITE PLAN APPROVAL AND SCENIC ROAD PERMIT

**For Great Estate Planned Unit Development
1672-1726 Canton Avenue
Wolcott Residential, LLC, Owner and Applicant**

Pursuant to Section III, Subsection Q of Chapter 10 of the General Bylaws (Section III, Subsection Q) known as the Zoning Bylaws, after hearing, the Planning Board of Milton, duly constituted as the special permit granting authority, subject to the terms and conditions hereinafter listed, grants a Special Permit for a planned unit development to Wolcott Residential, LLC (hereinafter the "Owner/Applicant") and its successors and/or assigns for a lot of land containing approximately 46 acres known and numbered as 1672-1726 Canton Avenue (the "Property"). Concurrent with this grant of a Special Permit, pursuant to Section VIII.D., the Planning Board grants Site Plan Approval for the planned unit development and a Scenic Road Permit for the removal and replacement of a portion of the stone wall at the main site entrance. The requirements of this Special Permit, Site Plan Approval and Scenic Road Permit (the "Permits") are hereafter set out.

Enforceability and Enforcement

Use of the Permits for creation and maintenance of a planned unit development constitutes and requires acceptance by the Owner/Applicant of the requirements of the Permits. The requirements are independent obligations of the Owner/Applicant and run with the land as obligations of all subsequent owners and lessees and the condominium association and shall be enforceable in court by the Town by an action for specific performance, an action for declaratory judgment and/or an action for damages against Owner/Applicant, its successors or assigns, and upon completion against the condominium association and/or some or all of the owners or lessees of the condominiums in the planned unit development.

Incorporation of Site Plan, Elevations, Floor Plans and Management Plans

The Permits incorporate a plan set entitled "Wolcott Woods, Great Estate Planned Unit Development, 1672-1726 Canton Avenue, Milton, Massachusetts" (the "Site Plan") containing the following sheets, all dated August 31, 2018, revised April 1, 2019:

1. Cover and Index (Sheet C1.1)
2. General Notes, Legend, Symbols & Abbreviations (Sheet C1.2)
3. Existing Conditions Plan (Sheet C2.1-C2.4)
4. Site Layout Plan (Sheet C3.1-C3.4)
5. Grading and Drainage Plan (Sheet C4.1-C4.4)
6. Utility Plan (Sheet C5.1-C5.4 and C5.1 Alt.-C5.3 Alt.)
7. Roadway Plan & Profile (Sheet C6.1-C6.5)
8. Overall Site Cross Sections (Sheet C7.1-C7.5)
9. Demolition Plan (Sheet C8.1-C8.4)

10. Construction Phasing & Erosion Control Plan (Sheet C9.1-C9.4)
11. Construction Details (Sheet C10.1-C10.7)
12. Open Space Area Plan (Sheet OS1.1)
13. Open Space Management Plan (Sheet OS1.2)
14. Landscape Site Plans (Sheets L1.0-L1.4)
15. Entrance Landscape Plan (Sheet L2.0)
16. Devens House Landscape Plan (Sheet L2.1)
17. Manor House Landscape Plan (Sheet L2.2)
18. Typical Unit Landscape Plan (Sheet L2.3)
19. Wolcott House Landscape Plan (Sheet L2.4)
20. Landscape Detail Plans (Sheets L3.0-L3.2)
21. Tree Preservation Plan (Sheet TP)
22. Architectural Design Set (Sheets 1-18)

The documents listed above comprise the Site Plan, which is incorporated into the Permits by reference and made a part of the Permits as Exhibit A and shall be contemporaneously recorded with the Permits at the Norfolk County Registry of Deeds.

In the event of a conflict between any provision of the Site Plan and any provision of this Special Permit, Site Plan Approval and Scenic Road Permit, the provision of this Special Permit, Site Plan Approval and Scenic Road Permit shall take priority.

Determination of Compliance with Standards and Grant of Permits. Section III, Subsection Q, Paragraph 16 of the Zoning Bylaws refers to the general standards set out in Section IX, which are to be employed by the Planning Board in evaluating an application for a special permit for planned unit development. The applicant is required to demonstrate that, in addition to meeting the specific standards in Section III, Subsection Q, as amended through the February, 2019 Milton Special Town Meeting, the special permit may be issued without substantial detriment to the public good and without substantial derogation from the intent and purpose of the bylaw, taking into account appropriate conditions and limitations necessary for the legitimate use of property in the neighborhood and the health and safety of the public. The Planning Board determines that all applicable standards will be met by compliance with the Requirements herein set out. The Planning Board hereby grants the Permits subject to those Requirements. All buildings, infrastructure, roadways, walkways, plantings, earth moving, landscaping and all other features, shall be constructed and maintained as specified. No construction shall deviate substantially from the Requirements without the approval of the Planning Board.

Requirements (the "Requirements" or "requirements"):

1. Authorized Development. These Permits authorize a well-designed multi-unit townhouse development to (i) provide an added diversity of housing types in the Residence AA district attractive to households desirous of downsizing from larger single family dwellings and whose occupancy shall be limited to persons aged fifty-five and over; (ii) provide housing for six (6) households unable to pay full market price in other locations within the Town; (iii) provide dedicated Open Land, including well-maintained protective buffer zones with outstanding landscape design; (iv) permit the maintenance of two (2) pre-1900 historic houses and one (1) pre-1950 house through their conversion into condominium dwelling units; (v) provide quality land planning that preserves view corridors, existing lawns and meadows, wooded areas and natural features; and (vi) provide quality architectural design and ensure long-term preservation and maintenance of the development. The development includes streets, driveways, Open Land and other features. The development shall be

constructed as specified in the Site Plan and in accordance with the Requirements. All notes and specifications appearing on the Site Plan are Requirements unless otherwise herein specified.

2. Traffic Mitigation and Signage. Traffic Mitigation and Signage requirements are specified in the plan attached as Exhibit B which is incorporated herein and made a part hereof.
3. Tree Preservation and Protection Requirements. Tree Preservation and Protection Requirements are specified in the attached Exhibit C which is incorporated herein and made a part hereof.
4. Construction Management and Phasing Requirements. Construction Management and Phasing Requirements are specified in the attached Exhibit D which is incorporated herein and made a part hereof.
5. Standards for Retention of Historic Dwellings. A memorandum, outlining standards for the exterior maintenance of the Devens House, Wolcott House and Manor House has been submitted by the Milton Historical Commission and consented to by the Owner/Applicant, in the attached as Exhibit E which is incorporated herein and made a part hereof.
6. Authorized Development of Buildings.
 - a. The Devens House. Renovation and redevelopment of the building identified on the Site Layout Plan (Sheet C3.2) as “Devens House” (the “Devens House”) into one condominium unit shall conform in all respects to the Site Plan. The appearance of the Devens House and the floor layout shall be as shown on the Architectural Design Set (Sheets 2 and 3). Exterior restoration work shall also conform to the comments contained in Exhibit E. Future modifications to the exterior of the Devens House shall require review and approval of the Planning Board.
 - b. The Devens House Cluster. There shall be 2 single-family townhouse (Type A) units in a small cluster located behind the Devens House. These units (Bldg. #1 and Bldg. #2) shall be located as shown on the Site Plan (Sheet C3.2). The appearance of the new townhouse units and the floor layouts shall be as shown on the Architectural Design Set (Sheets 4-6).
 - c. The Wolcott House. Renovation and redevelopment of the building identified on the Site Layout Plan (Sheet C3.4) as “Wolcott House” (the “Wolcott House”) into one condominium unit with a new attached two car garage shall conform in all respects to the Site Plan. The appearance of the Wolcott House and the floor layout shall be as shown on the Architectural Design Set (Sheets 7_ and 8). Exterior restoration work shall also conform to the Milton Historical Commission’s comments contained in Exhibit E. Future modifications to the exterior of the Wolcott House shall require review and approval of the Planning Board.
 - d. The Wolcott House Cluster. There shall be 11 units in single (Type A) and two-family (Type BC and BD) townhouses in a cluster located proximate to the Wolcott House. The units (contained in Bldg. #8, Bldg. #9, Bldg. #10, Bldg. #13, Bldg. #14, Bldg. #15 and Bldg. #16) shall be located as shown on the Site Plan (Sheet C3.4). The appearance of the new townhouse units and the floor layouts shall be as shown on the Architectural Design Set (Sheets 9-11, 16 and 17).

- e. The Manor House. Renovation and redevelopment of the building identified on the Site Layout Plan (Sheet C3.1) as “Manor House” (the “Manor House”) into two condominium units with two new attached two-car garages shall conform in all respects to the Site Plan. The appearance of the Manor House and the floor layout shall be as shown on the Architectural Design Set (Sheets 12-14). Exterior renovation work shall also conform to the Milton Historical Commission’s comments contained in Exhibit E. Future modifications to the exterior of the Manor House shall require review and approval the Planning Board.
- f. The Manor House Cluster. There shall be 2 single-family townhouse (Type A and C) units in a small cluster located behind the Manor House. The units (contained in Bldg. #3 and Bldg. #4) shall be located as shown on the Site Plan (Sheet C3.1). The appearance of the new townhouse units and the floor layouts shall be as shown on the Architectural Design Set (Sheet 15).
- g. Upper Meadow and Various Wooded Locations. There shall be 35 units in 5 single-family townhouses (Type A and C) and 15 two-family townhouses (Type BC, BD and CD) within the Upper Meadow and other wooded areas of the site. The units (contained in Bldg. #5, Bldg. #6, Bldg. #7, Bldg. #11, Bldg. #12, Bldg. #17, Bldg. #18, Bldg. #19, Bldg. #20, Bldg. #21, Bldg. #22, Bldg. #23, Bldg. #24, Bldg. #25, Bldg. #26, Bldg. #27, Bldg. #28, Bldg. #29, Bldg. #30 and Bldg. #31) shall be located as shown on the Site Plan (Sheets C3.3 and C3.4). The appearance of the new townhouse units and the floor layouts shall be as shown on the Architectural Design Set (Sheets 9-11, 16 and 17).
- h. The Mail Station Building. Development of a small “Mail Station Building” containing approximately 121 square feet designed to house mailboxes for the units and a closet containing control panels for the Property’s utility, irrigation and lighting systems, identified on the Site Layout Plan (Sheet C3.1), which shall conform in all respects to the requirements of these Permits. The Mail Station Building of a traditional design with traditional materials shall be located as shown, proximate to the intersection of the main entry road and the upper loop roadway; its appearance shall be as shown on the Architectural Design Set (Sheet 18). There shall also be a small parking area for 4 vehicles proximate to the Mail Station Building.
- i. Housing Types/Accessible Units. These Permits authorize two (2) housing types on site. The first shall be condominium units contained in the Manor House, Wolcott House and Devens House, structures that will be retained, renovated and converted to either single or two-family use. New garages shall be added to the Wolcott House and Manor House. There shall also be 12 units in single-family style, free-standing buildings, and 38 units in 19 two-family townhouse buildings for a total of 31 new buildings. Each townhouse unit shall contain an attached one-or two-car garage. All townhouse units shall be developed as condominium units and each unit shall be separately owned and occupied, provided that the owner of one unit who occupies such unit may own one or more other units. Five percent of the units (3 units) shall be handicapped accessible. The accessible units shall be developed at the same rate as the balance of the units (i.e., one (1) accessible unit shall be developed for every 18 units).
- j. Number of Units; Setbacks. These Permits authorize 54 dwelling units on the site. The setbacks of buildings from the front and side lot lines as shown on the Site Plan exceed the minimum requirement of 250’ and 175’, respectively. The 2 new units in the Devens House Cluster shall be set back at least 250’ from the site’s frontage on Canton Avenue.

The remainder of the new townhouse units shall be set back at least 550' from such frontage. All buildings shall be set back at least 100' from the rear lot line.

- k. Height. The Manor House, Devens House and Wolcott House shall be re-developed at their existing heights. All other buildings shall not exceed a height of 35 feet above mean finished grade as shown on the Site Plan and as subject to requirements of paragraph 19 herein, or contain more than 2 stories, exclusive of their basements, which may be finished. The term "story", as used in this Permit, shall not include a basement so long as the final finished floor heights and finished grades are substantially in conformance with those shown on the Site Plan. Any accessory buildings shall not exceed a height of 20 feet or contain more than one story.
- l. Living Area and Numbers of Bedrooms. There shall be no more than 140 bedrooms in the development with an average of no more than 2.6 bedrooms per unit. Unit 1 in the Manor House shall contain approximately 3,275 square feet of living area and 2 bedrooms. Unit 2 in the Manor House shall contain approximately 2,850 square feet and 2 bedrooms. The Wolcott House and the Devens House shall be developed to contain their existing living areas and there shall be 3 bedrooms in each. New townhouse units shall contain no more than 3,600 square feet of living area, including area within a finished basement. New townhouse units shall each contain a master bedroom on the first floor and may contain one or two bedrooms on the second floor.
- m. Building Design: General. The Planning Board finds that the Site Plan meets the requirements of the Design Standards for Buildings contained within the bylaw. The architectural plans provide a significant variation of design through the use of different combination of unit types, forms, garage door styles, materials and colors. Any change to the architectural design of the buildings shall be subject to review and approval of the Planning Board prior to issuance of building permits.
- n. Building Design: Garages. Some of the garages in the new townhouse buildings will have a degree of prominence when viewed from the new roadway. In particular, garage doors in duplex units in Bldg. #5, Bldg. #6, Bldg. #7, Bldg. #11, Bldg. #12, Bldg. #13, Bldg. #16, Bldg. #20, Bldg. #21, Bldg. #23, Bldg. #24, Bldg. #29, Bldg. 30 and Bldg. #31 generally face the roadway and have the potential to take on an unintended prominence relative to their buildings. The Planning Board recognizes that the roadways are curvilinear in nature, both vertically and horizontally, such that the garages will not form an unbroken plain massed along the roadway edge. In addition, the Landscape Plan fills in street edges with trees and other plantings that work in harmony with the architecture.
7. Site Plan Design. The Planning Board finds that the Site Plan meets the requirements of the Site Plan Design Standards contained within the bylaw. Street layouts take into account the existing historic structures to be preserved, the existing terrain and significant landscape features, including mature trees, groves of trees, meadows and lawns. The groupings of townhouses are located in a manner compatible with the terrain and the existing structures to remain.
8. Streets. These Permits authorize the construction and maintenance of one new roadway. The new roadway will enter the site at a location that is approximately 220' south of the existing middle driveway and will loop through the upper portion of the site, as shown on the Site Plan. The new roadway shall be set back not less than 125' from a side lot line and by not less than 50' from the rear lot line. The existing middle driveway shall be eliminated and the

stone wall opening shall be closed with stone that will be removed to create the opening for the new roadway. The development shall retain the existing driveway to the Manor House, which shall be limited to pedestrian and emergency vehicle access only. The Manor House driveway shall be gated and signed at a location below the Manor House for this purpose. In addition, the driveway that serves the Wolcott House and the abutting property at 1776 Canton Avenue shall be disconnected above the driveway spur to the abutting property. The new roadway and the driveway to the Manor House shall be private ways owned and maintained in good condition by the condominium association in accordance with the specifications of the Site Plan.

The bylaw authorizes the Planning Board to waive requirements of “The Rules and Regulations of the Planning Board Governing the Subdivision of Land and the Laying Out of Ways” based on sound planning considerations.

Canton Avenue is a scenic road and is bordered by a stone wall and wooded areas substantially along the entire frontage of the site. The site itself contains several historic structures and was a significant contributor to the Town’s agrarian history. The property abuts the Blue Hill Reservation and contains significant meadows and wooded and other pastoral features that contribute to a rural appearance. The new roadway will be a private way, intended for the use of unit owners, service providers, guests and invitees and emergency vehicles. Except for its initial entry from Canton Avenue, the roadway will be largely out of sight from outside of the property. There are no sidewalks on this section of Canton Avenue and the use of granite and similar curbing is varied along Canton Avenue and on other neighborhood streets in this part of the Town. The new roadway is designed as a rural local street. It will meander through the site with significant vertical and horizontal transitions as it rises from Canton Avenue to the area proximate to the upper boundary of the site with the Blue Hill Reservation.

Considering the foregoing and other relevant circumstances, the Planning Board approves the following waivers from the Rules and Regulations: roadway width, single sidewalk and curbing. The roadway will have 24’ of pavement at the site entry narrowing to 22’ throughout the balance of the site. There will be vertical granite curbing (“VGC”) on both sides of the roadway from Canton Avenue to the point where the roadway tapers to 22’ (Station 1+64.09), with VGC also placed at the two crossings of the intermittent stream. The VGC will transition to Cape Cod berm through the remainder of the site. The Cape Cod berm, as detailed on Sheet C10.1, will serve to contain stormwater on the roadway as part of the stormwater management system for the development. There will be a sidewalk on one side of the roadway extending from a pervious walking path that meanders along Canton Avenue inside of the stone wall. The sidewalk will parallel the roadway and connect throughout the remainder of the site. The Milton Fire Chief and the Town Engineer have reviewed the roadway design, including the number and locations of hydrants, and found the design to be satisfactory for public safety access. There will be 4 hydrants at locations shown on the Site Plan (Sheets C5.2, C5.3 and C.5.4).

In determining whether to grant waivers, the Planning Board has considered the following factors:

- (i) Preservation of natural resources
- (ii) Topography and the desire to minimize cuts and fills
- (iii) Environmental values
- (iv) Scenic and aesthetic characteristics
- (v) Historical values

- (vi) Public Safety
- (vii) Possible compensatory actions
- (viii) Sound planning considerations

Considering the foregoing, the comments of the Town's Town Engineer and the Town's peer review consultant and the other relevant circumstances, the Planning Board approves the following waivers from the Rules and Regulations for the construction of the new roadway:

- a. Design Speed – Section 6.1.1. The design speed for the roadways shall be 15 miles per hour; the design is adequate for such a speed.
- b. Longitudinal Grades – Section 6.1.7. The minimum grades for longitudinal curves in the roadway as shown (8% feet) are adequate for roadways with a design speed of 15 miles per hour.
- c. Intersection – Section 6.1.16. The grades at the internal intersection of the main roadway and the upper loop shall be 3.23% and 6.63%.
- d. Cross Section – Section 7.4.1. Pavement widths of twenty-two (24) feet at the entry from Canton Avenue, tapering to twenty (22) feet through the site are adequate. Specifications for the roadways and their construction are adequate.
- e. Crown – Section 7.4.3.4. A 4" crown (3.0% slope) for the roadway is adequate.
- f. Surface Treatment – 7.4.3.7. Pavement thickness of the roadways to be constructed with 4" of bituminous concrete is adequate, provided that there shall be two lifts of pavement – 1½" of top course over 2½" of binder course.
- g. Curbing – Section 7.4.4.2. Installation of Cape Cod berm for the edging through the majority of the site is appropriate. Vertical granite curb shall be used from the site entry from Canton Avenue to Station 1+64.09 (as shown on Sheet C3.2), at the intersection of the main roadway to the upper loop and at the two crossings of the intermittent stream.
- h. Sidewalks – Section 7.4.5.1. A single sidewalk shall be installed on one side of the new roadway connecting from the walking path proximate to the site entry and looping through the entire site.
- i. Sidewalk Cross Slopes – Section 7.4.5.2. Construction of sidewalks with cross slopes of 2% is adequate.
- j. Grass Strip; Tree Planting – Section 7.4.6.1. Grass strips installed between the roadway curbing and sidewalks with a width of 4 feet are adequate. Street trees shall be installed as shown on the Landscape Plan (Sheet L1.1-L1.4), not within the grass planting strip. The Owner/Applicant has presented an integrated street tree layout plan, which identifies a total 171 street trees. It includes a combination of shade trees, evergreen trees, understory and ornamental shrubs infilled as shown.
- k. Grass Strip Loam Thickness – Section 7.4.6.2. Loam in the grass strips to be installed at a thickness of 6" is adequate.
- l. Location of Mains – Section 7.5.2. Location of the water mains, which vary in distance from the roadway center lines, is adequate.
- m. Water System Gate Valves – Section 7.5.4. Gate valves to be located at intersections only are adequate.

- n. Storm Drain Pipe – Section 8.2. Use of high density polyethylene (HPDE) pipe for the storm drain system is adequate. Minimum pipe cover of 1.5' at the low point proximate to the site entry is also adequate.
- o. Street Lighting – Section 10.4. Street lights, as shown on the Lighting Plan, to be installed at a height of 12.5' (2.5' units on 10' poles) are adequate.

In finding the foregoing measures to be adequate, the Planning Board further deems them to be desirable and appropriate and deserving of the requested waivers which are accordingly granted.

- 9. Open Land. In accordance with the Bylaw, a minimum of 60% of the site (approximately 27.6 acres), exclusive of wetlands, shall be dedicated as permanent Open Land in accordance with the following hierarchy of permitted and prohibited uses as are authorized by the Bylaw, based in part on their location relative to setbacks from Canton Avenue and abutting properties and as shown on the Open Space Plan (Sheet OS1.1):
 - a. Within the area shown as the No Disturbance Zone (75') on all sides of the property, land use activities shall be limited to the abandonment and subsequent infill of the existing middle driveway and construction of a new main roadway connecting to Canton Avenue, associated support infrastructure, including but not limited to installation and maintenance of stormwater detention structures for the new roadway, installation and connection of utilities (water, sewer, electric, etc.) for the new roadway and the Project, the construction and maintenance of a pervious walking path running parallel to Canton Avenue inside the stone wall, entry landscaping, signage and lighting, construction and maintenance of the new loop roadway in the upper portion of the site to the extent shown in the Site Plan, and the removal of dead, dying or invasive vegetation. The owner/applicant shall be authorized to remove up to thirty (30) trees measuring no larger than 6" DBH associated with the installation of the walking path along Canton Avenue.
 - b. Within the area shown as the No Building Zone (250'), activities shall be limited to the construction of the new main roadway and associated utility infrastructure, the removal and infill of the existing middle driveway, the installation of stormwater detention structures, the installation and coursing of other Project-required utilities, periodic mowing/maintenance of the Manor House Lawn and the Devens Meadow, and maintenance and infill of the Pine Grove located to the southwest of the new main access roadway.
 - c. Within the area shown on the southwesterly side as the Neighborhood Perimeter Buffer (125'), activities shall be limited to removal and infill of that portion of the existing driveway to the Wolcott House that is located above the driveway spur to the 1776 Canton Avenue property. The Beech Grove and Pine Woods shown within the Buffer shall be retained in their existing condition.
 - d. Within the area shown on the northeasterly side as the Neighborhood Perimeter Buffer (125'), activities shall be limited to removal and infill of an old non-functional tennis court, a dwelling and freestanding garage structure, the planting of new vegetated buffer screening, the maintenance of the intermittent stream (as such may be approved by the Conservation Commission in its regulatory capacity), and preservation of the Esker and Esker Woods. The Upper Woods and the Upper Woods Path areas shall be retained in their existing condition.

- e. Within the Rear Setback Area (50') activities shall also be limited to the installation and maintenance of a trail head accessing the abutting DCR lands to the Carberry Trail in accordance with DCR specifications. The Upper Woods areas shall be preserved in their existing conditions. The Intermittent Stream shall also be maintained (as may be approved by the Conservation Commission in its regulatory capacity).
 - f. Within the remainder of the Open Land, all reasonable steps shall be taken to minimize the impacts to the Open Land. Significant Trees and groves of trees, including the Center Woods and Pine Grove areas, shall be retained and preserved unless deemed to be a public threat or nuisance. Underground utilities, including sewer and stormwater detention structures are permissible, but shall be sited to avoid impacts to such trees and groves in accordance with the provisions of Exhibit C. The Manor House Lawn, the Devens Meadow and the Upper Meadow will undergo periodic mowing and maintenance. Two-rail, split-rail natural wood fencing shall be used at all areas where fencing is proposed along the Devens Meadow and Upper Meadow. Stone walls that exist throughout the site shall be maintained.
 - g. Conservation Restriction. The Owner/Applicant shall establish a conservation restriction ("Conservation Restriction") over the Open Land substantially in the form attached as Exhibit F, and which form shall be approved by the Secretary of the Executive Office of Energy and Environmental Affairs and Town Counsel. Care, custody and control of the Conservation Restriction shall be granted to and held by the Milton Conservation Commission.
10. Tree Preservation and Protection Requirements. Exhibit C sets out Tree Preservation and Protection Requirements ("TPPR"), which are attached and incorporated into these Permits. The TPPR include measures to be taken with respect to Significant Trees and groves of trees together with various procedures, personnel requirements, requirements for new landscape plantings and disposal of plant materials no longer of use to the development. In order to document compliance with the Requirements, the Owner/applicant shall take and provide "screen grabs" from Google Earth of each section of the property prior to the commencement of construction activity within each such section as well as "screen grabs" of each section upon completion of construction activities. In addition, any penalty that may be assessed by reason of a failure to comply with the TPPR, shall be paid forthwith by the Owner/Applicant to the Town for deposit into the Cooperative Tree Planting Account Fund. Issuance of Certificates of Occupancy for each phase shall be withheld by the Building Commissioner until all assessed penalty fees are paid.
11. Street Trees. In addition to the preservation of existing trees, the Owner/Applicant has proposed to install 171 new street trees in varieties and locations shown on the Landscape Plan (Sheet L1.0 – L1.4). The Owner/Applicant shall install such number. The Owner/Applicant shall provide and install 25 additional shade trees at locations to be determined by the arborist as construction progresses. Thereafter, the condominium association shall maintain the street trees and replace any such street trees that may fail to survive.
12. Sidewalks and Walking Path. The sidewalks shall be constructed and loop through the property along the entire length of the new roadway, as shown on the Site Plan. There shall also be a walking path made of permeable materials, which shall meander through the 75' Non-Disturbance Zone along the frontage of the property, as shown on the Site Plan between the Manor House Drive and the driveway to 1776 Canton Avenue. They will provide safe, convenient and accessible sidewalks and walkways for pedestrian traffic within the development and for pedestrian traffic accessing Canton Avenue, a scenic way which lacks

sidewalks at this location. The condominium association shall keep these sidewalks and walkways conveniently passable in winter months.

13. Walls. There are several locations in the site where retaining walls shall be used in order to minimize the volume of material that may be cut or filled in order to facilitate construction of the roadway, in particular in the area proximate to Bldg. #26 – Bldg. #31. The Planning Board understands that there is also a need for walls at the two crossings of the intermittent stream. The Board finds that the crossings are in the nature of bridge structures and as such are not considered retaining walls with respect to this bylaw. In those two cases, the Applicant may use pre-cast blocks with chiseled granite finishes as shown in the Site Plan (Stone Strong Systems, or equal). All retaining walls, for whatever purpose, may be of concrete or other structural materials, but shall be faced with natural stone in compliance with the bylaw.

At the site of the existing driveway to be removed, stone wall infill shall utilize stones removed from the existing wall to accommodate the new roadway. Any new stones and mortar shall match existing stones and mortar for size, shape, and color.

14. Parking. The development shall have two hundred twenty-five (225) parking spaces. There shall be two (2) parking spaces in each attached garage (108 spaces) plus two (2) spaces in each driveway (108 spaces), as well as five (5) visitor spaces located at the Carberry Trail trailhead to the rear of the site and four (4) spaces proximate to the Mail Station Building. Any unregistered or inoperable vehicles shall be garaged. Parking of commercial vehicles and/or the storage of vehicles, boats, trailers, equipment, or materials for more than one day at a time shall not be permitted.
15. Signs, Traffic Mitigation. Signs controlling on-site traffic and parking and stating the names of streets and numbers of the dwelling units shall be permitted. There may also be a pair of signs at the entrance identifying the development as “Wolcott Woods”, which may be chiseled into the stone pillar caps at either side of the site entrance. Traffic signs and other signal improvements shall be installed at the roadway intersection with Canton Avenue as well as on Canton Avenue between Brush Hill Road and Blue Hills Parkway/Unquity Road in accordance with Exhibit B. The Owner/Applicant shall also make a mitigation payment to the Town for deposit into the Traffic Safety and Infrastructure Revolving Fund in the amount of Twenty-Seven Thousand (\$27,000.00) Dollars. Said payment shall be made on or before the issuance of a certificate of occupancy for the first unit.
16. Construction Management and Project Phasing. For the purposes of these Permits, the definition of “clearing” shall be: removal or causing to be removed, through either direct or indirect actions, trees, shrubs, and/or topsoil from the site, or any material change in the use or appearance of the Property. Actions to be considered clearing include, but are not limited to: causing irreversible damage to roots or trunks; destroying the structural integrity of vegetation; and/or any filling, excavation, grading or trenching in the root area of a tree which has the potential to cause irreversible damage. Exhibit D sets out Construction Management & Phasing Requirements. These requirements establish numerous mandatory construction and construction management procedures. In addition, these requirements establish a phasing schedule for construction of the project. The phasing schedule provides for the limited clearing, filling and other site preparation needed for the construction of the roadway as well as limited clearing, filling and other site preparation for other approved site features for construction of townhouse units in a sequenced schedule over the course of several years. A Construction Management and Phasing Schedule is included as part of

Exhibit D. Phased construction shall proceed in accordance with that schedule as it may hereafter be revised with notice to the Planning Board.

17. Utilities, Water & Sewer. Utility infrastructure and water and sewer systems shall be installed in strict accordance with the specifications and requirements contained in the Site Plan. The water system shall be installed by the Owner/Applicant at its expense to create a loop through the site, with the preferred loop including a connection to the water line installed in Carberry Lane pursuant to an easement owned by the Town for that purpose (as shown on Sheets C5.1 Alt., C5.2 Alt. and C5.3 Alt.). The developer shall use this water design unless otherwise directed by the Town Engineer. If so directed and in the alternative, the water line will loop through the site from Canton Avenue at the main site entrance (as shown on Sheets C5.1, C5.2 and C5.3). The water system shall be owned and maintained by the Town. The Owner/Applicant shall also install at its expense a sewer line connecting to a new sewer line to be installed within Canton Avenue and connecting to existing sewer within Brush Hill Road. The onsite sewer line shall be owned and maintained by the condominium association. The offsite sewer line shall be installed by the Owner/Applicant at its expense in Canton Avenue, Brush Hill Road and Blue Hill Avenue, and will be owned and maintained by the Town upon verification by the Town that said offsite sewer line has been installed in accordance with Town specifications. Minor non-material changes, approved by the Director of Public Works with notice to the Planning Board, shall be permissible.
18. Drainage. Drainage/stormwater detention systems shall be installed in strict accordance with the specifications and requirements contained in the Site Plan. Minor, non-material changes, approved by the Director of Public Works with notice to the Planning Board, shall be permissible. The system shall include an open retention basin proximate to the site entry and abutting the walking path between the new site driveway and the driveway to 1776 Canton Avenue. A safety fence shall be installed and comprised as follows: there shall be a split rail fence backed with a black wire mesh fence that will extend along the new roadway, along the new walking path and along the edge of the driveway to 1776 Canton Avenue. On the meadow (uphill) side of the basin, the black wire mesh fence will continue along the tree line and be mounted on black metal posts with no top rail.
19. Grading. For the purposes of these Permits, the definition of “grading” shall be: any excavating, filling, clearing, or the creation of impervious surface, or any combination thereof, which alters the existing surface of the Property. The Board recognizes the significant grade changes of the site, noting that it rises in elevation by 150’ from its low point proximate to the Manor House Drive to a high in the area abutting the Blue Hill Reservation. The Owner/Applicant has carefully prepared grading plans that are designed to minimize the cuts and fills necessary for the roadway infrastructure and for individual foundations for new townhouses. The Site Plan establishes proposed grades for each new building; changes to proposed grades therein in excess of two feet that may be required for particular buildings shall be subject to review and approval of the Planning Board prior to issuance of building permits.
20. Maintenance Responsibilities. The exterior of the buildings, streets, guest parking areas, sidewalks, walkways, Open Land, utility infrastructure, water and sewer infrastructure, drainage infrastructure, and fencing shall be maintained in good repair and condition by the Owner/Applicant and upon completion thereafter by the Condominium Association. Surfaces shall be kept free of graffiti. The Owner/Applicant and thereafter the condominium association shall provide for appropriate plowing and snow and ice removal services. They shall provide for regular refuse and garbage removal at least weekly and for regular collection of recyclable materials. They shall provide for proper care of the landscaping, including watering and pruning as necessary, grass cutting, weeding, removal and

replacement of dead, diseased or badly damaged plantings, and establishment of new plantings to meet requirements of the Site Plan. They shall keep common areas lit at night as provided in the Site Plan. The Town of Milton shall not be responsible to perform any such maintenance (without making a specific provision to do so) and shall not be responsible to pay for any such maintenance but may compel the Owner/Applicant or, upon completion, the condominium association to provide necessary maintenance if it has failed to meet these responsibilities.

21. Affordable Housing. In addition to the 54 new units authorized by these Permits, the Owner/Applicant shall develop 6 units for low or moderate income households (“affordable units”) as defined in M.G.L. Chapter 40B, Section 20 and pertinent regulations of the Massachusetts Department of Housing and Community Development (“DHCD”). Each affordable unit may be developed offsite and may be located within single or two-family dwellings in other areas of the Town of Milton; provided that each unit contains at least 2 bedrooms, kitchen, dining area, living room and at least one bathroom in a living area of at least 1,250 square feet and each unit is in full compliance with building, sanitary and health code requirements. Affordable units shall be developed at the same pace, or sooner, as the units are developed onsite (i.e., one affordable unit shall be developed for each 9 units on site). Perpetual deed restrictions shall restrict sale and resale of these units to households of which the annual income at the time of sale or resale is less than 80% of median income, adjusted for household size, as determined by the U.S. Department of Housing and Urban Development for the Boston metropolitan area. These households shall also be subject to such reasonable asset restrictions at a time of sale or resale as applicable rules or regulations may require. Occupancy of the housing unit shall be restricted to the household to which it has been sold provided that changes in household composition permissible under applicable program rules or as approved by the monitoring agent, shall be permitted.

Each affordable unit shall qualify for inclusion and shall be included on the Subsidized Housing Inventory (“SHI”). It shall be the Owner/Applicant’s obligation and responsibility to secure approval from DHCD for inclusion of the unit on the SHI prior to any sale of the unit, and the Building Commissioner shall not issue occupancy permit for the six affordable units unless and until the approval of DHCD has been issued. In no event shall the units be sold prior to their being approved by DHCD for inclusion on the SHI, and any such sale shall be void, as well as a material breach of the Permits.

The six affordable units shall be subject to a regulatory agreement which shall specify the requisite qualifications of the buyers of the affordable units and the manner by which buyers will be selected; the regulatory agreement shall also contain provisions for effective monitoring and enforcement of a deed restriction, including qualification and selection of buyers on sale and resale. The regulatory agreement shall provide for a lottery to select the initial and subsequent buyers, of whom the maximum legally permissible number shall be residents or Town employees and shall be recipients of a resident preference in their selection as buyers. The Town of Milton may be sufficiently diverse so that the selection pool of applicants can be confined to Milton residents and Town employees and, if so, it shall be so confined. The Owner/Applicant shall take reasonable steps to secure approval of the highest possible preference for residents and Town employees.

The regulatory agreement shall be signed by the Owner/Applicant, by the monitoring agent who will be in charge of buyer selection, monitoring and enforcement, and by the Town pursuant to authorization from the Select Board. In addition, the regulatory agreement may be signed by a state or federal subsidizing agency. The deed restriction ensuring affordability on sale and resale shall be recorded and enforceable by the Town, any subsidizing agency and the monitoring agent. The deed restriction and regulatory agreement

shall specify the manner of determination of the price on both sale and on resale, which may include a fee from the proceeds of sale or resale in order to compensate the monitoring agent. The fee shall not exceed the amount permissible under any applicable program rules.

It shall be the responsibility and obligation of the Owner/Applicant to secure the services of a qualified monitoring agent and to do all that is necessary for preparation of a regulatory agreement and deed restriction satisfactory to all parties, including the Town through Town Counsel.

In order to secure approval from DHCD for inclusion of the units on the SHI, Applicant may, with the cooperation of the Town, seek to secure DHCD's certification of the units as "Local Action Units" under DHCD's "Local Initiative Program" ("LIP"). It shall be Applicant's responsibility to secure approval from the Select Board for any requisite commitments and undertakings by the Town under LIP. Nothing in this document is intended to be or shall be interpreted as a requirement that the Select Board shall approve or support any such request for inclusion or certification.

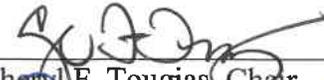
22. Association of Condominium Owners. The units shall be condominium units, and there shall be an association of the owners of these condominium units (the "Condominium Association"). Each owner of a condominium unit shall be a member of the association and shall be obliged to pay a proportionate share of the expenses of the association. Upon creation of the Condominium Association, the Condominium Association shall assume liability for performance of all these duties and responsibilities and shall be legally liable therefor.
23. Condominium Documents. Condominium documents establishing the association of condominium owners and its rights and responsibilities shall be submitted to and subject to approval of Milton Town Counsel and Planning Board prior to the issuance of an occupancy permit for the first completed unit. The condominium documents shall impose an unconditional legal obligation for each condominium owner to be a member of the association and to pay a proportionate share of the expenses of the association, including the costs of meeting the Requirements and performing the obligations imposed on the Owner/Applicant by these Permits. The Town shall be entitled to enforce any such requirement or obligation in these Permits, not only against the Owner/Applicant and the association of condominium owners, but also against the condominium owners if the association is not reasonably able to meet the requirement or satisfy the obligation. In the event that the Town is obliged to bring suit to secure compliance by the association with the requirements and obligations of these Permits and the Town is successful in such suit, the association shall reimburse all costs of suit, including the Town's attorney's fees. The condominium owners shall be obliged to provide such reimbursement if the association shall fail to do so. The condominium documents shall provide for the foregoing.
24. Commencement and Completion of Construction. Construction shall be commenced within one year from the date when these Permits become final and shall be substantially completed within six (6) years from that date, unless the date is extended by the Planning Board.
25. Amendment. These Permits may be amended by the Planning Board upon application of the Owner/Applicant or its assignee during construction and, following completion, upon application by the association of condominium owners. Applications for substantial amendment shall be subject to the usual requirement for notice, including advertising and a hearing. Applications for insubstantial amendment shall be subject to such notice as the Planning Board deems reasonable but shall include notice to abutters, the Blue Hill Neighborhood Association (or successor association), and the Select Board. In the event that any board member or interested entity notifies the Board that the amendment is substantial, it shall be so treated.

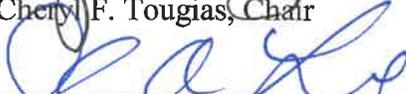
26. Recording. These Permits, including the Site Plan, or any amendment shall be recorded with the Norfolk County Registry of Deeds by the Owner/Applicant at its own expense within thirty days from the date when such Permits or amendment becomes final and a copy of the recorded document with recording information shall be provided to the Town Planner. There shall be a marginal reference in the deed of the Owner/Applicant to these Permits.

[The remainder of this page is left intentionally blank.]

Executed at Milton, Massachusetts this 25th day of April, 2019.

Planning Board of Milton


Cheryl F. Tougias, Chair


April A. Lamoureux, Secretary

Bryan W. Furze


Denise R. Swenson


Richard J. Boehler

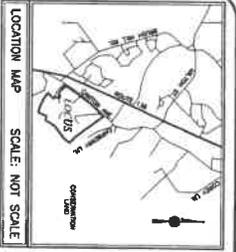
Exhibits:

- | | |
|-----------|---|
| Exhibit A | Site Plan |
| Exhibit B | Traffic Mitigation Signage Plan |
| Exhibit C | Tree Preservation and Protection Requirements |
| Exhibit D | Construction Management and Phasing Requirements |
| Exhibit E | Standards for Retention of Historic Dwellings |
| Exhibit F | Draft Conservation Restriction |
| Exhibit G | Color and Material Boards |
| Exhibit H | Other Plans and Reports on file with the Application with the Town of Milton Planning Department |

EXHIBIT A
SITE PLAN

Site Plan entitled “Wolcott Woods, Great Estate Planned Unit Development, 1672-1726 Canton Avenue, Milton, Massachusetts” (the “Site Plan”) containing the following sheets, all dated August 31, 2018, revised April 1, 2019:

1. Cover and Index (Sheet C1.1)
2. General Notes, Legend, Symbols & Abbreviations (Sheet C1.2)
3. Existing Conditions Plan (Sheets C2.1-C2.4)
4. Site Layout Plan (Sheets C3.1-C3.4)
5. Grading and Drainage Plan (Sheets C4.1-C4.4)
6. Utility Plan (Sheets C5.1-C5.4 and C5.1 Alt.-C5.3 Alt.)
7. Roadway Plan & Profiles (Sheets C6.1-C6.5)
8. Overall Site Cross Sections (Sheets C7.1-C7.5)
9. Demolition Plan (Sheets C8.1-C8.4)
10. Construction Phasing & Erosion Control Plan (Sheets C9.1-C9.4)
11. Construction Details (Sheets C10.1-C10.7)
12. Open Space Area Plan (Sheets OS1.1)
13. Open Space Management Plan (Sheet OS1.2)
14. Landscape Site Plans (Sheets L1.0-L1.4)
15. Entrance Landscape Plan (Sheet L2.1)
16. Devens House Landscape Plan (Sheet L2.2)
17. Manor House Landscape Plan (Sheet L2.3)
18. Wolcott House Landscape Plan (Sheet L2.4)
19. Landscape Detail Plans (Sheet L3.0-L3.2)
20. Tree Preservation Plan (Sheet TP)
21. Architectural Design Set (Sheets 1-18)



WOLCOTT WOODS

GREAT ESTATE PLANNED UNIT DEVELOPMENT

1672-1726 CANTON AVENUE
MILTON, MASSACHUSETTS

AUGUST 31, 2018
REVISED: APRIL 1, 2019

| SHEET | DESCRIPTION |
|------------|---|
| C11 | COVER AND INDEX |
| C12 | GENERAL NOTES, LEGEND, SYMBOLS & ABBREVIATIONS |
| C21-24 | EXISTING CONDITIONS PLAN |
| C31-34 | SITE LAYOUT PLAN |
| C41-44 | GRADING AND DRAINAGE PLAN |
| C51-54 | UTILITY PLAN |
| C61-65 | ROADWAY PLAN AND PROFILE |
| C71-75 | OVERALL SITE CROSS SECTIONS |
| C81-84 | DEVELOPMENT PLAN |
| C91-94 | CONSTRUCTION PHASING AND SEQUENTIAL CONSTRUCTION PLAN |
| C101-107 | CONSTRUCTION DETAILS |
| 051.1 | OPEN SPACE AREA PLAN |
| 051.2 | OPEN SPACE MANAGEMENT PLAN |
| 111.0-1.4 | LANDSCAPE SITE PLANS |
| 12.0 | ENTRANCE LANDSCAPE PLAN |
| 12.1 | BOYS' HOUSE LANDSCAPE PLAN |
| 12.2 | WOMEN'S HOUSE LANDSCAPE PLAN |
| 12.3 | TYPICAL UNIT LANDSCAPE PLAN |
| 12.4 | WOLCOTT HOUSE LANDSCAPE PLAN |
| 12.5-12.22 | LANDSCAPE DETAIL PLANS |



— VICINITY MAP —
SCALE: 1" = 350'
SCALE IN FEET

CONTRACTOR SHALL VERIFY ALL INFORMATION, CONDITIONS, AND REQUIREMENTS AS SET FORTH ON ALL SHEETS, INCLUDING BUT NOT LIMITED TO THE LOCATION, EXISTING CONDITIONS, AND REQUIREMENTS OF ALL UTILITIES AND SERVICES, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

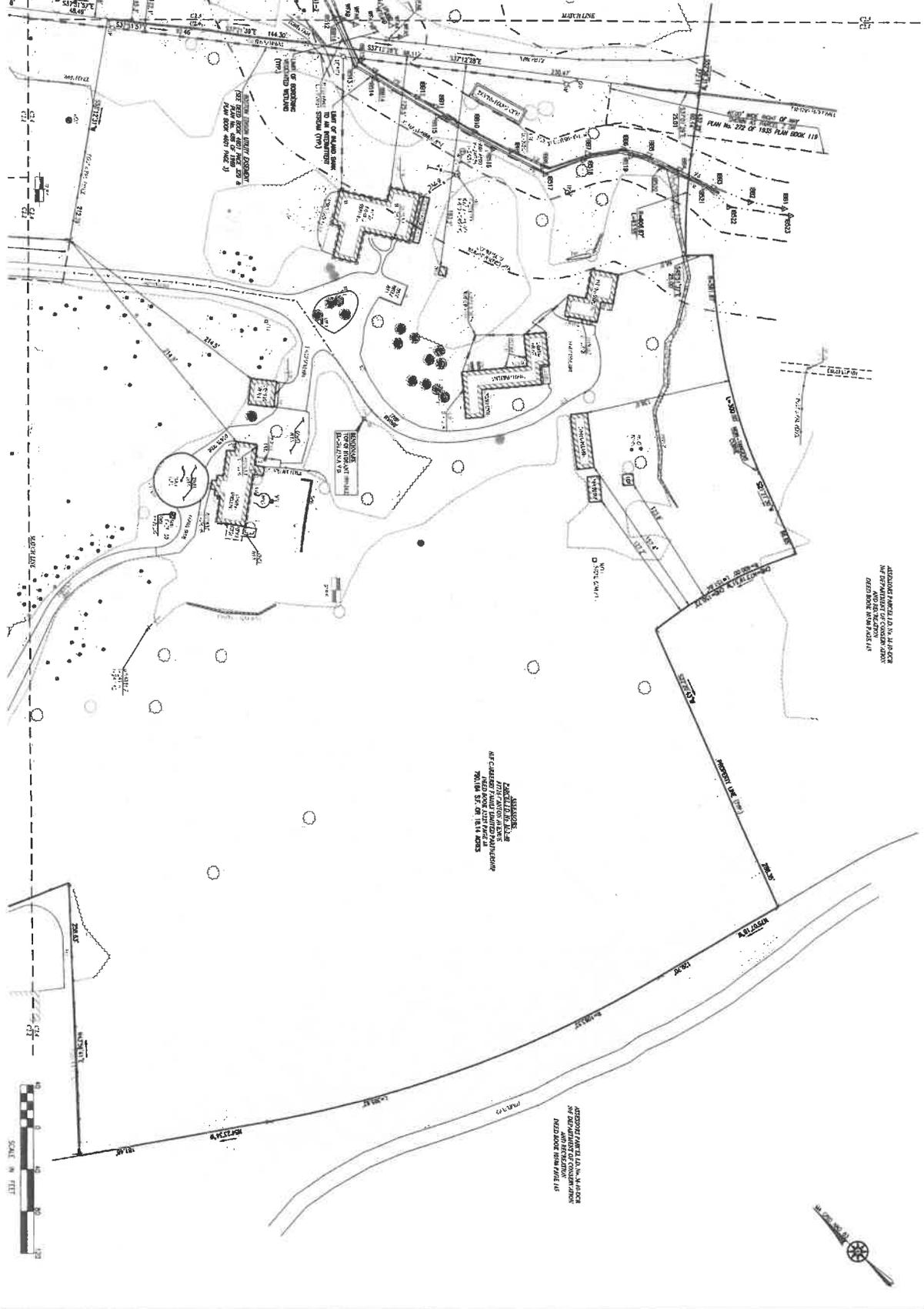
- OWNER/ARCHITECT:**
WOLCOTT RESIDENTIAL, LLC
80 BEHARRELL STREET, SUITE E
CONCORD, MASSACHUSETTS 01742
P: 781-228-4700
- ATTORNEY:**
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1281 FINCHBROOK PARKWAY
QUINCY, MA 02169
P: 617-770-2710
- CIVIL ENGINEERS/SURVEYORS:**
MERRILL ENGINEERS AND LAND SURVEYORS
427 COLUMBIA ROAD
HANOVER, MA 02339
P: 603-883-3200
- LANDSCAPE ARCHITECT:**
FRAN ASSOCIATES LANDSCAPE ARCHITECTURE AND PLANNING
300 WASHINGTON STREET
MILTON, MASSACHUSETTS 02143
P: 781-314-0401
- ARCHITECT:**
GRAND TALENT ARCHITECTS
10 DOWNS LANE
WATERHEAD, MASSACHUSETTS 01945
P: 781-631-4949
- ARBORIST:**
TREE SPECIALISTS, INC.
140 WASHINGTON STREET
HOLLISTON, MA 01746
P: 508-429-8733
- TRANSPORTATION ENGINEER:**
WALKER & ASSOCIATES, INC.
25 NEW ENGLAND BUSINESS CENTER DRIVE, SUITE 140
ANDOVER, MA 01810
P: 978-474-8800

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| <p>REASONS</p> | <p>KEY PLAN</p> | <p>DESIGNED BY: JG/DWK CHECKED BY: DMK</p> | <p>DATE: APRIL 1, 2019</p> | <p>JOB No. 16-079</p> | <p>SCALE: AS NOTED</p> | <p>AUGUST 31, 2018</p> | <p>SHEET C11</p> |
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Engineers and Land Surveyors
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060
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SITE PLAN
WOLCOTT WOODS
MILTON, MASSACHUSETTS
PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
80 BEHARRELL STREET, SUITE E
CONCORD, MASSACHUSETTS 01742

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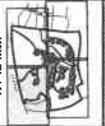
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EXISTING CONCRETE DRIVE
 EXISTING ASPHALT DRIVE
 EXISTING ASPHALT DRIVE

SITE PLAN
WOLCOTT WOODS
MILTON, MASSACHUSETTS
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 80 BARNARD STREET, SUITE E
 CONCORD, MASSACHUSETTS 01742

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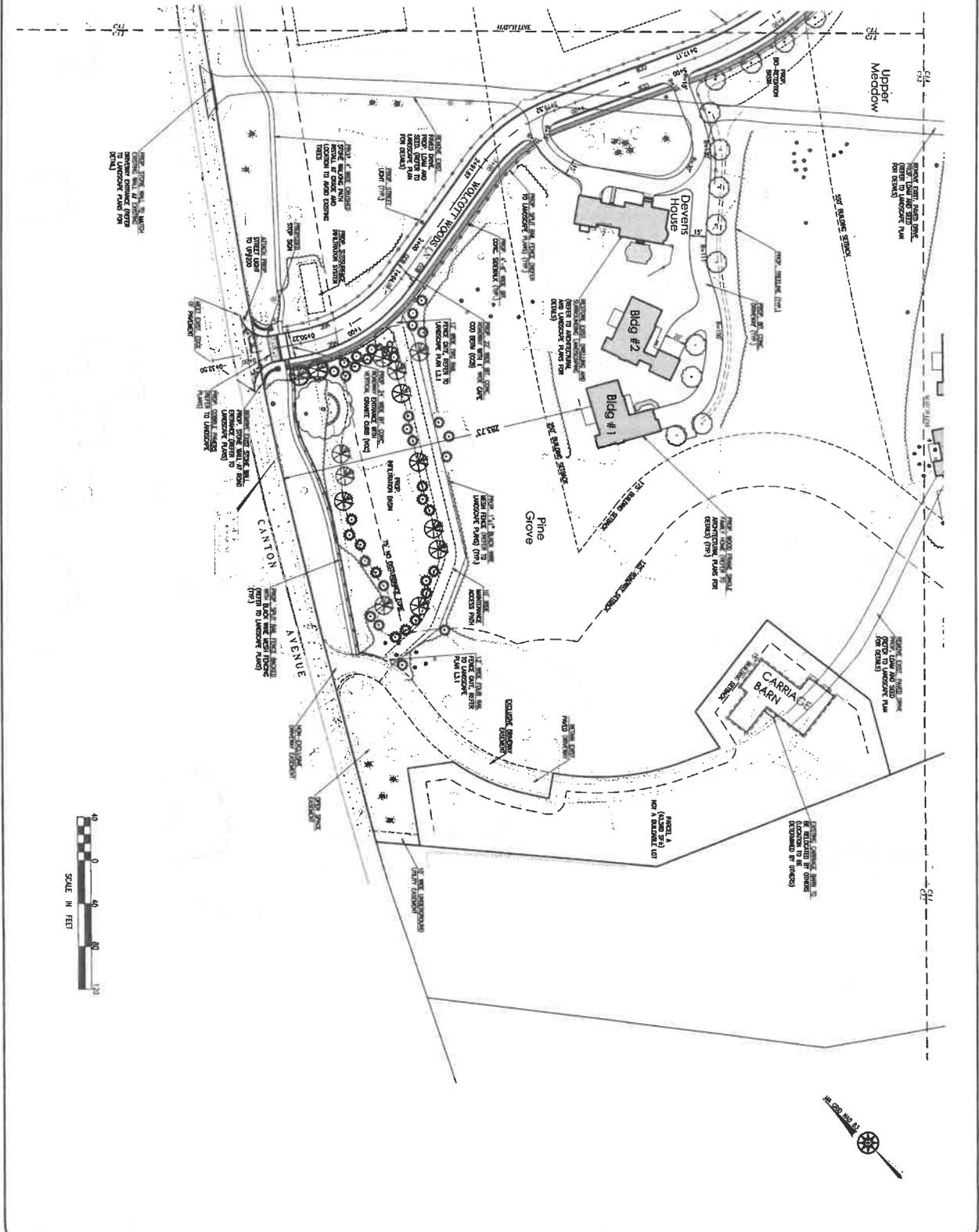
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| 3 | APRIL 1, 2018 | ISSUED FOR PERMIT |

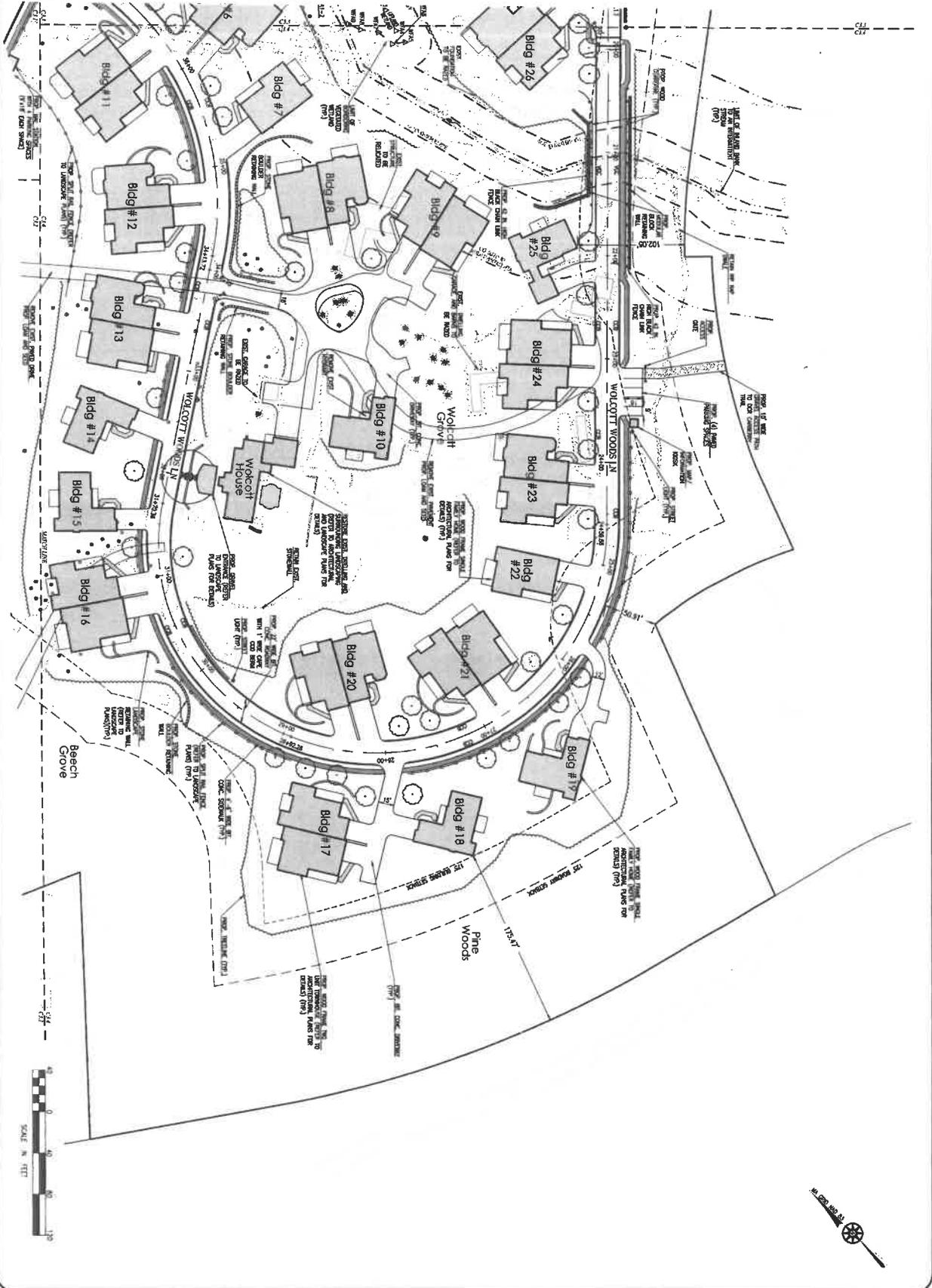
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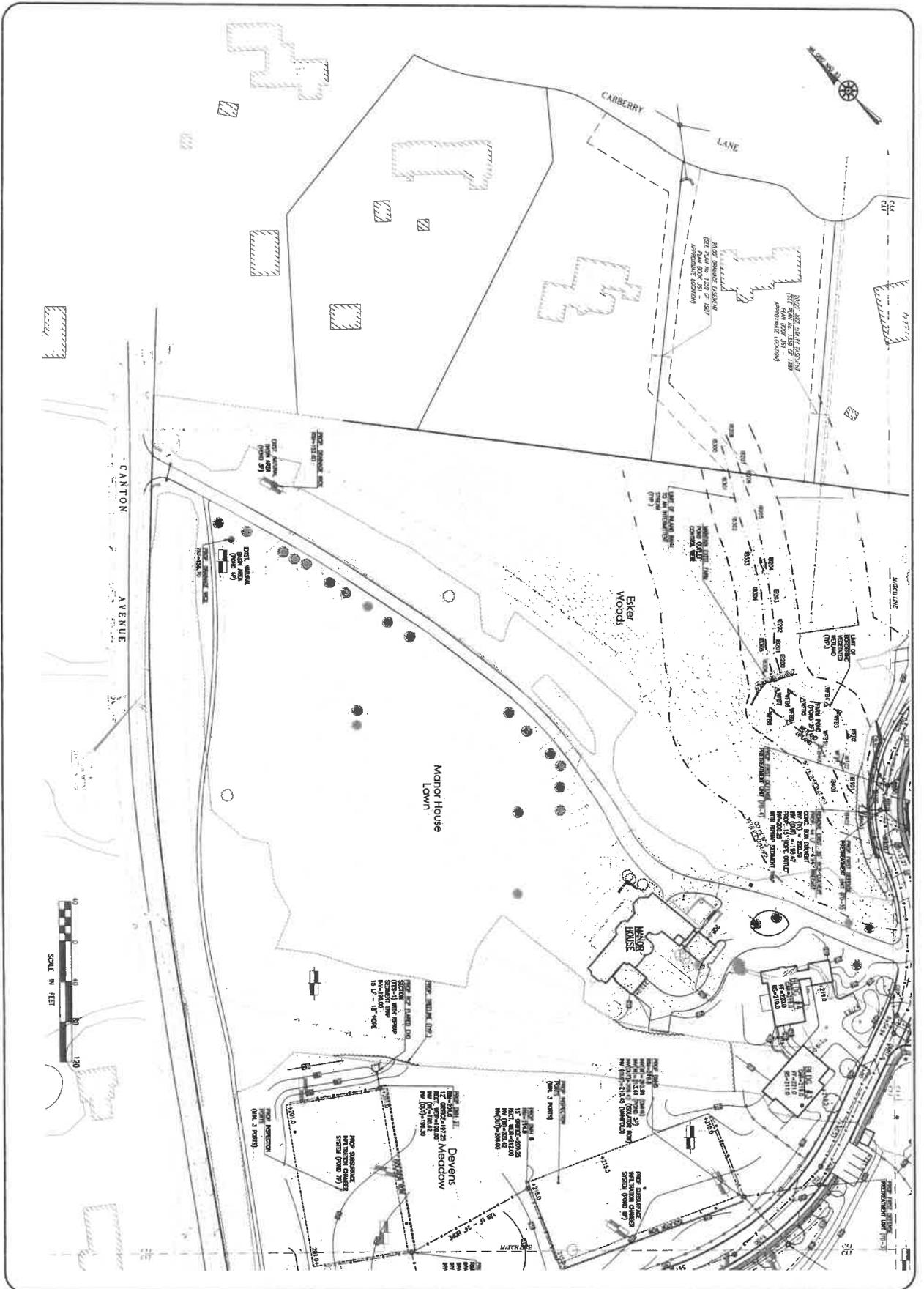


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| SHEET C12 SITE LAYOUT PLAN APRIL 1, 2018 LATEST REVISION: JOB No. 16-079 AUGUST 31, 2018 SCALE: 1" = 40' PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02560 / T: (508) 746-8060 <small>WWW.MERRILL-LINC.COM</small> | DESIGNED BY: JC/DWK CHECKED BY: DMK DRAWN BY: JS MASSACHUSETTS PROFESSIONAL ENGINEER AND LAND SURVEYOR REG. NO. 10000 EXPIRES 12/31/2018 MERRILL CORPORATION 427 COLUMBIA ROAD HANOVER, MA 02339 | REVISIONS NO. DATE BY DESCRIPTION 1 04/01/18 JC/DWK 2 04/01/18 JC/DWK 3 04/01/18 JC/DWK 4 04/01/18 JC/DWK 5 04/01/18 JC/DWK 6 04/01/18 JC/DWK 7 04/01/18 JC/DWK 8 04/01/18 JC/DWK 9 04/01/18 JC/DWK 10 04/01/18 JC/DWK 11 04/01/18 JC/DWK 12 04/01/18 JC/DWK 13 04/01/18 JC/DWK 14 04/01/18 JC/DWK 15 04/01/18 JC/DWK 16 04/01/18 JC/DWK 17 04/01/18 JC/DWK 18 04/01/18 JC/DWK 19 04/01/18 JC/DWK 20 04/01/18 JC/DWK 21 04/01/18 JC/DWK 22 04/01/18 JC/DWK 23 04/01/18 JC/DWK 24 04/01/18 JC/DWK 25 04/01/18 JC/DWK 26 04/01/18 JC/DWK 27 04/01/18 JC/DWK 28 04/01/18 JC/DWK 29 04/01/18 JC/DWK 30 04/01/18 JC/DWK 31 04/01/18 JC/DWK 32 04/01/18 JC/DWK 33 04/01/18 JC/DWK 34 04/01/18 JC/DWK 35 04/01/18 JC/DWK 36 04/01/18 JC/DWK 37 04/01/18 JC/DWK 38 04/01/18 JC/DWK 39 04/01/18 JC/DWK 40 04/01/18 JC/DWK 41 04/01/18 JC/DWK 42 04/01/18 JC/DWK 43 04/01/18 JC/DWK 44 04/01/18 JC/DWK 45 04/01/18 JC/DWK 46 04/01/18 JC/DWK 47 04/01/18 JC/DWK 48 04/01/18 JC/DWK 49 04/01/18 JC/DWK 50 04/01/18 JC/DWK 51 04/01/18 JC/DWK 52 04/01/18 JC/DWK 53 04/01/18 JC/DWK 54 04/01/18 JC/DWK 55 04/01/18 JC/DWK 56 04/01/18 JC/DWK 57 04/01/18 JC/DWK 58 04/01/18 JC/DWK 59 04/01/18 JC/DWK 60 04/01/18 JC/DWK 61 04/01/18 JC/DWK 62 04/01/18 JC/DWK 63 04/01/18 JC/DWK 64 04/01/18 JC/DWK 65 04/01/18 JC/DWK 66 04/01/18 JC/DWK 67 04/01/18 JC/DWK 68 04/01/18 JC/DWK 69 04/01/18 JC/DWK 70 04/01/18 JC/DWK 71 04/01/18 JC/DWK 72 04/01/18 JC/DWK 73 04/01/18 JC/DWK 74 04/01/18 JC/DWK 75 04/01/18 JC/DWK 76 04/01/18 JC/DWK 77 04/01/18 JC/DWK 78 04/01/18 JC/DWK 79 04/01/18 JC/DWK 80 04/01/18 JC/DWK 81 04/01/18 JC/DWK 82 04/01/18 JC/DWK 83 04/01/18 JC/DWK 84 04/01/18 JC/DWK 85 04/01/18 JC/DWK 86 04/01/18 JC/DWK 87 04/01/18 JC/DWK 88 04/01/18 JC/DWK 89 04/01/18 JC/DWK 90 04/01/18 JC/DWK 91 04/01/18 JC/DWK 92 04/01/18 JC/DWK 93 04/01/18 JC/DWK 94 04/01/18 JC/DWK 95 04/01/18 JC/DWK 96 04/01/18 JC/DWK 97 04/01/18 JC/DWK 98 04/01/18 JC/DWK 99 04/01/18 JC/DWK 100 04/01/18 JC/DWK | KEY PLAN |
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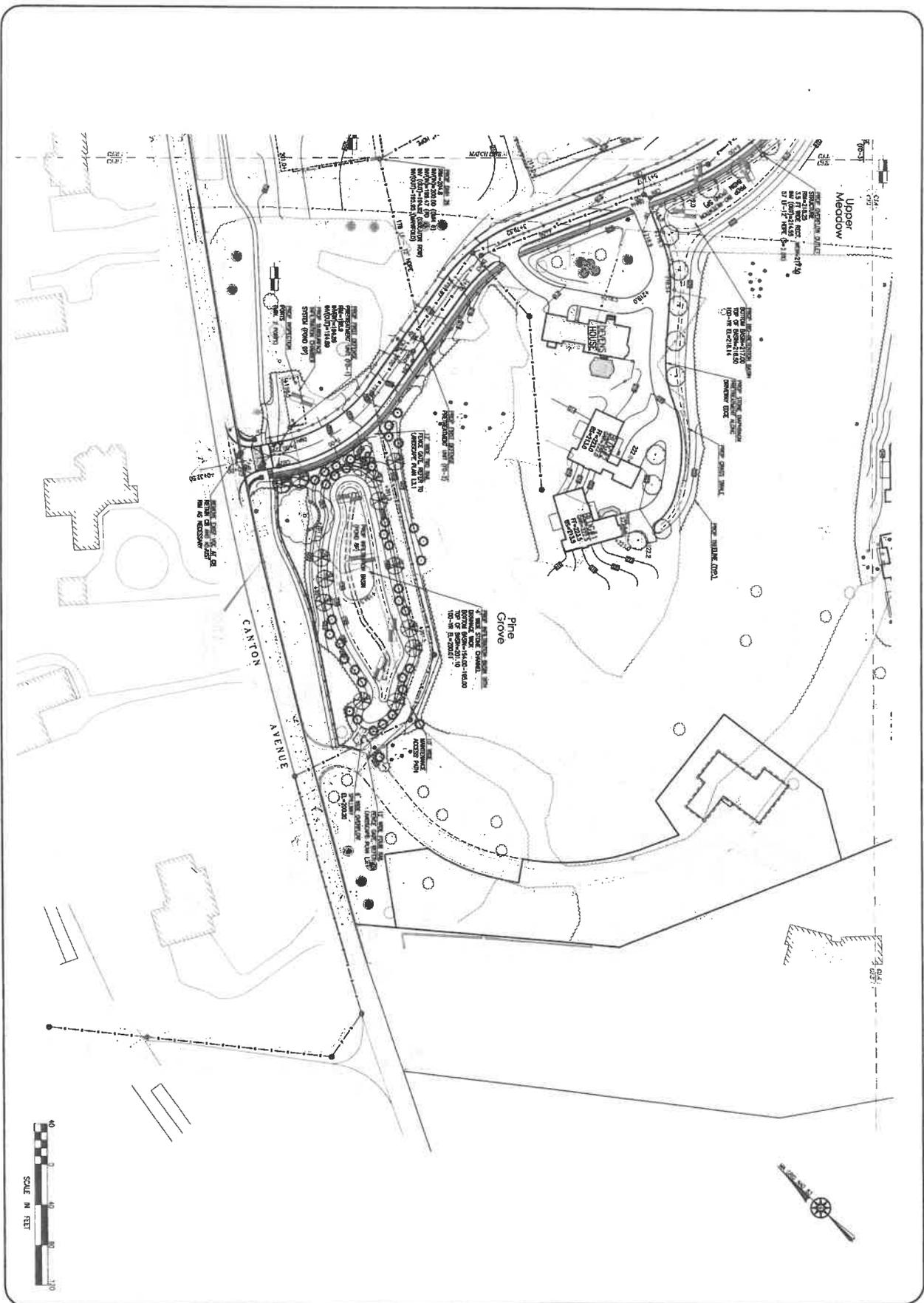
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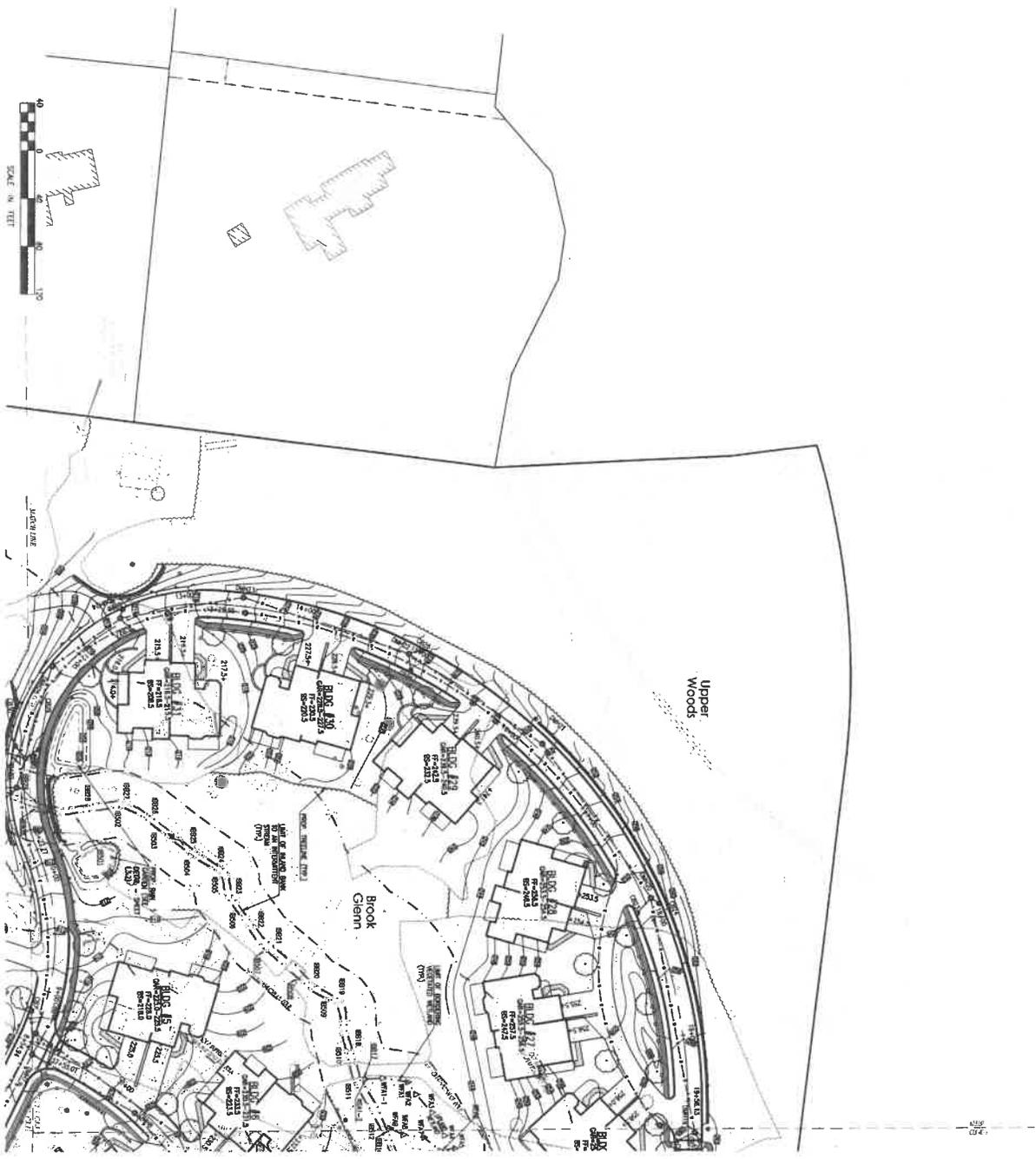
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| SHEET C34 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS |  Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / F: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / F: (508) 746-6060 WWW.MERRILL-INC.COM | DESIGNED BY: JG/DWK CHECKED BY: DWK |  KEY PLAN  | REASONS 1. TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT. 2. THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. 3. MERRILL CORPORATION AND ITS AFFILIATES MAKE NO WARRANTY, REPRESENTATION, OR GUARANTEE OF ANY KIND, EXPRESS OR IMPLIED, REGARDING THE ACCURACY, COMPLETENESS, OR TIMELINESS OF THE INFORMATION CONTAINED HEREIN. |
| | PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | | DRAWN BY: JG | | |
| | AUGUST 31, 2018 SCALE: 1" = 40' JOB No. 16-079 LATEST REVISION: APRIL 1, 2018 SITE LAYOUT PLAN | | REVISIONS: | | |
| | AUGUST 31, 2018 SCALE: 1" = 40' JOB No. 16-079 LATEST REVISION: APRIL 1, 2018 SITE LAYOUT PLAN | | REVISIONS: | | |

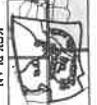


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| <p style="text-align: center;">SHEET CA11</p> | <p style="text-align: center;">SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BENHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742</p> | <p style="text-align: center;">Merrill Engineers and Land Surveyors 427 COLLINGS ROAD, HANNOVER, MA 02339 / T: (781) 825-8200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-8060 WWW.MERRILLINC.COM</p> | <p>DESIGNED BY: JC/DWK CHECKED BY: DMK DRAWN BY: JC</p> | <p style="text-align: center;">REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 15%;">DATE</td> <td style="width: 80%;">DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | DESCRIPTION | | | |
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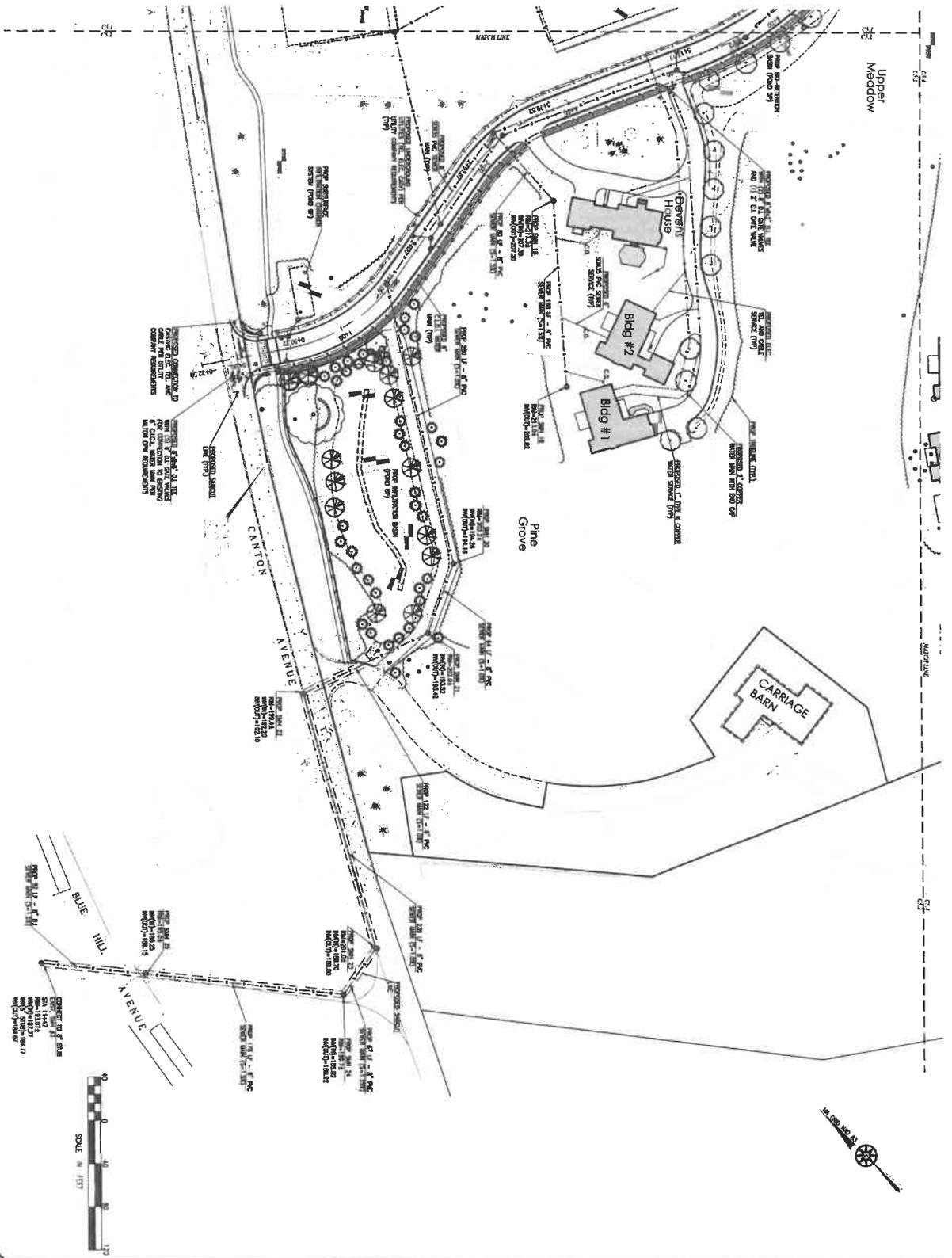


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| <p style="text-align: center;">40 30 20 10 0 SCALE IN FEET</p> | <p>SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS</p> <p>PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742</p> | <p>Merrill Engineers and Land Surveyors</p> <p>427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILL-INC.COM</p> | <p>DESIGNED BY: JC/DWK CHECKED BY: DMK DRAWN BY: JC</p> | <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 15%;">DATE</td> <td style="width: 80%;">DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | DESCRIPTION | | | |
| NO. | DATE | DESCRIPTION | | | | | | | | |
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| <p>SHEET CA.2</p> | <p>AUGUST 31, 2019 SCALE: 1" = 40' JOB NO. 18-079 DATE: APRIL 1, 2018 DRAWING & DRAINAGE PLAN</p> | <p>KEY PLAN</p> | | | | | | | | |



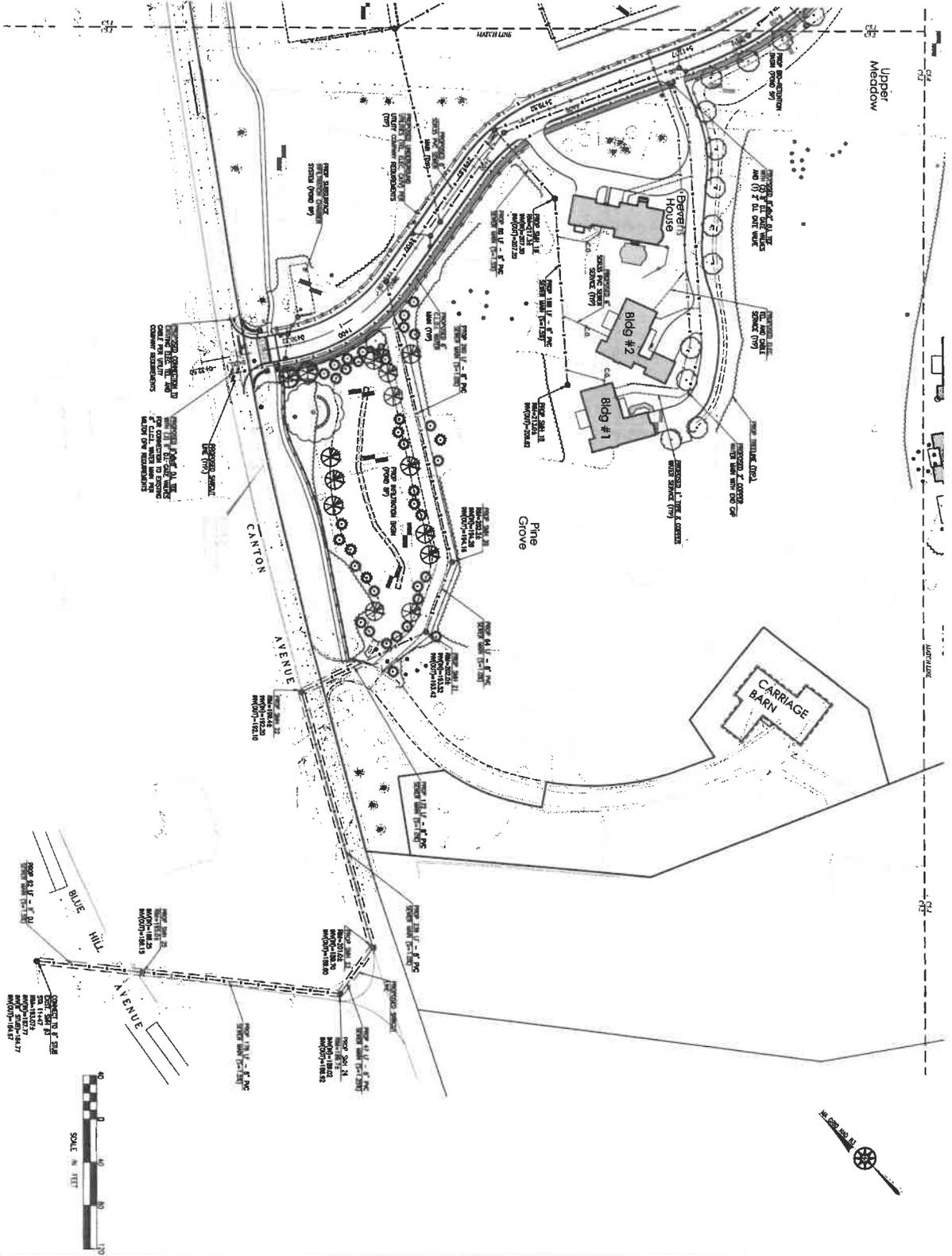
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| SHEET 013 AUGUST 31, 2018 SCALE: 1" = 40' JOB No. 16-079 LATEST REVISION: APRIL 1, 2019 GRADING & PAVEMENT PLAN | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 |  Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM | REVISIONS <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> | | | | | | | | | | | | |  KEY PLAN  | DRAWN BY: JC DESIGNED BY: JC/DWK CHECKED BY: DWK |
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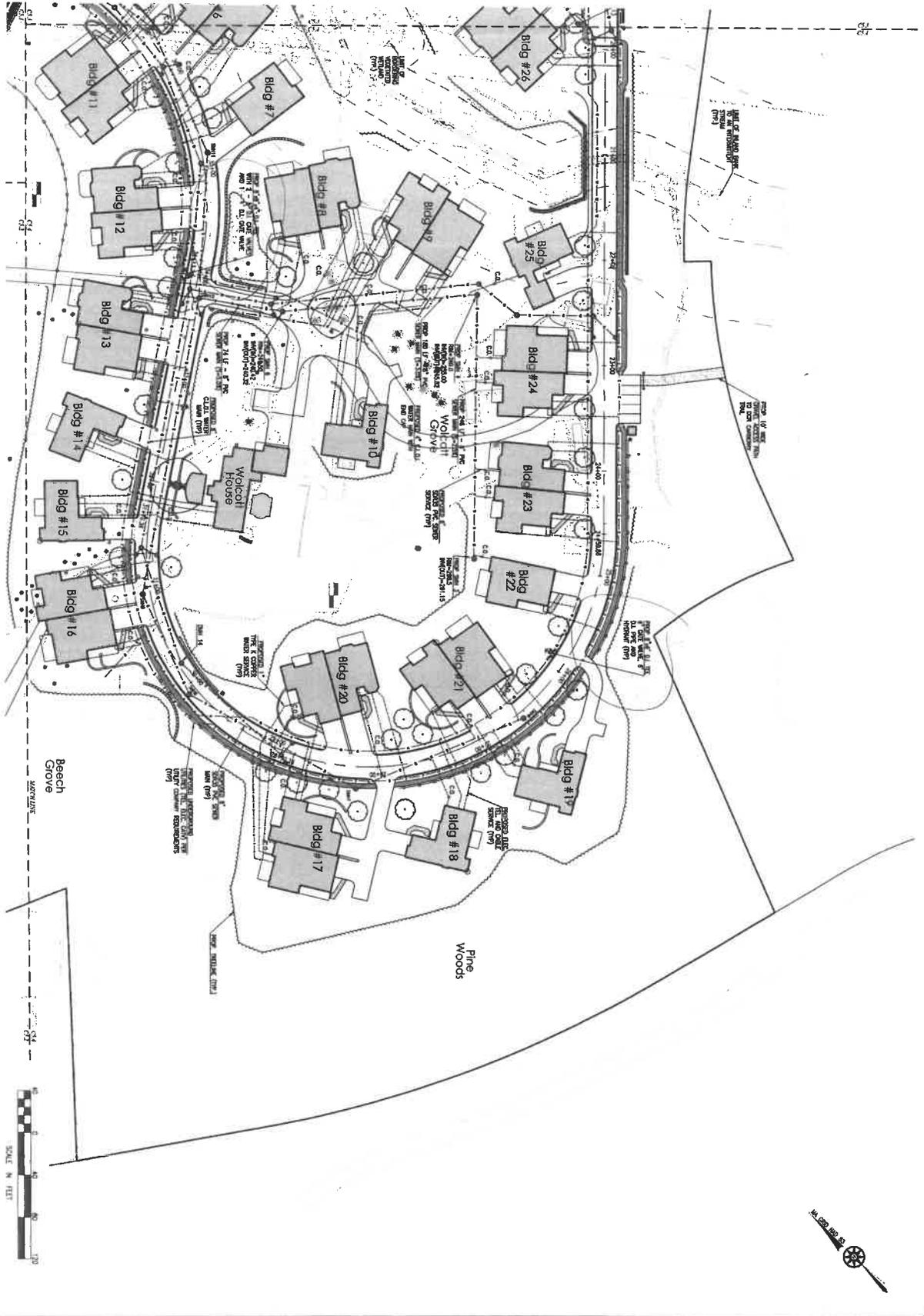
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| SHEET CS2 UNIFY PLAN APRIL 1, 2019 JOB No. 18-079 SCALE: 1" = 40' AUGUST 31, 2018 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEARHILL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | |  Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANNOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6080 WWW.MERRILLINC.COM | DESIGNED BY: JG/DWK CHECKED BY: DMK DRAWN BY: JG |  KEY PLAN  | REVISIONS 11/14/18 WEST CORNER 11/14/18 WEST CORNER 11/14/18 WEST CORNER |
| | REVISIONS | | | | | |

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|---|---------------------------|--|---|
| REVISIONS 1. 11/15/18 2. 01/10/19 3. 03/15/19 | KEY PLAN | | DRAWN BY: JS |
| | | | CHECKED BY: DMK |
| SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS <small>PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742</small> | | | Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 <small>WWW.MERRILL-INC.COM</small> |
| SHEET 052 AT | UTM PLAN APRIL 1, 2019 | LATEST REVISIONS JOB NO. 16-079 AUGUST 31, 2018 SCALE: 1" = 40' SCALE: N. TYP. | DESIGNED BY: AC/DMK DRAWN BY: JS |

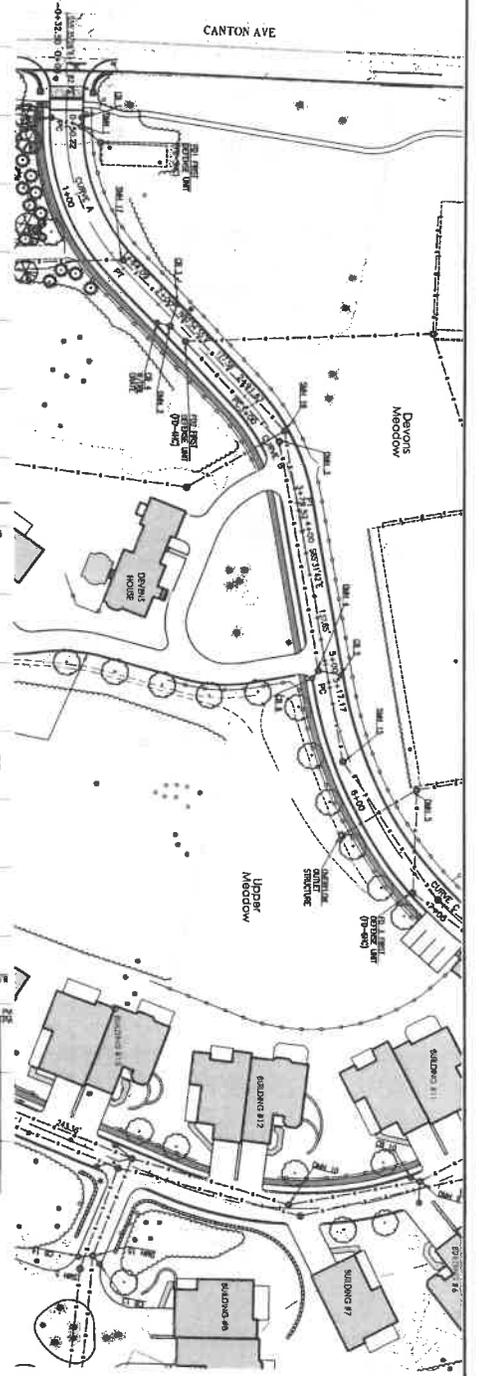
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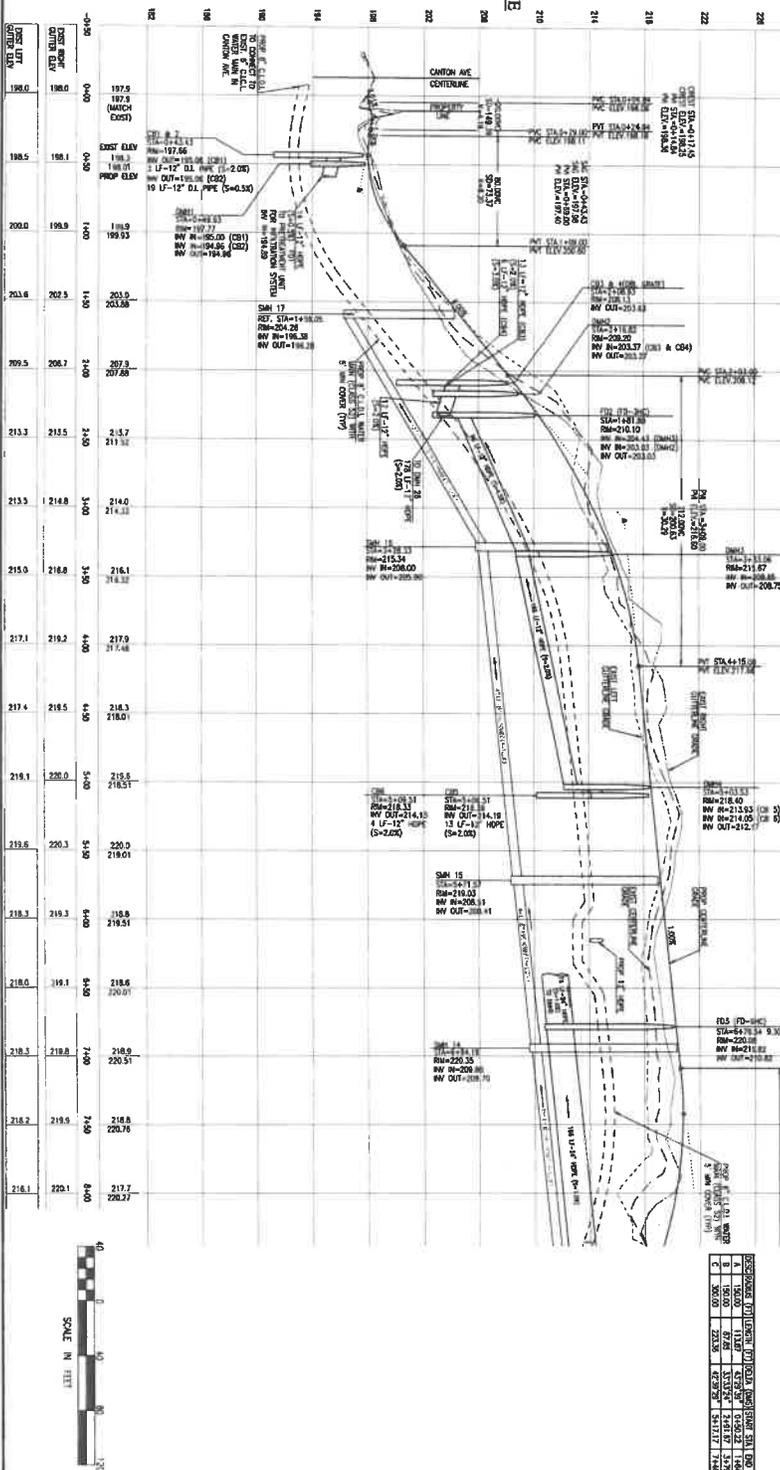
| SHEET C&4 TYPED PLAN APRIL 1, 2018 JOB No. 16-079 AUGUST 31, 2018 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 SCHARRETT STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02139 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM | CHECKED BY: DMK DESIGNED BY: JD/DWK DRAWN BY: JS | REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | DESCRIPTION | | | |
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| KEY PLAN | | | | | | | | | | |



PLAN: WOLCOTT WOODS LANE
SCALE: 1" = 40' HORIZONTAL



PROFILE: WOLCOTT WOODS LANE
SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



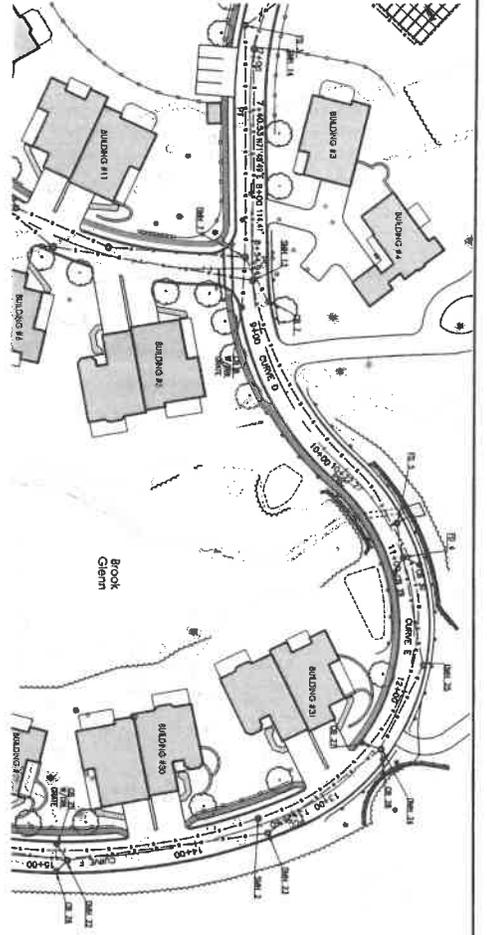
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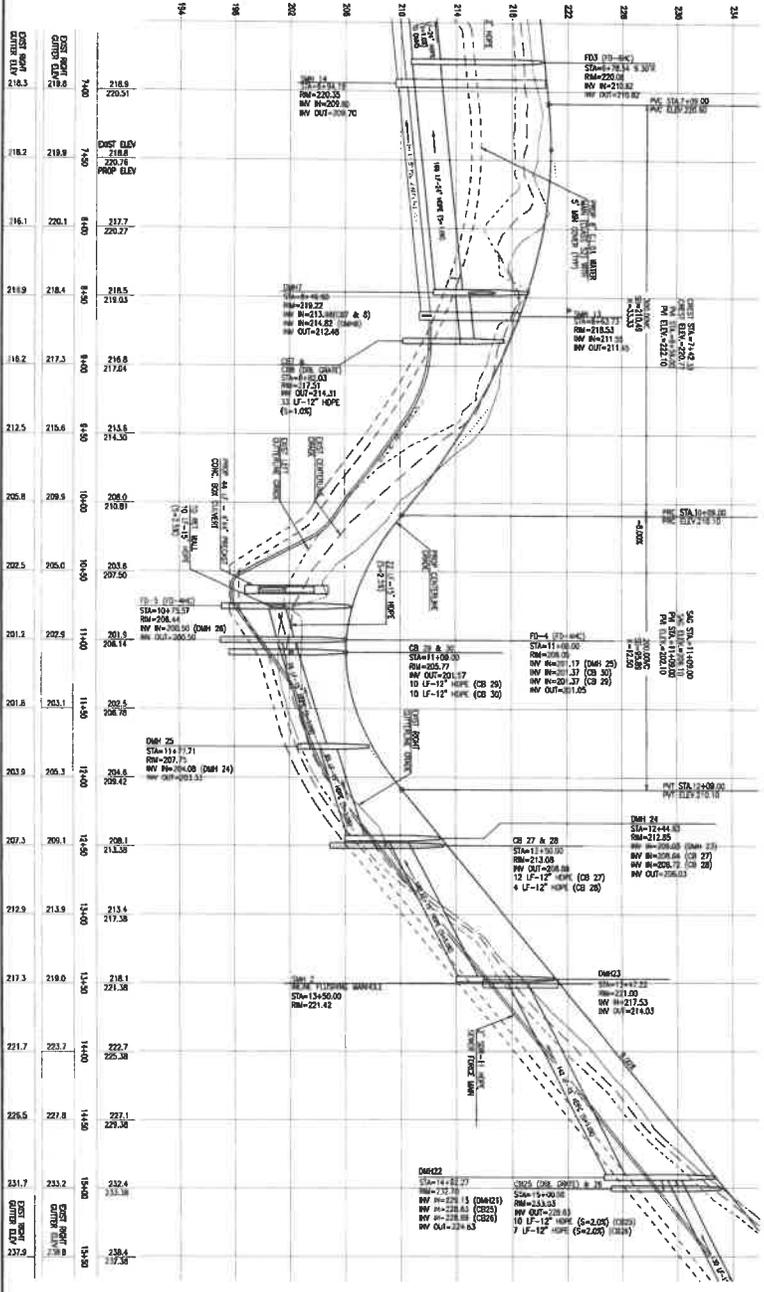


PLAN: WOLCOTT WOODS LANE
SCALE: 1" = 40' HORIZONTAL



| DATE | DESCRIPTION |
|----------|-------------------|
| 08/31/18 | ISSUED FOR PERMIT |

PROFILE: WOLCOTT WOODS LANE
SCALE: 1" = 40' HORIZONTAL
SCALE: 1" = 4' VERTICAL



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| SHEET 02.2 ROADWAY PLAN AND PROFILE APRIL 1, 2018 JAMES MERRILL JOB No. 16-079 SCALE: 1" = 40' AUGUST 31, 2018 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEAURELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 626-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM | DESIGNED BY: JC/DWK CHECKED BY: DMK DRAWN BY: JD | | KEY PLAN | REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>08/31/18</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>08/31/18</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>08/31/18</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>08/31/18</td> <td>ISSUED FOR PERMIT</td> </tr> </table> | NO. | DATE | DESCRIPTION | 1 | 08/31/18 | ISSUED FOR PERMIT | 2 | 08/31/18 | ISSUED FOR PERMIT | 3 | 08/31/18 | ISSUED FOR PERMIT | 4 | 08/31/18 | ISSUED FOR PERMIT |
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| 2 | 08/31/18 | ISSUED FOR PERMIT | | | | | | | | | | | | | | | | | | | |
| 3 | 08/31/18 | ISSUED FOR PERMIT | | | | | | | | | | | | | | | | | | | |
| 4 | 08/31/18 | ISSUED FOR PERMIT | | | | | | | | | | | | | | | | | | | |
| PROJECT: WOLCOTT WOODS LANE, MILTON, MASSACHUSETTS | | | | | | | | | | | | | | | | | | | | | |

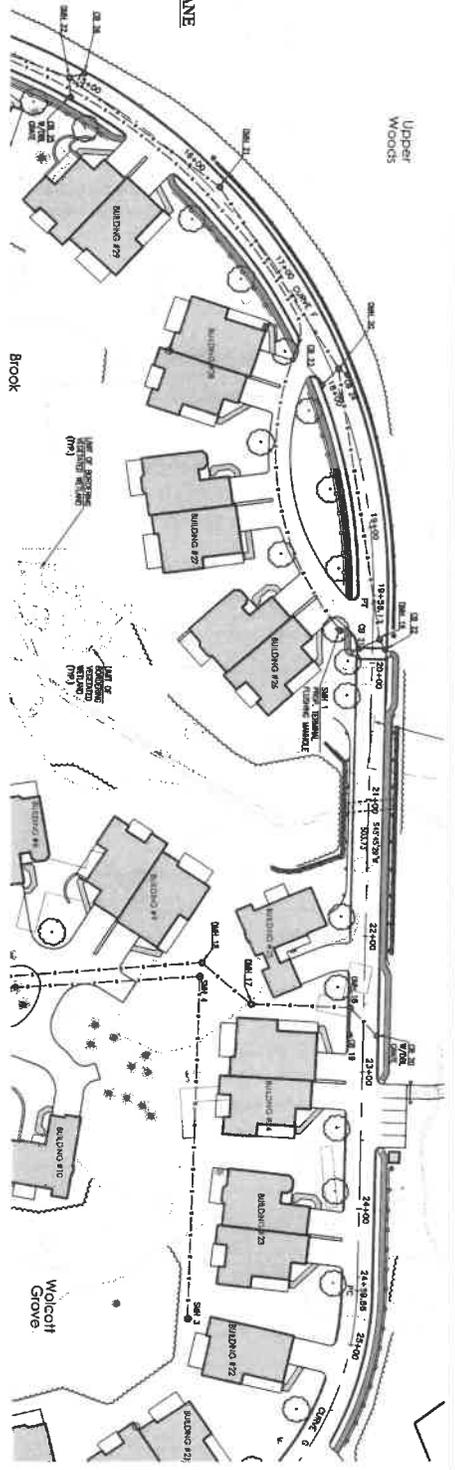
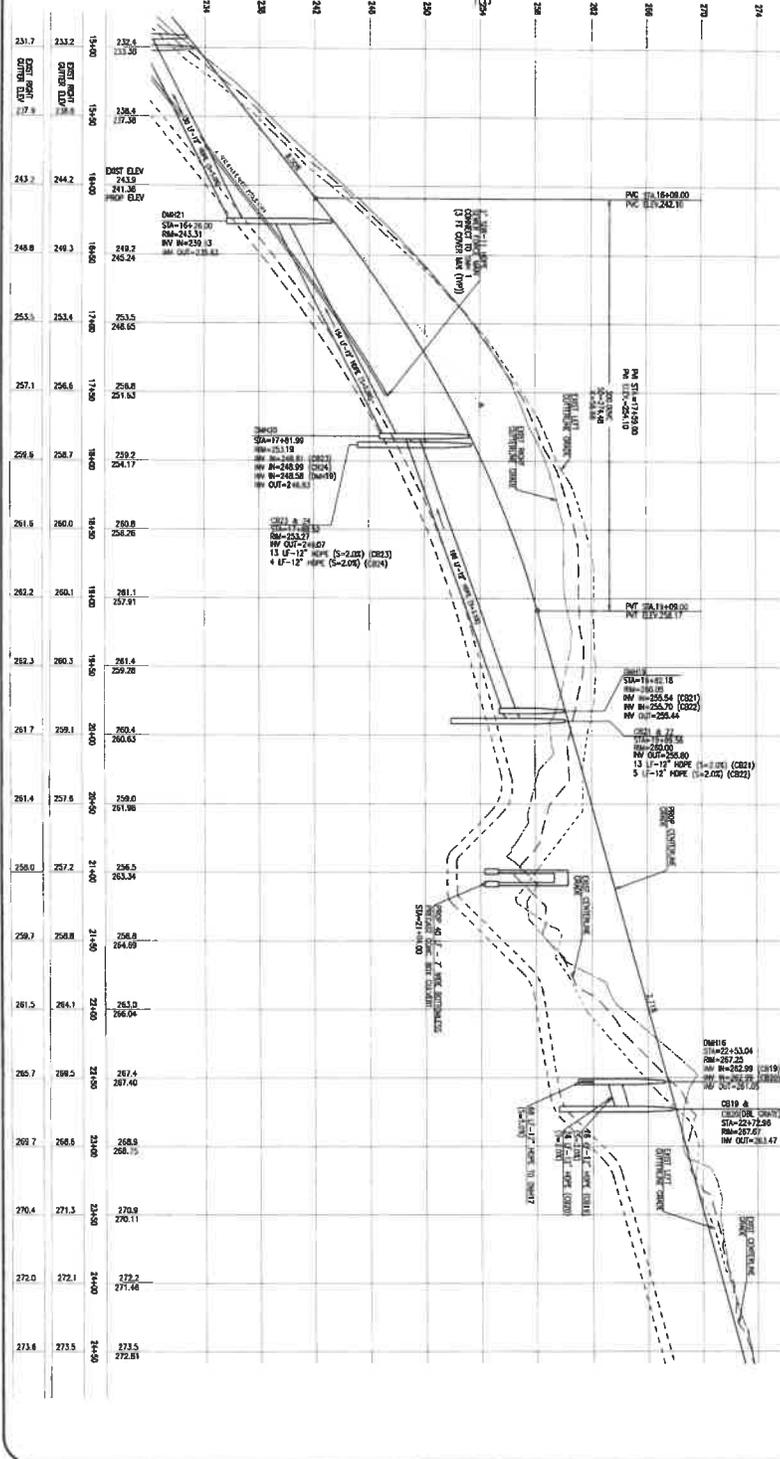
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PROFILE: WOLCOTT WOODS LANES
 SCALES: 1" = 40' HORIZONTAL
 1" = 4' VERTICAL



SECTION: 101.0000 101.0100 101.0200 101.0300 101.0400
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PLAN: WOLCOTT WOODS LANE
 SCALE: 1" = 40' HORIZONTAL



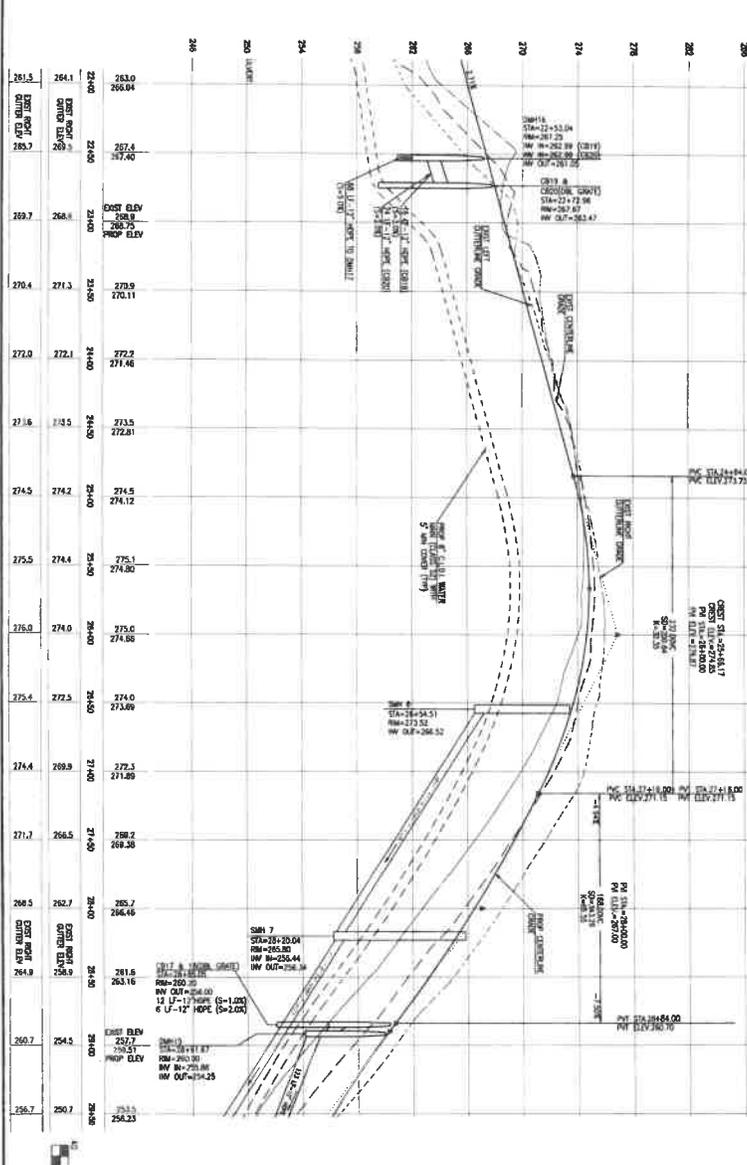
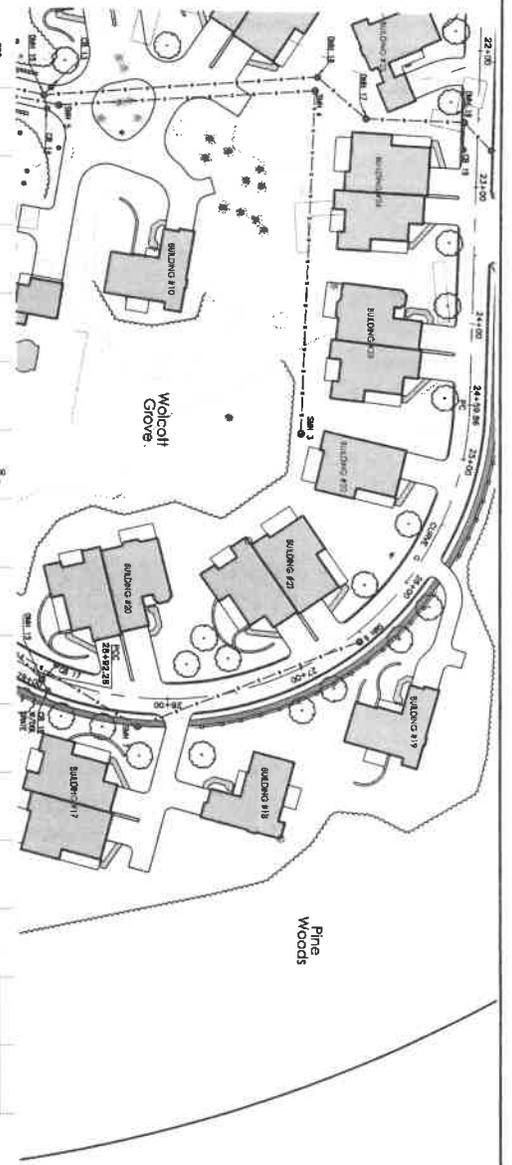
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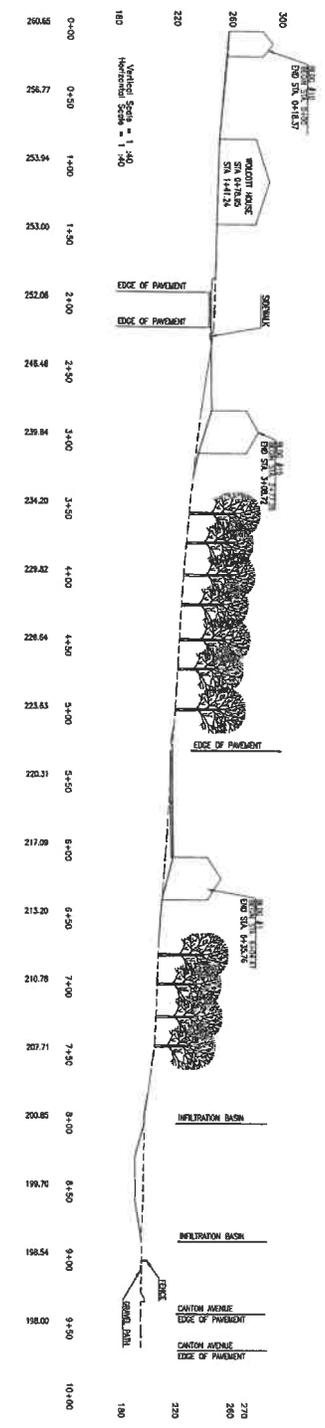
PLAN: WOLCOTT WOODS LANE
SCALE: 1" = 40' HORIZONTAL

PROFILE: WOLCOTT WOODS LANE
SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

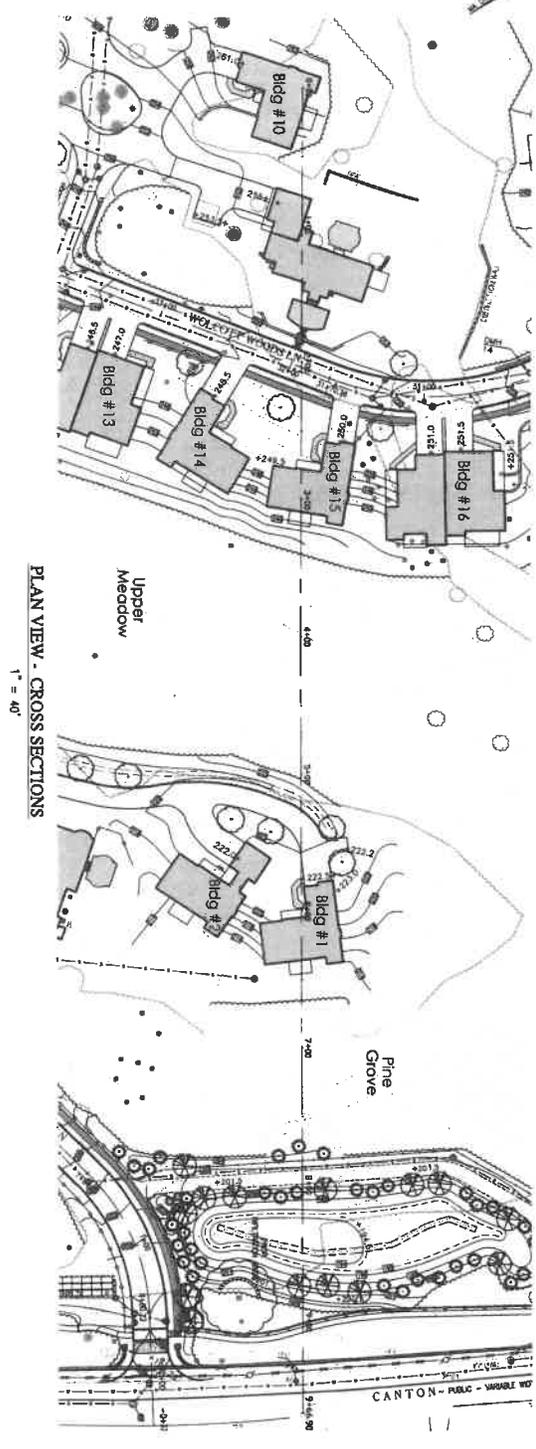
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| SHEET 084 ROADWAY PLAN AND PROFILE APRIL 1, 2019 LATEST REVISIONS JOB No. 18-079 SCALE: 1" = 40' AUGUST 31, 2018 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM | REMISIONS REVISION PLAN CHECKED BY: DMK DESIGNED BY: JG/DMK DRAIN BY: JG |
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PROFILE VIEW - CROSS SECTIONS
1" = 40'

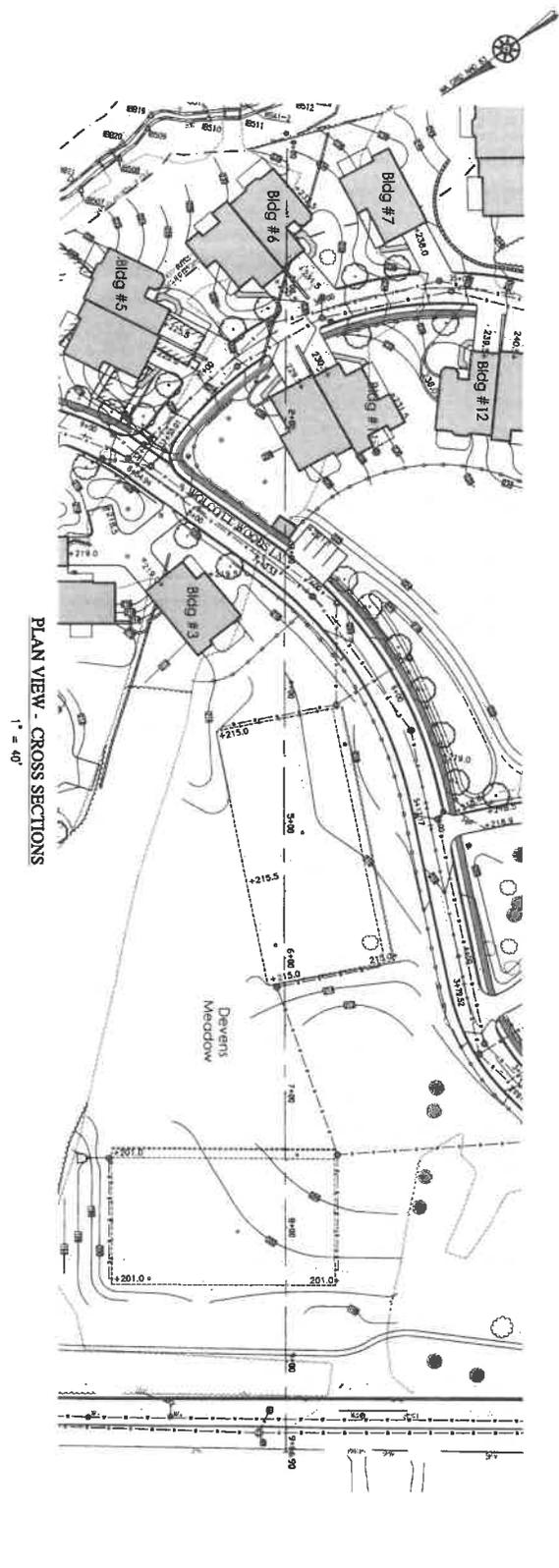


PLAN VIEW - CROSS SECTIONS
1" = 40'

CONTRACTOR'S RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

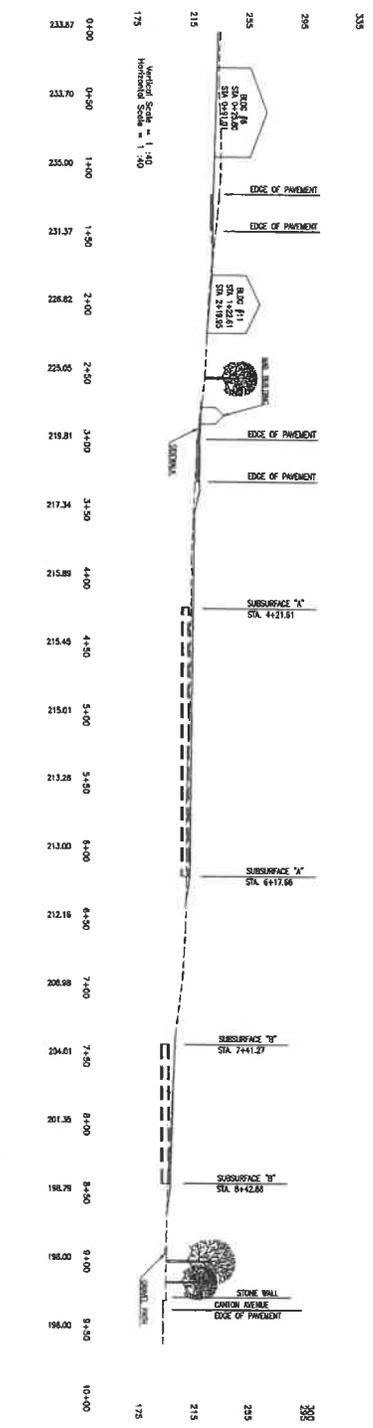
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| | | | REVISIONS |
| | | | SHEET 07.1 |
| SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | | Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-8060 WWW.MERRILL-ENG.COM | |
| AUGUST 31, 2018 SCALE: 1"=40' JOB NO. 18-079 LARRY MERRILL APRIL 1, 2018 SITE CROSS SECTIONS | DESIGNED BY: JG/DWK CHECKED BY: DMK | DRAWN BY: JG | |

CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



PLAN VIEW - CROSS SECTIONS
1" = 40'

PROFILE VIEW - CROSS SECTIONS
1" = 40'

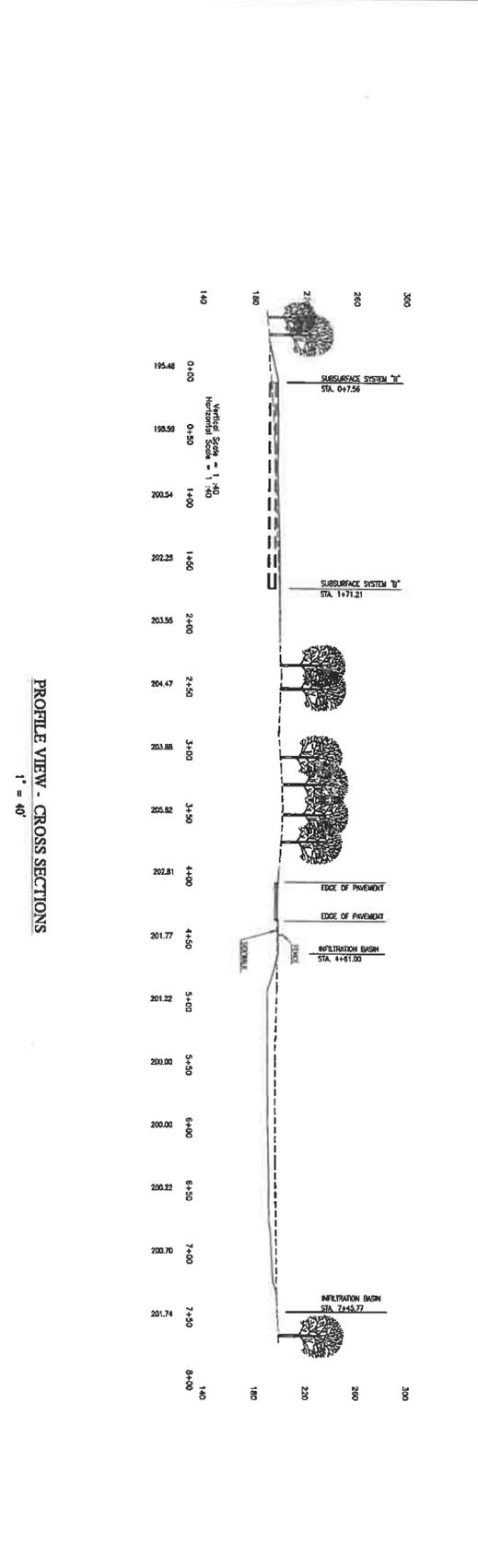
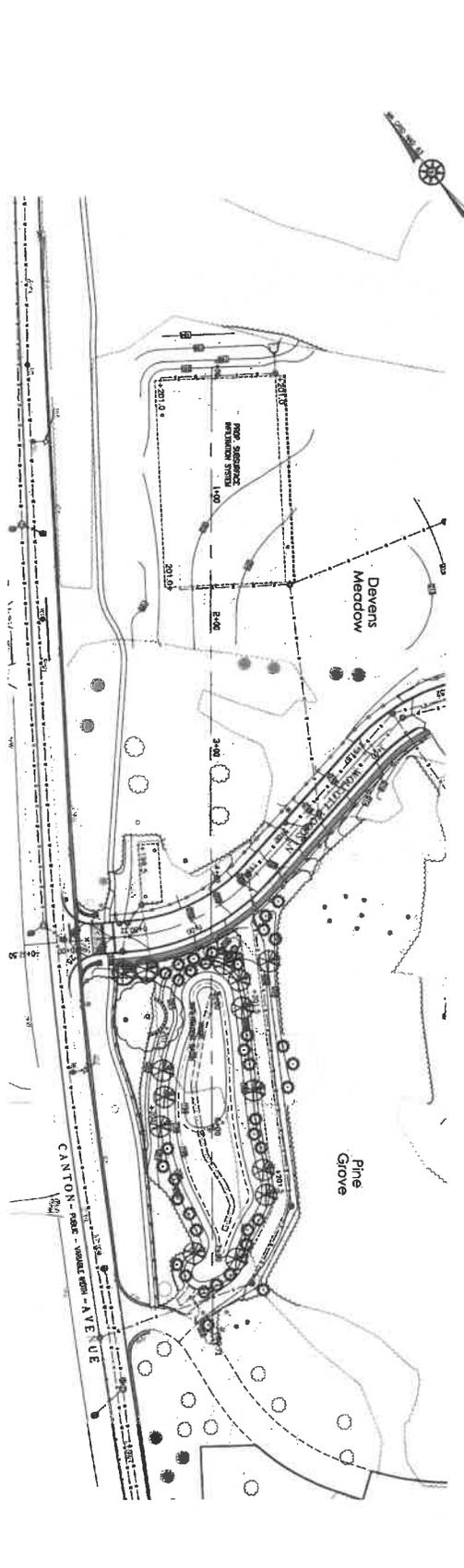


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| SHEET 022 DATE: APRIL 1, 2019 DRAWN BY: JG DESIGNED BY: JG/DWK CHECKED BY: DWK | Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-5060 WWW.MERRILLINC.COM | KEY PLAN | | REVISIONS 1. 10/10/18 2. 11/15/18 3. 12/15/18 |
| | | | | SITE CROSS SECTIONS SCALE: 1"=40' JOB No. 18-079 LATEST REVISION: APRIL 1, 2019 |

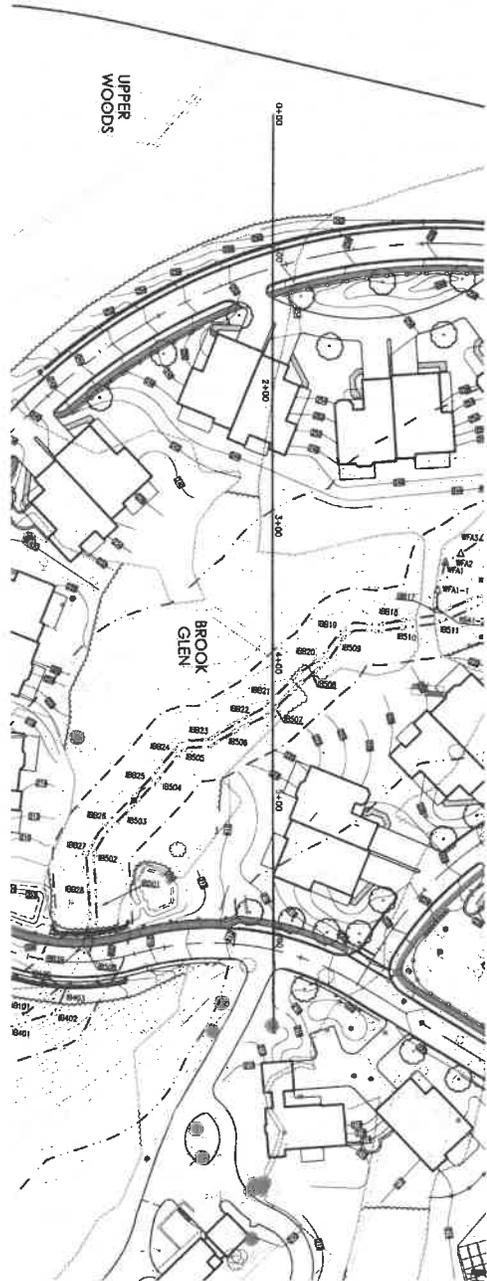
CONTRACT NO. 18-079
 PROJECT NO. 18-079
 DATE: APRIL 1, 2019
 SHEET 073

CONTRACT NO. 18-079
 PROJECT NO. 18-079
 DATE: APRIL 1, 2019
 SHEET 073

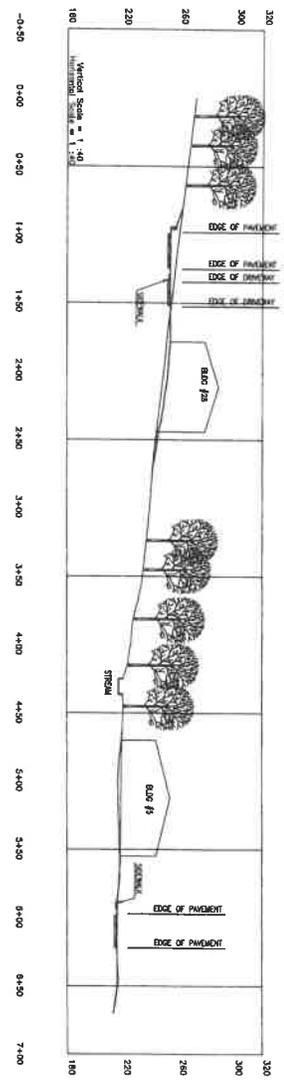
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 PROJECT NO. 18-079
 DATE: APRIL 1, 2019
 SHEET 073



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PLAN VIEW - CROSS SECTIONS
1" = 40'



PROFILE VIEW - CROSS SECTIONS
1" = 40'

REVISIONS

| NO. | DATE | DESCRIPTION |
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DESIGNED BY: JC/DWK

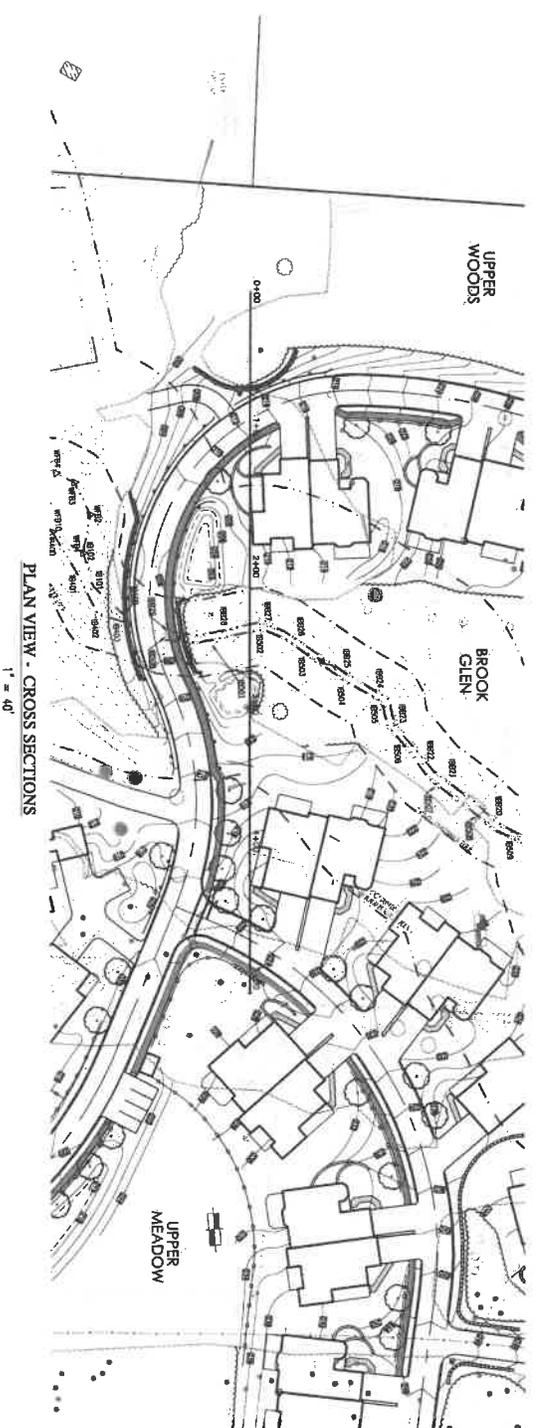
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Merrill
 Engineers and Land Surveyors
 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-6000
 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060
 WWW.MERRILLINC.COM

SITE PLAN
WOLCOTT WOODS
MILTON, MASSACHUSETTS
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 80 BEHARRELL STREET, SUITE E
 CONCORD, MASSACHUSETTS 01742

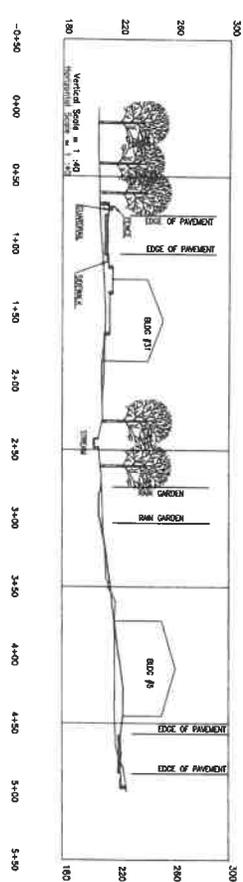
AUGUST 31, 2018
 SCALE: 1" = 40'
 JOB NO. 16-079
 LATEST REVISION
 APRIL 1, 2019
 SITE CROSS SECTIONS

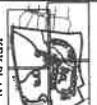
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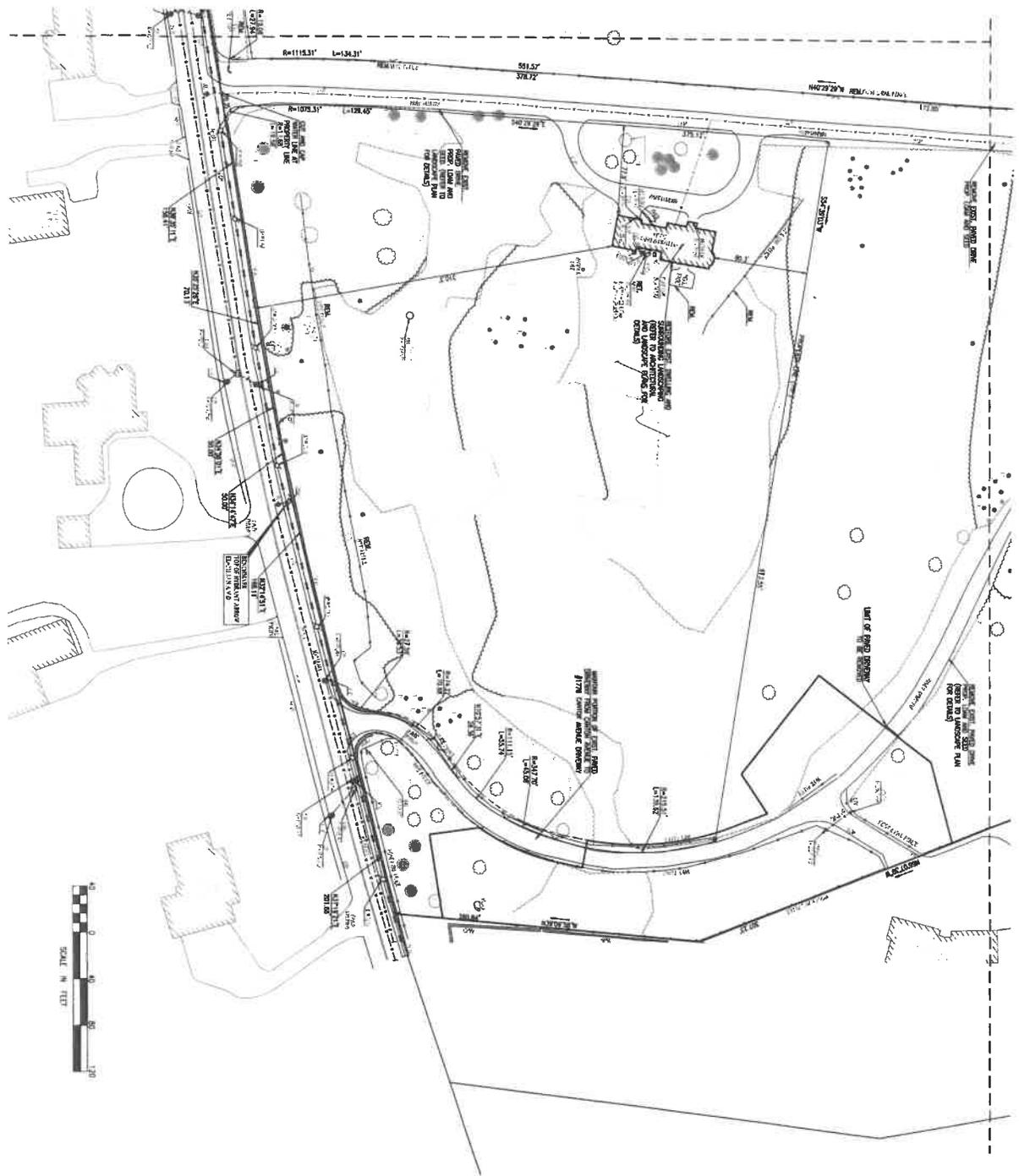
PLAN VIEW - CROSS SECTIONS
1" = 40'

PROFILE VIEW - CROSS SECTIONS
1" = 40'



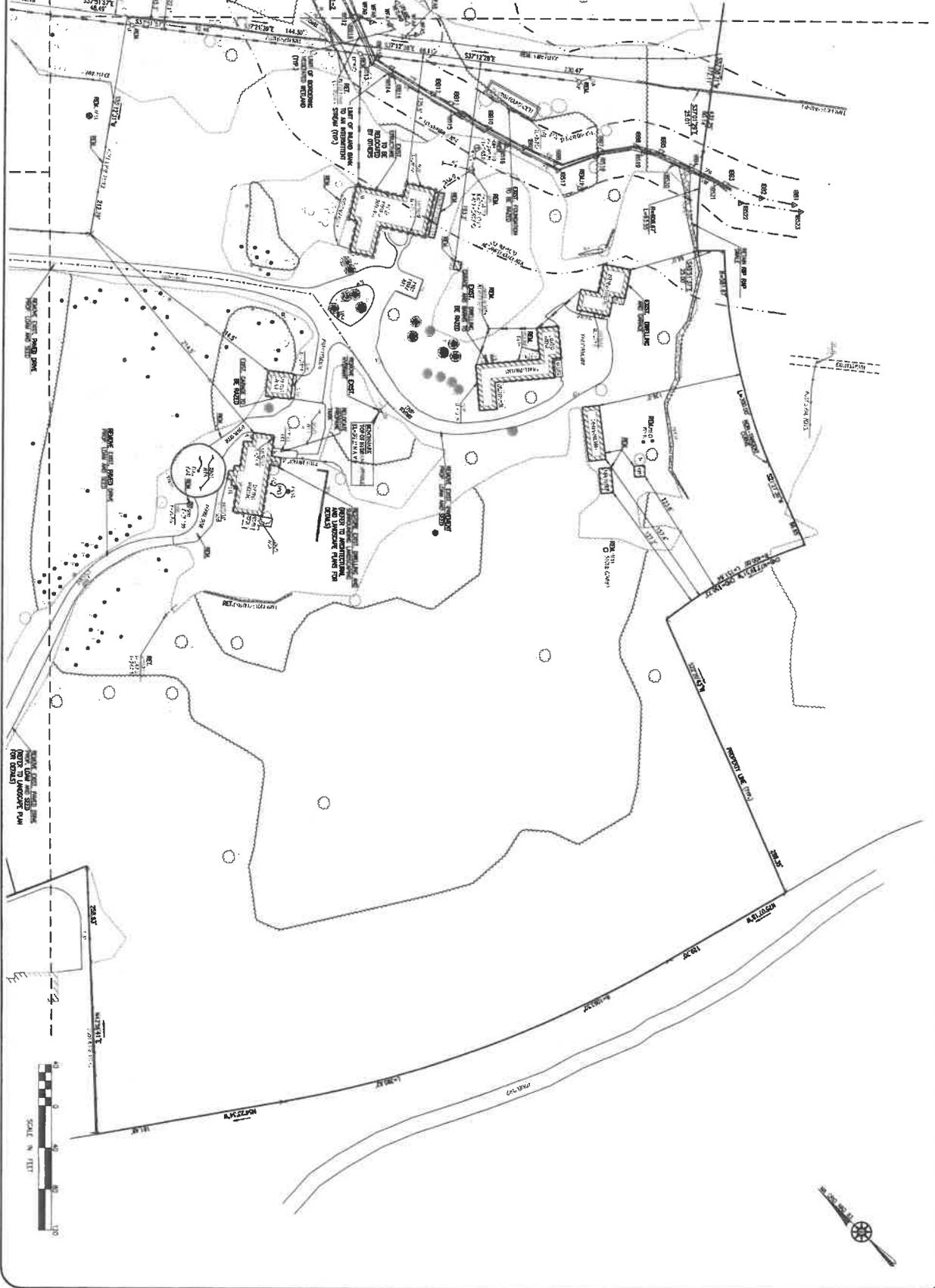
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| SHEET 07.5 AUGUST 31, 2018 SCALE: 1" = 40' JOB No. 16-079 LATEST REVISIONS: APRIL 1, 2018 SITE CROSS SECTIONS | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 |  Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH, MA 02360 / T: (508) 746-6060 WWW.MERRILLINC.COM | DRAWN BY: JC DESIGNED BY: JB/DWK CHECKED BY: DMK |  KEY PLAN  | REVISIONS <table border="1"> <tr> <td>1</td> <td>4/1/18</td> <td>JB</td> <td>REVISED</td> </tr> <tr> <td>2</td> <td>4/1/18</td> <td>JB</td> <td>REVISED</td> </tr> <tr> <td>3</td> <td>4/1/18</td> <td>JB</td> <td>REVISED</td> </tr> </table> | 1 | 4/1/18 | JB | REVISED | 2 | 4/1/18 | JB | REVISED | 3 | 4/1/18 | JB | REVISED |
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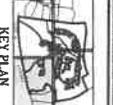
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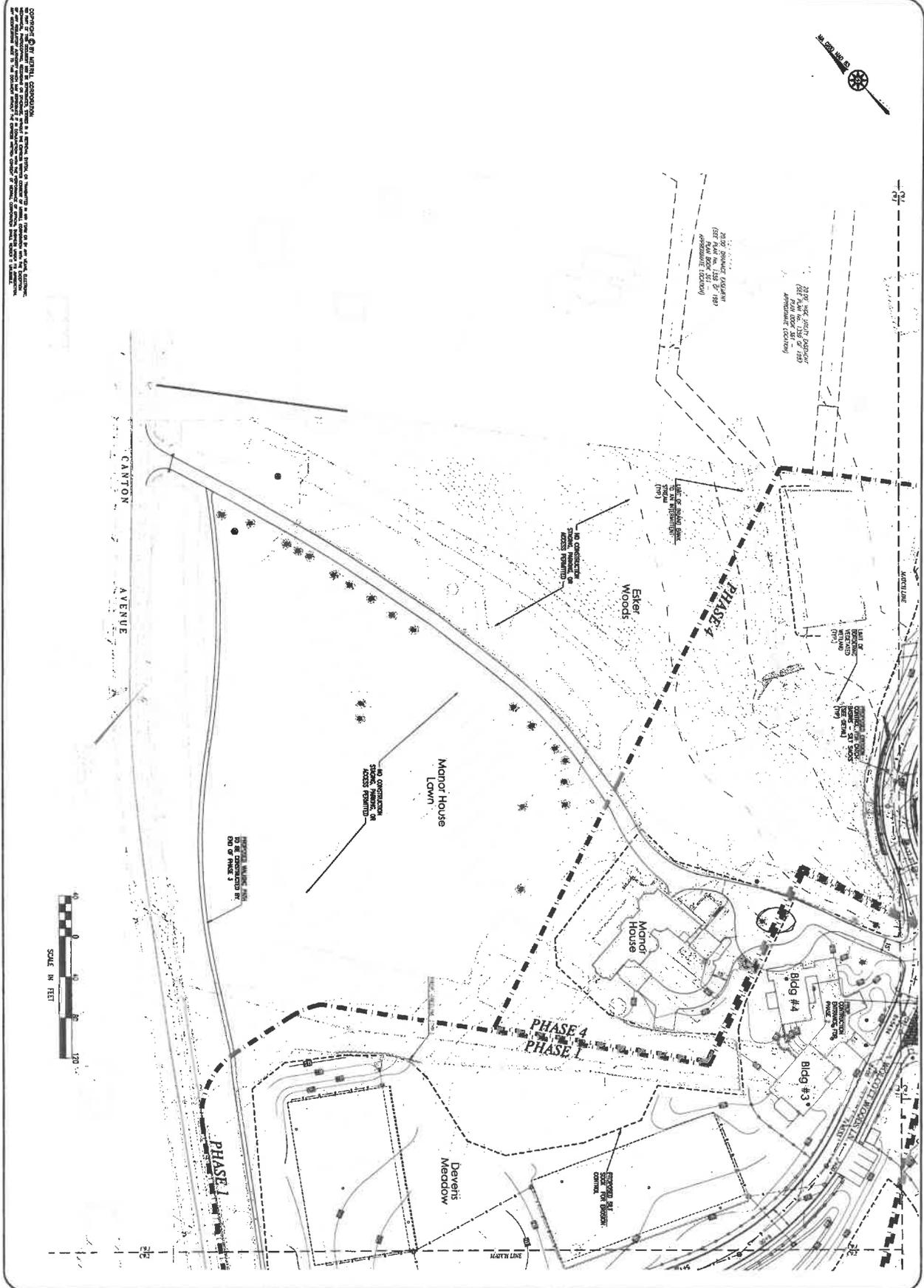


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| SHEET 02.2 REVISION PLAN LATEST REVISION: APRIL 1, 2018 JOB No. 16-079 SCALE: 1" = 40' AUGUST 31, 2018 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS <small>PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRELL STREET, SUITE F CONCORD, MASSACHUSETTS 01742</small> | |  Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6080 WWW.MERRILL-INC.COM | CHECKED BY: DMK DESIGNED BY: JC/DMK DRAWN BY: JB |  KEY PLAN  | REVISIONS <table border="1"> <tr> <td>1</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | 1 | DATE | DESCRIPTION | | | | | | |
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| SHEET 03.4 AUGUST 31, 2018 SCALE: 1" = 40' JOB No. 18-079 LARRY RESNICK APRIL 1, 2018 PRODUCTION PLAN | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEARHILL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 |  Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 876-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILL-INC.COM | DESIGNED BY: JG/DWK CHECKED BY: DWK DRAWN BY: JC |  KEY PLAN  | REVISIONS <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> | | | | | | | | | | | | | | | | |
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CONCEPT OF SITE PLAN, CONSTRUCTION PLAN, AND CONSTRUCTION CONTROL PLAN. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT AGREES TO HOLD THE SURVEYOR HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE SURVEYOR OR HIS FIRM, EMPLOYEES OR AGENTS, IN CONNECTION WITH THIS PROJECT. THE CLIENT'S USE OF THIS PLAN IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE OF THIS PLAN IS PROHIBITED. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM, EMPLOYEES OR AGENTS. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HIS FIRM, EMPLOYEES OR AGENTS. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.



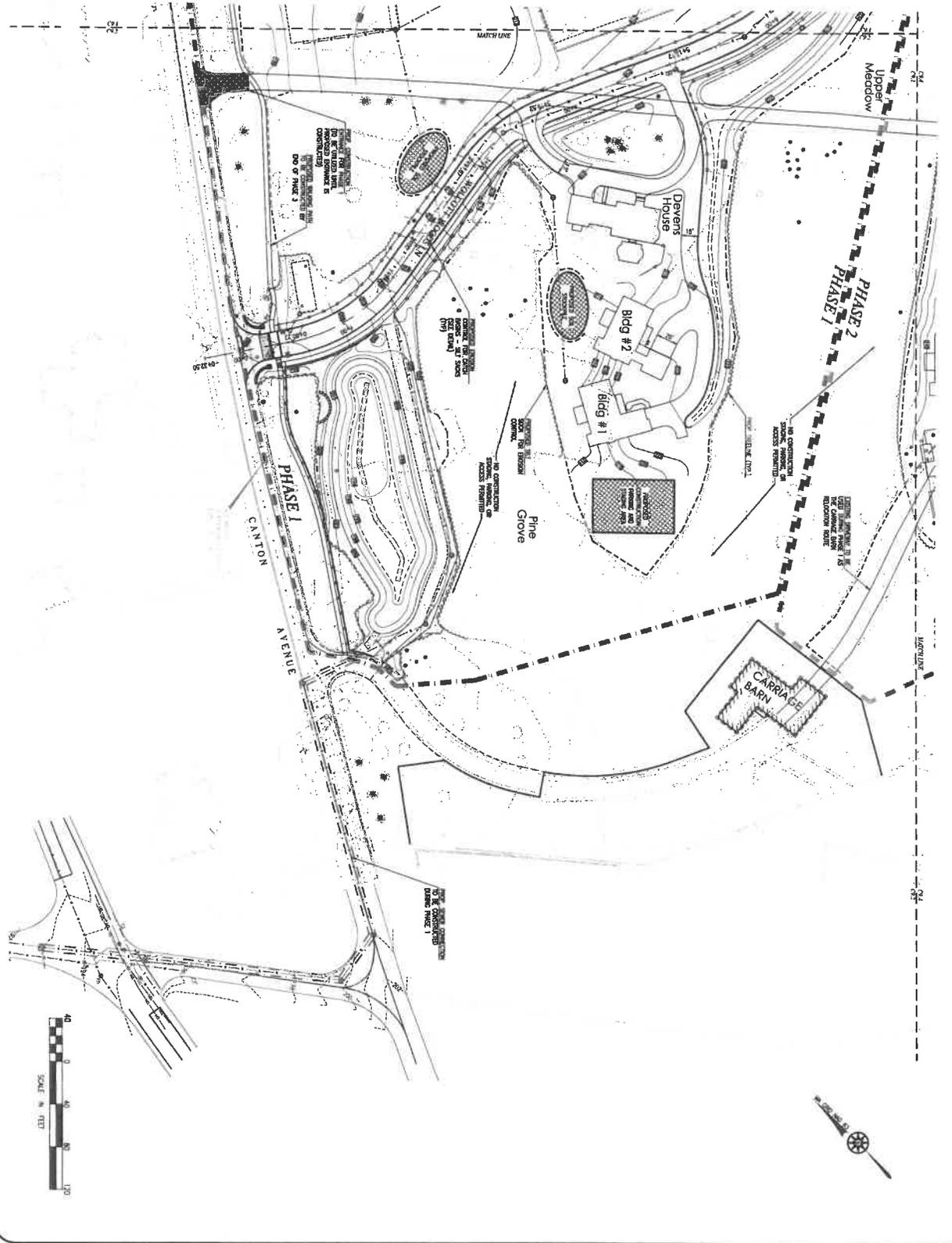
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| | | DESIGNED BY: JC/DWK |
| CHECKED BY: DWK | | DATE: APRIL 1, 2018 |
| PROJECT: WOLCOTT WOODS MILTON, MASSACHUSETTS | | SHEET: CS.1 |

SITE PLAN
WOLCOTT WOODS
MILTON, MASSACHUSETTS
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 80 BEHARRELL STREET, SUITE E
 CONCORD, MASSACHUSETTS 01742

Merrill

Engineers and Land Surveyors
 427 COLUMBIA ROAD, HANNOVER, MA 02130 / T: (781) 826-3200
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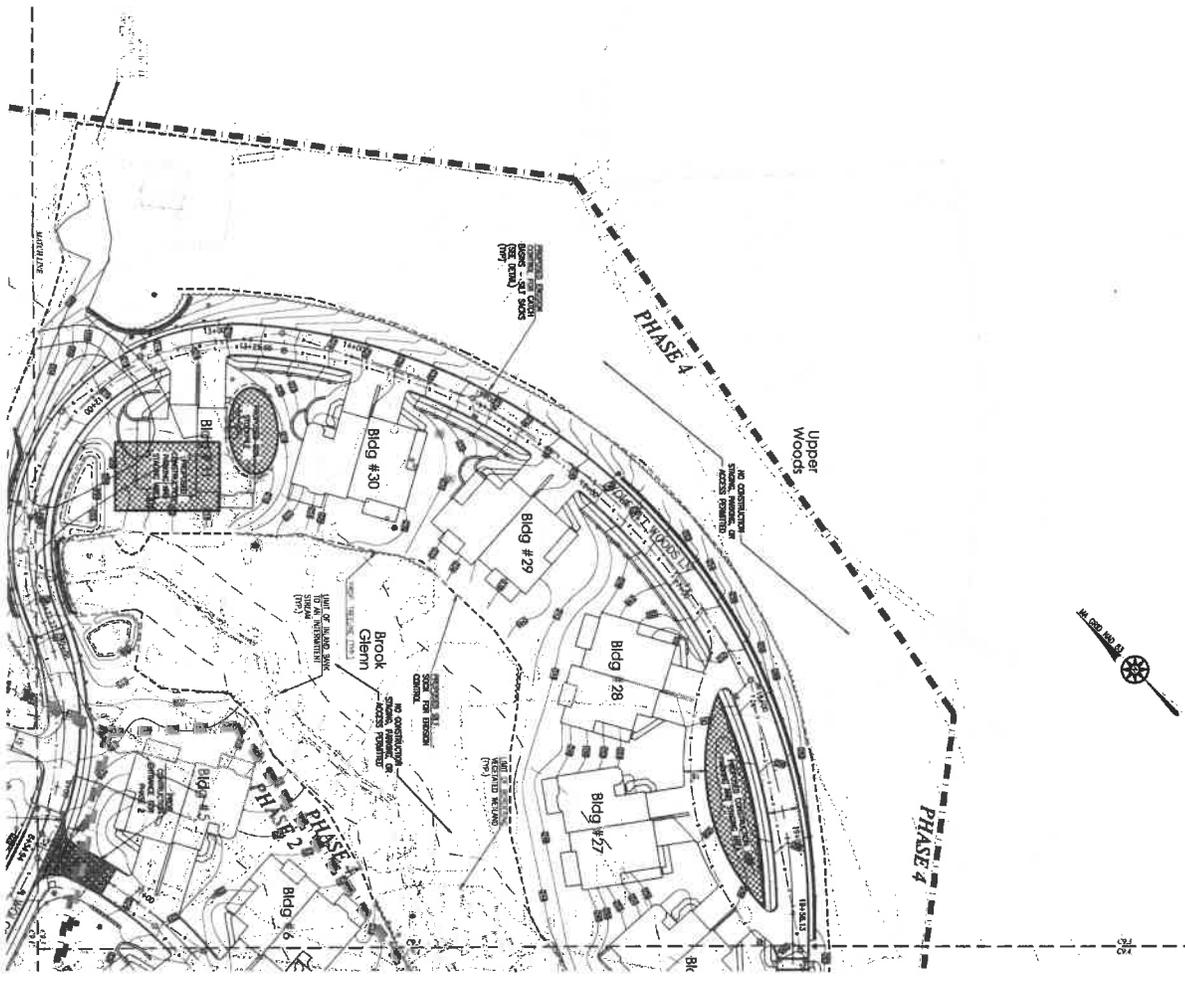
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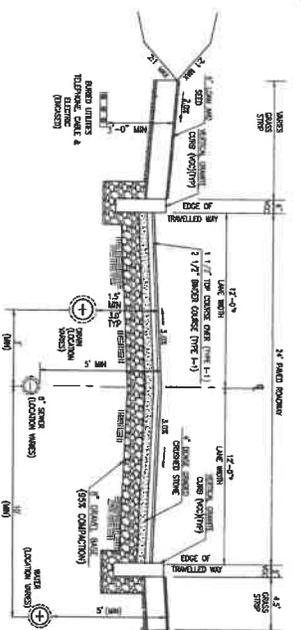
EROSION AND SEDIMENTATION CONTROL MEASURES

1. THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY WITH THE DEVELOPER, TOWN PLANNER, AND ANY INTERESTED TOWN DEPARTMENT HEADS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE APPROVED BY THE TOWN PLANNER PRIOR TO CONSTRUCTION.
2. CONSTRUCTION SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO EXCAVATION, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK.
3. EROSION CONTROL MEASURES SHALL BE USED DURING CONSTRUCTION. Silt socks shall be installed prior to the commencement of work.
4. STEEP SLOPES, WHERE POSSIBLE, WILL NOT BE DISTURBED.
5. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED, AND EXISTING VEGETATION WILL BE RETAINED AND PROTECTED TO THE EXTENT FEASIBLE.
6. THE CONTRACTOR SHALL MINIMIZE THE AREAS OF DISTURBED LAND TO THE EXTENT FEASIBLE.
7. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MONITORED DURING CONSTRUCTION.
8. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE ANY Silt SOCK MATS, FILTER FABRIC, Silt SOCKS, CONSTRUCTION FENCES, Silt SOCKS, SEDIMENT AND MUDLOGS, AND SEDIMENT FILTER TRAPS.
9. TOPSOIL, STRIPPED FROM CUT AND FILL AREAS WILL BE STORED IN PILES, COVERED, AND STORED AT LEAST 50 FEET FROM ANY EXISTING OR PROPOSED STRUCTURES. THE STOCKPILES SHALL BE LOCATED SO AS TO AVOID ANY TEMPORARY DISTURBANCES, GENERALLY ON THE GRASSY SLOPE.
10. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH Silt SOCK AND/OR STAINLESS STEEL TO PREVENT AND/OR CONTROL Silt AND EROSION. THE LOCATION OF THE STOCKPILE AREAS MAY BE ADJUSTED AS APPROVED BY THE ENGINEER.
11. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE WATERSHEDS AND THEREBY REDUCE THE SAME UNDESIRABLE FOR FILL USE.
12. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDS FOR TEMPORARY VEGETATION COVER. THESE CONSTRUCTION MEASURES SHALL BE PERMANENTLY EXPOSED OR HAVE THE MULCH OR SEEDS REMOVED PRIOR TO THE COMMENCEMENT OF PERMANENT VEGETATION. MULCH OR SEEDS SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF EXPOSURE. MULCH OR SEEDS SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF EXPOSURE. MULCH OR SEEDS SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF EXPOSURE. MULCH OR SEEDS SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF EXPOSURE.
13. EXISTING VEGETATION ON THE SITE SHALL BE MAINTAINED IN SUCH A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE USE OF Silt SOCK EROSION CONTROL.
14. DURING LIGHT CONSTRUCTION, ALL WATER PUMPED FROM THE EXCAVATED TRENCH SHALL BE DIRECTED TO A TANK OR PUMPED SEWERAGE TREATMENT PLANT (OR APPROVED EQUIVALENT) AS DETERMINED BY THE ENGINEER.
15. DRAINAGE/VEGETATION MATS AND CONTROLS SHALL BE PROTECTED BY HANGING FENCES, UNITS, DISTURBED AREAS ARE TEMPORARILY STABILIZED.
16. Silt SOCKS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS SUBJECT TO STORMWATER MANAGEMENT. Silt SOCKS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS SUBJECT TO STORMWATER MANAGEMENT. Silt SOCKS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS SUBJECT TO STORMWATER MANAGEMENT.
17. ALL EROSION CONTROL MEASURES SHALL BE PROMPTLY INSPECTED, CLEANED AND REPAIRED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. AN EROSION CONTROL CHECKLIST SHALL BE USED AFTER EACH RAINFALL EVENT.
18. ALL PROPOSED STORMS (INCLUDING THE FUTURE STORM) SHALL BE STORED WITH A CHECKLIST EROSION CONTROL. WRITING BY AMERICAN DECISION COMPANY (OR APPROVED EQUIVALENT) AND PROTECTED FROM EROSION.
19. THE CONSTRUCTION SHALL KEEP ON SITE AT ALL TIMES APPROVAL, Silt SOCK AND EXTRA STAINLESS STEEL FOR INSTALLATION AT THE DISCRETION OF THE ENGINEER, THE CONSERVATION COMMISSION OR THE PLANNING BOARD TO MINIMIZE ANY OVERSIGHT OCCURRING.



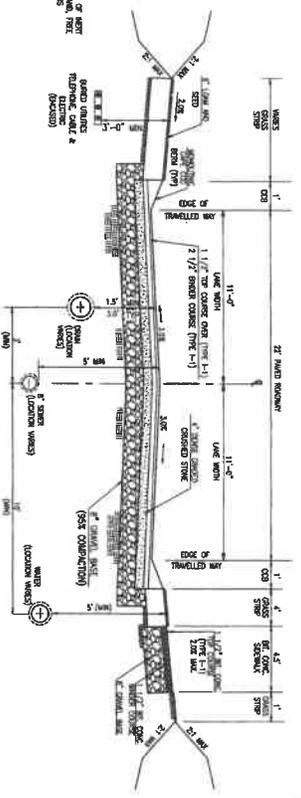
| <p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | DESCRIPTION | | | | | | | <p>KEY PLAN</p> | <p>DESIGNED BY: JG</p> <p>CHECKED BY: DMK</p> | <p>Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02560 / T: (508) 746-6060 WWW.MERRILL-INS.COM</p> | <p>SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEAUREL STREET, SUITE E CONCORD, MASSACHUSETTS 01742</p> | <p>DATE: AUGUST 31, 2018</p> <p>SCALE: 1" = 40'</p> <p>JOB NO: 18-079</p> <p>DATE: APRIL 1, 2018</p> <p>CONSTRUCTION PHASING & EROSION CONTROL PLAN</p> <p>SHEET 08.3</p> |
|---|-----|------|-------------|--|--|--|--|--|--|-----------------|---|--|--|---|
| | NO. | DATE | DESCRIPTION | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
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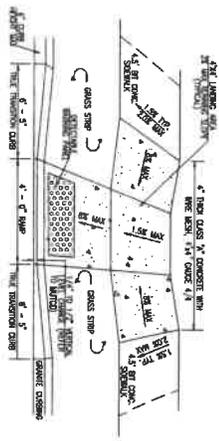


ROADWAY CROSS SECTION STA 0+00 TO 1+64
(NOT TO SCALE)

1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
2. ALL FILL MATERIALS TO BE FINISHED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
3. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 7.1.3 OF THE LATEST SPECIFICATIONS AND REGULATIONS.

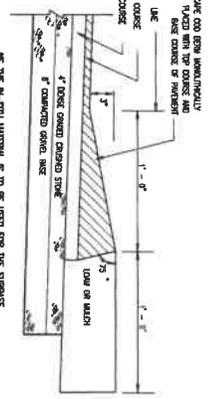


TYPICAL ROADWAY CROSS SECTION STA 1+64 TO 37+95
(NOT TO SCALE)



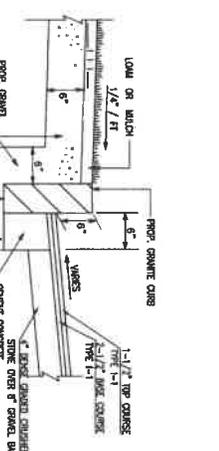
WHEELCHAIR RAMP DETAIL
(NOT TO SCALE)

- NOTES:**
1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
 2. ALL FILL MATERIALS TO BE FINISHED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
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 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 7.1.3 OF THE LATEST SPECIFICATIONS AND REGULATIONS.



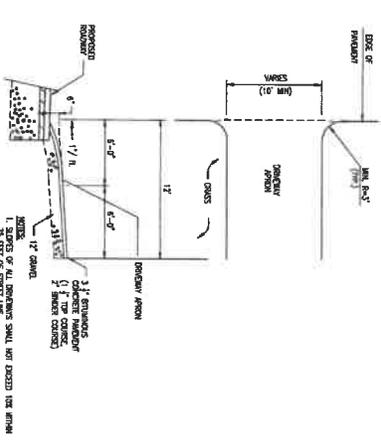
MONOLITHIC BRUNNONS CONCRETE BERM DETAIL
(CAPE COD BERM)
(NOT TO SCALE)

- NOTES:**
1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
 2. ALL FILL MATERIALS TO BE FINISHED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
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 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 7.1.3 OF THE LATEST SPECIFICATIONS AND REGULATIONS.



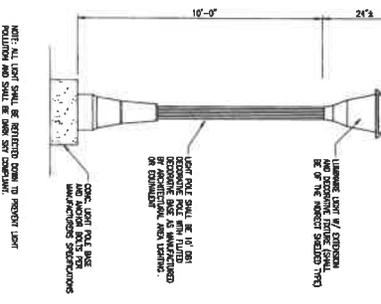
VERTICAL GRANITE CURB DETAIL
(NOT TO SCALE)

- NOTES:**
1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
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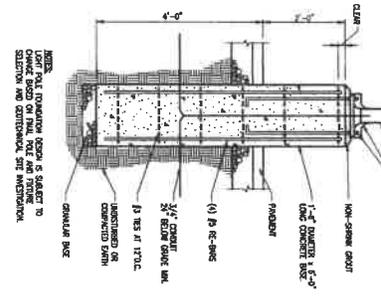
DRAINWAY APRON DETAIL
(NOT TO SCALE)

- NOTES:**
1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
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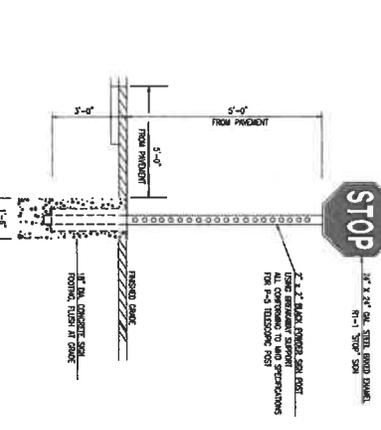
TYPICAL LIGHT POST DETAIL
(NOT TO SCALE)

- NOTES:**
1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
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LIGHT POLE FOUNDATION DETAIL
(NOT TO SCALE)

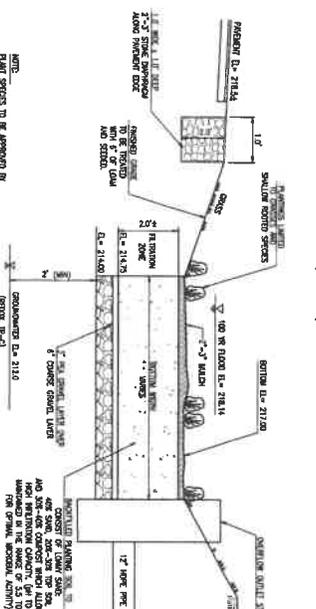
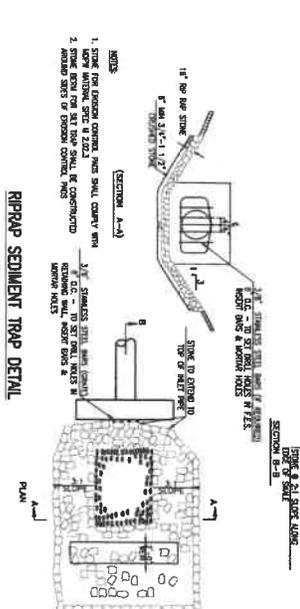
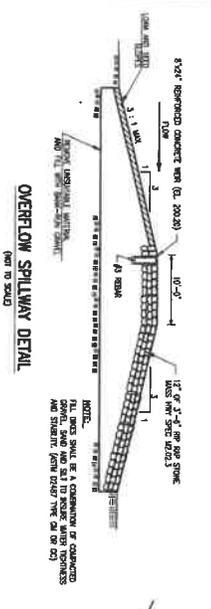
- NOTES:**
1. SUBGRADE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (PER AASHTO T-99) TO A MINIMUM OF 4 INCHES BELOW FINISH GRADE.
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 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 7.1.3 OF THE LATEST SPECIFICATIONS AND REGULATIONS.



STOP SIGN DETAIL
(NOT TO SCALE)

- NOTES:**
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| | | | | | | |
|--|---|--|--|--|--|-------------|
| | REVISIONS 1. 11/15/2018 2. 11/15/2018 3. 11/15/2018 | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHARRILL STREET, SUITE E CONCORD, MASSACHUSETTS 01742 | | Engineers and Land Surveyors 427 COLUMBIA ROAD, HANOVER, MA 02336 / T: (781) 826-9200 28 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILL-ENGINEERS.COM | DRAWN BY: JC DESIGNED BY: JC/DWK CHECKED BY: DMK | SHEET C10.1 |
| | AUGUST 31, 2018 SCALE: N.T.S. JOB NO. 16-079 LATEST REVISION: APRIL 1, 2019 CONSTRUCTION DETAILS | | | | | |



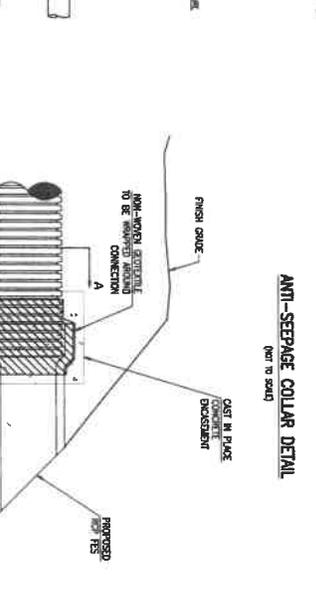
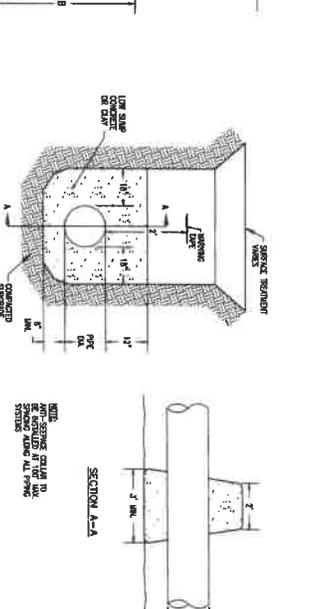
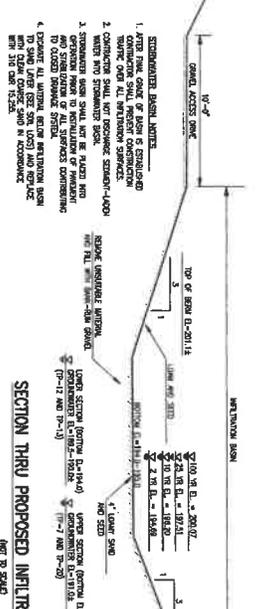
NOTES:

1. TRAP FOR FINEST GRAIN SANDS SHALL CAPTURE WITH 1.5' HIGH CONCRETE CURB.
2. TRAP FOR ALL OTHER GRAIN SIZES SHALL BE CAPTURED BY 1.5' HIGH CONCRETE CURB.
3. TRAP FOR ALL OTHER GRAIN SIZES SHALL BE CAPTURED BY 1.5' HIGH CONCRETE CURB.

CONSTRUCTION AND MAINTENANCE:

PRE-CONSTRUCTION: THE CONTRACTOR SHALL VERIFY THE EXISTING GROUND SURFACE AND THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

POST-CONSTRUCTION: THE CONTRACTOR SHALL MAINTAIN THE TRAP IN GOOD WORKING ORDER AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAP'S OPERATION AND MAINTENANCE.



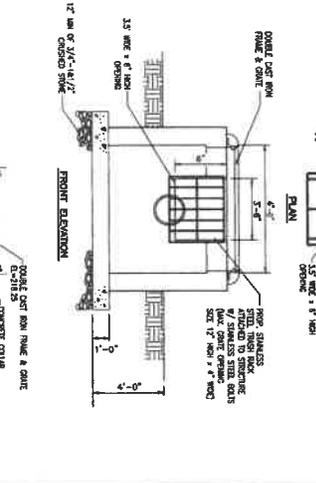
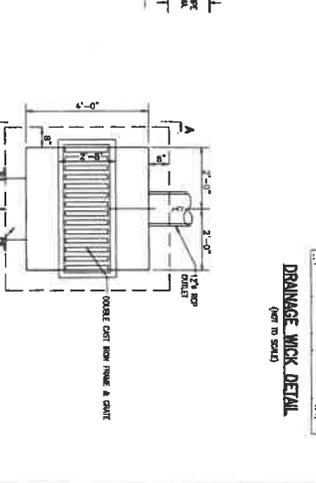
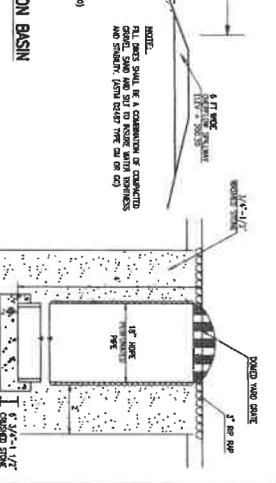
NOTES:

1. CONNECTION AND PIPE TO BE INSTALLED PER ASTM D2731, LATEST EDITION.
2. IN CASE OF AN INTERNAL CHECKER, AN HOPE W/ANTHROPIC RESIN CHECKER CAN BE USED.
3. INTERNAL CHECKER ADAPTER IS NOT RECOMMENDED FOR DOWNSHAFT CONNECTIONS.

CONSTRUCTION AND MAINTENANCE:

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REVISIONS

| | | |
|-----|----------|----------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 11/07/21 | ISSUE FOR PERMIT |
| 2 | 01/11/22 | REVISED PER COMMENTS |
| 3 | 03/01/22 | REVISED PER COMMENTS |
| 4 | 03/01/22 | REVISED PER COMMENTS |
| 5 | 03/01/22 | REVISED PER COMMENTS |
| 6 | 03/01/22 | REVISED PER COMMENTS |
| 7 | 03/01/22 | REVISED PER COMMENTS |
| 8 | 03/01/22 | REVISED PER COMMENTS |
| 9 | 03/01/22 | REVISED PER COMMENTS |
| 10 | 03/01/22 | REVISED PER COMMENTS |

KEY PLAN

DESIGNED BY: JG

CHECKED BY: DMK

DATE: APRIL 1, 2019

Merrill
Engineers and Land Surveyors
427 COLUMBIA ROAD, HANSCOCK, MA 02340 / T: (781) 825-5200
28 UNION STREET, PLAINMOUTH, MA 02260 / (508) 746-6060
WWW.MERRILL-ENGINEERS.COM

SITE PLAN
WOLCOTT WOODS
MILTON, MASSACHUSETTS
PREPARED FOR WOLCOTT RESIDENTIAL, LLC
80 BEHARRELL STREET, SUITE E
CONCORD, MASSACHUSETTS 01742

SCALE: N.T.S.

DATE: AUGUST 31, 2018

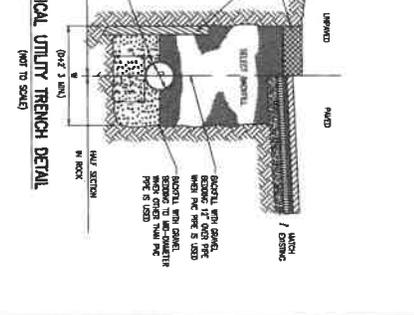
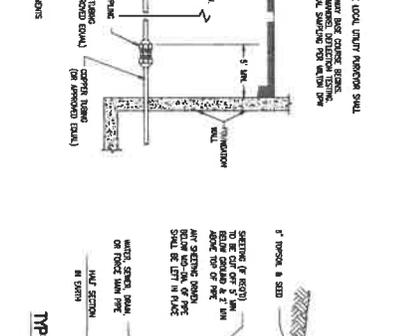
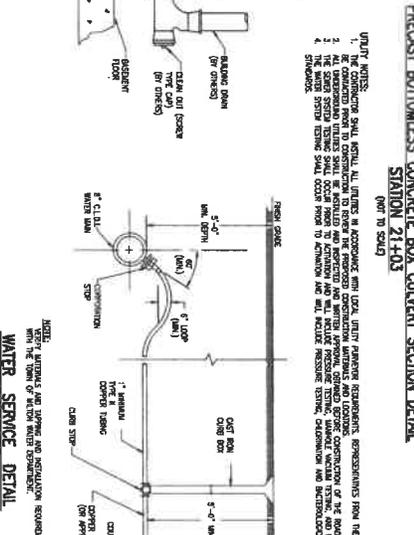
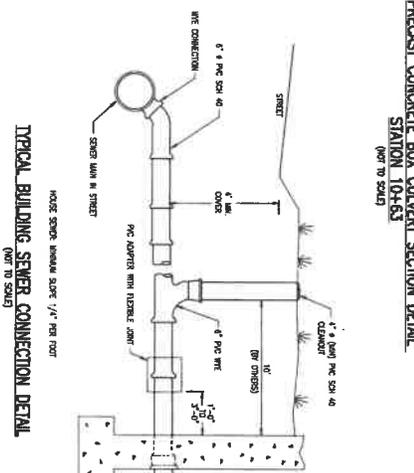
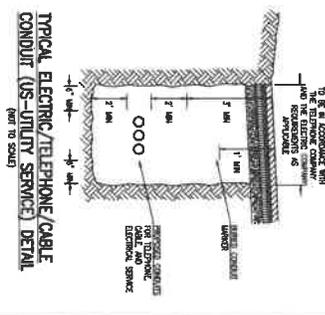
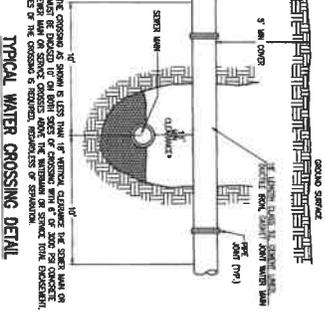
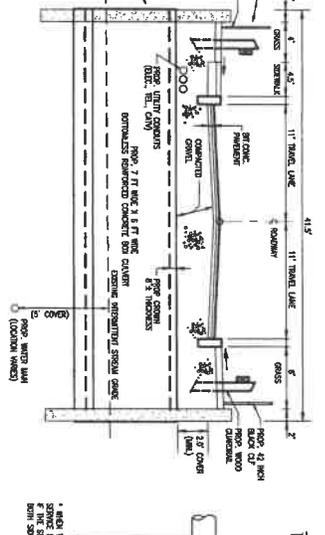
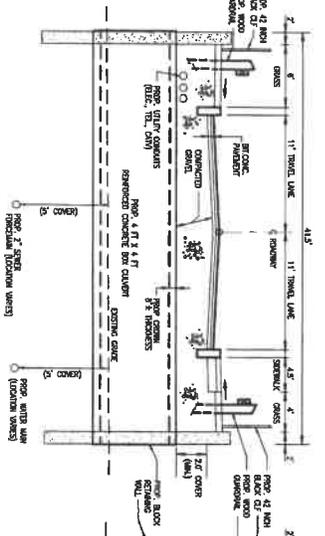
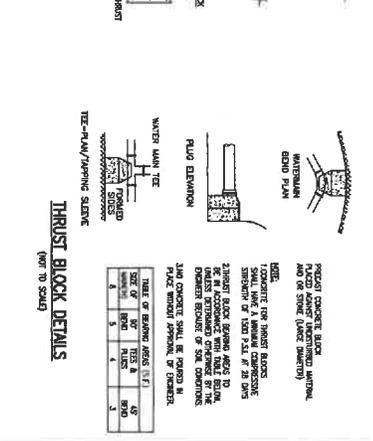
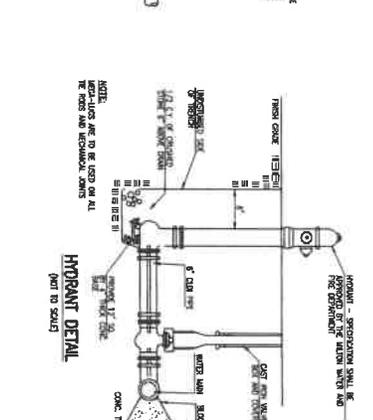
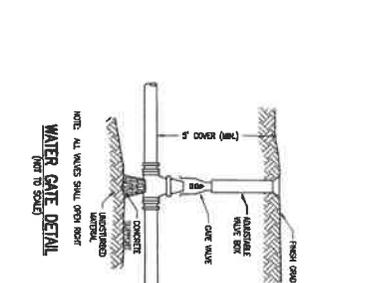
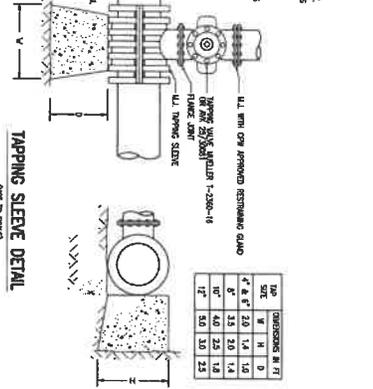
JOB NO: 18-079

DATE: APRIL 1, 2019

SHEET: C10.1

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL UTILITY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL UTILITY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL UTILITY AGENCIES.

- NOTE:**
1. PRECAST CONCRETE SHALL BE CAST IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1R-08.
 2. USE MATERIALS OF AMERICAN MANUFACTURE.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS SHALL BE TO THE CENTER OF THE PIPE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS SHALL BE TO THE CENTER OF THE TAPPING SLICE UNLESS OTHERWISE NOTED.



SITE PLAN
WOLCOTT WOODS
MILTON, MASSACHUSETTS
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 80 BENHURST STREET, SUITE E
 CONCORD, MASSACHUSETTS 01742

Merrill
 Engineers and Land Surveyors
 427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 825-5200
 26 UNION STREET, PLUMBOUR, MA 02260 / T: (508) 746-5060
 WWW.MERRILL-ENGINEERS.COM

REVISIONS

| | | |
|-----|---------------|----------------------|
| NO. | DATE | DESCRIPTION |
| 1 | APRIL 1, 2018 | CONSTRUCTION DETAILS |

DESIGNED BY: JG/DJK
 CHECKED BY: DMK

KEY PLAN

AUGUST 31, 2018
 SCALE: N.T.S.
 JOB NO. 16-079
 LATEST REVISION
 APRIL 1, 2018
 CONSTRUCTION DETAILS

SHEET C10.5

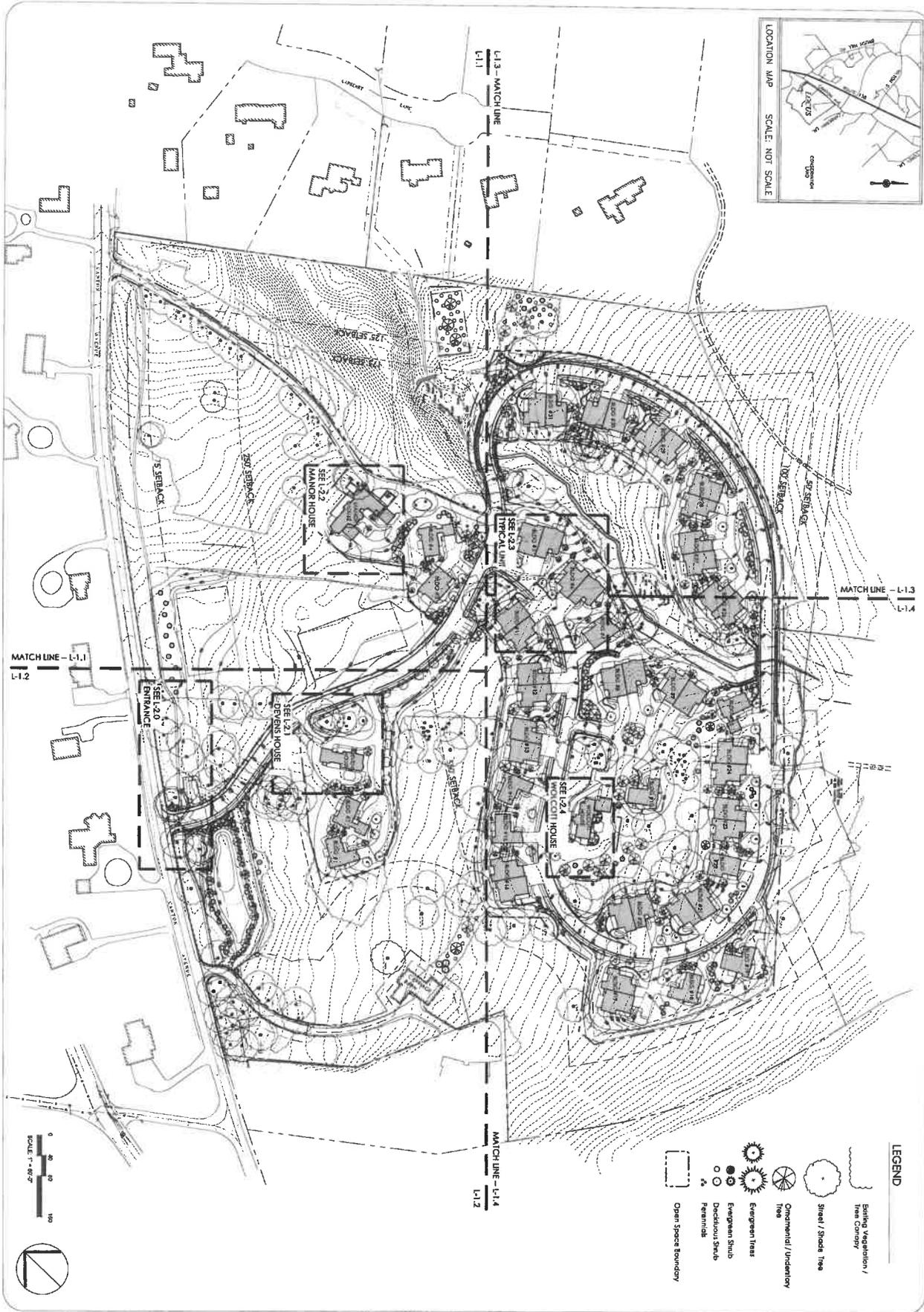
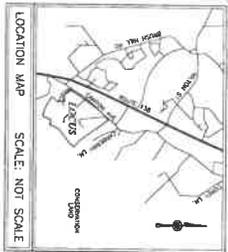


NOT TO SCALE
 ALL DIMENSIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION.
 THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
 THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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SCALE IN FEET
 0 50 100 140

PROJECT AREA
 100' x 100' x 100' x 100'
 OVERALL OPEN SPACE AREA
 100' x 100' x 100' x 100'

| | | | |
|---|---|---|---|
| SHEET 051.1 DATE: APRIL 11, 2018 DRAWN BY: JG DESIGNED BY: JS/DWK CHECKED BY: DMK | SITE PLAN WOLCOTT WOODS MILTON, MASSACHUSETTS PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BISHOPRELL STREET, SUITE F CONCORD, MASSACHUSETTS 01742 | Merrill Engineers and Land Surveyors 427 COLUMBIA ROAD, HANNOVER, MA 02339 / T: (781) 826-9200 26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6060 WWW.MERRILL-MA.COM | REVISIONS 1. 4/11/18 2. 4/11/18 3. 4/11/18 |
| | AUGUST 31, 2018 SCALE: 1" = 80' JOB NO. 18-079 LATEST REVISION: APRIL 11, 2018 MVA 1284 2582 SINCE 12/24/18 | KEY PLAN | |



LEGEND

- Existing Vegetation / Tree Canopy
- Steel / Shade Tree
- Ornamental / Understory Tree
- Evergreen Tree
- Deciduous Shrub
- Deciduous Shrub / Ferns/Orchids
- Open Space Boundary



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
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| | | |

KEY PLAN



RYAN ASSOCIATES
 LANDSCAPE ARCHITECTURE AND PLANNING
 144 Moody Street, Building 4
 Waltham, MA 02453-5332
 ph: 781-314-0401
 www.ryan-assoc.com

**OVERALL SITE PLAN
 WOLCOTT WOODS
 MILTON, MASSACHUSETTS**
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 80 BEHARRELL STREET, SUITE C
 CONCORD, MASSACHUSETTS 01742

DATE: AUGUST 31, 2018
 SCALE: AS SHOWN
 JOB NO. 1901
 LATEST DATE: APRIL 1, 2019
L-10
 SHEET

DESIGNED BY: AA
 CHECKED BY: AA
 DRAWN BY: AA/TG/AW



SOIL NOTES

ALL AREAS UNDISTURBED BY CONSTRUCTION NOT DEGRADED TO RECEIVE OTHER TREATMENT SHALL BE TOWAED A MINIMUM OF 6' AND SEEDED AS SPECIFIED BELOW. TOPSOIL FOR THE PURPOSE SHALL MEET THE FOLLOWING MINIMUM STANDARDS:

TEXTURE: FINE SANDY LOAM OR SANDY LOAM, AS DETERMINED BY CLASSIFICATION SYSTEM.

ACIDITY: SOIL REACTION SHALL BE IN THE RANGE OF 5.5 TO 7.5, OR ORGANIC MATTER: FOREST SHALL HAVE A RANGE BETWEEN 5% AND 10% ORGANIC MATTER CONTENT BASED ON THE LOSS ON IGNITION OF OVERDRIED SAMPLES.

IN THE FOLLOWING PROPORTION: THE SPECIFIED MATERIALS ON SITE - 3 PARTS TOPSOIL, AS SPECIFIED ABOVE, AND 5 POUNDS OF UNIFORM, DISTRIBUTION, PLANNING MIX SHALL BE USED TO BACKFILL ALL TREE PLANNING HOLES, AS INDICATED IN THE PLANNING DETAIL.

REMANENT SEED MIX NOTES

SEED/SOD GRASS AREAS: SEED/COVERED ALL SEED/SOD GRASS LAYS SEEDS WITH A DEDICATED TOLERANT, HIGH RESISTANCE SEED/SOD GRASS PREMIX, WATLAND, MA, SINTERED/SOD BY BLUESTEM NURSERY, LUMBER, WA, ECO-LAWN BY WILDFLOWER FARM, COLDWATER, ONT, SEED COVERED AND SEEDING SHALL BE COMPLETED BY APRIL 1 AND JUNE 15, OR BETWEEN AUGUST 15 AND SEPTEMBER 30.

WATERLAW MIX: AERIAL SEED OVER TOPWATERLAW RESTORATION AREA WITH NEW ENGLAND MIXING WATER SEASON GRASS MIX BY NEW ENGLAND WETLAND PLANTS, AMHERST, MA, OR APPROVED EQUAL PERMANENT/CURBERS RECOMMENDATIONS. WYMA SEASON.

MAINTENANCE OF SEED AREAS SHALL CONSIST OF WATERING, WEED CONTROL, AND SOIL CARE. SOIL CARE IS NECESSARY TO ESTABLISH A UNIFORM STAND OF GRASS; LAMING SHALL BE PERFORMED IN A FACTORY MANAGER DRUM AND UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE RESEED REPEATEDLY UNTIL A UNIFORM STAND IS ATTAINED.

HYDROSEEDING IS AN ACCEPTABLE ALTERNATE METHOD OF SEEDING. MATERIALS FOR HYDROSEEDING SHALL INCLUDE FACERFER WOOD CELLULOSE FIBER MULCH, FERTILIZER, GROUND LIMESTONE AND WATER.

HYDROSEEDING/SEEDING MIXTURE:

TACKLER: APPLY AT A RATE OF 40 GALLONS PER ACRE.

SEED: APPLY AT A RATE OF 15 POUNDS PER ACRE.

FERTILIZER: APPLY AT A RATE OF 15 POUNDS PER ACRE.

APPLY FERTILIZER AND LIMESTONE AT RATES DETERMINED BY SOIL ANALYSIS.

| <p>DESIGNED BY: AA</p> <p>CHECKED BY: AA</p> <p>DRAWN BY: AA/ZJ/WH</p> | <p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> </table> | NO. | DESCRIPTION | | | <p>KEY PLAN</p> | <p>RYAN ASSOCIATES LANDSCAPE ARCHITECTURE AND PLANNING</p> <p>144 Moody Street, Building 4 Waltham, MA 02453-5332</p> <p>ph: 781-314-0401 www.ryan-assoc.com</p> | <p>SITE PLAN - SHEET 2</p> <p>WOLCOTT WOODS</p> <p>MILTON, MASSACHUSETTS</p> <p>PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 REHARRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742</p> |
|---|--|-----|-------------|--|--|------------------------|---|--|
| | | NO. | DESCRIPTION | | | | | |
| | | | | | | | | |
| <p>SCALE: 1" = 40'-0"</p> <p>DATE: FEBRUARY 2018</p> <p>JOB NO. L-12</p> <p>SHEET</p> | <p>AUGUST 31, 2018</p> | | | | | | | |



- LEGEND**
- Existing Vegetation / Tree Canopy
 - Street / Shade Tree
 - Ornamental / Understory Tree
 - Evergreen Trees
 - Evergreen Shrub
 - Deciduous Shrub
 - Ferns/Grass
 - Open Space Boundary

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

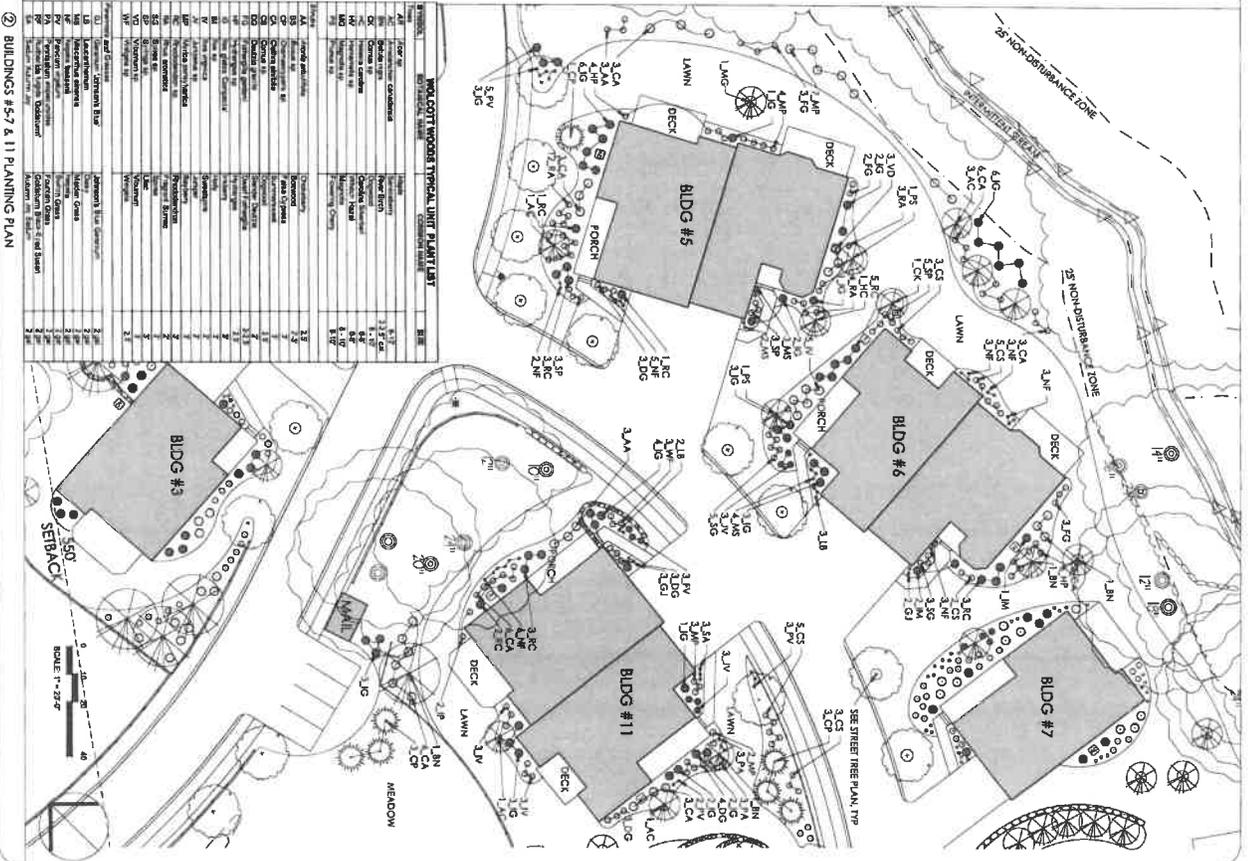
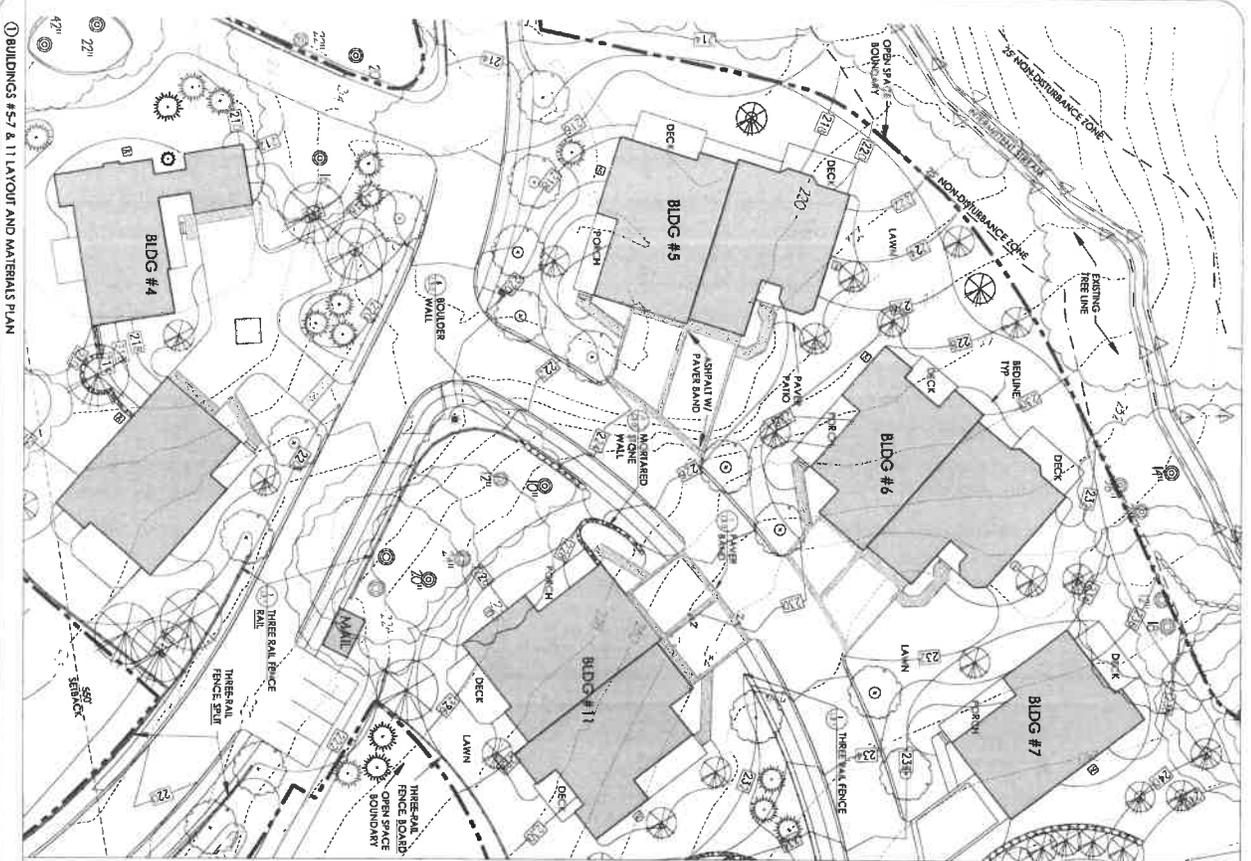
KEY PLAN

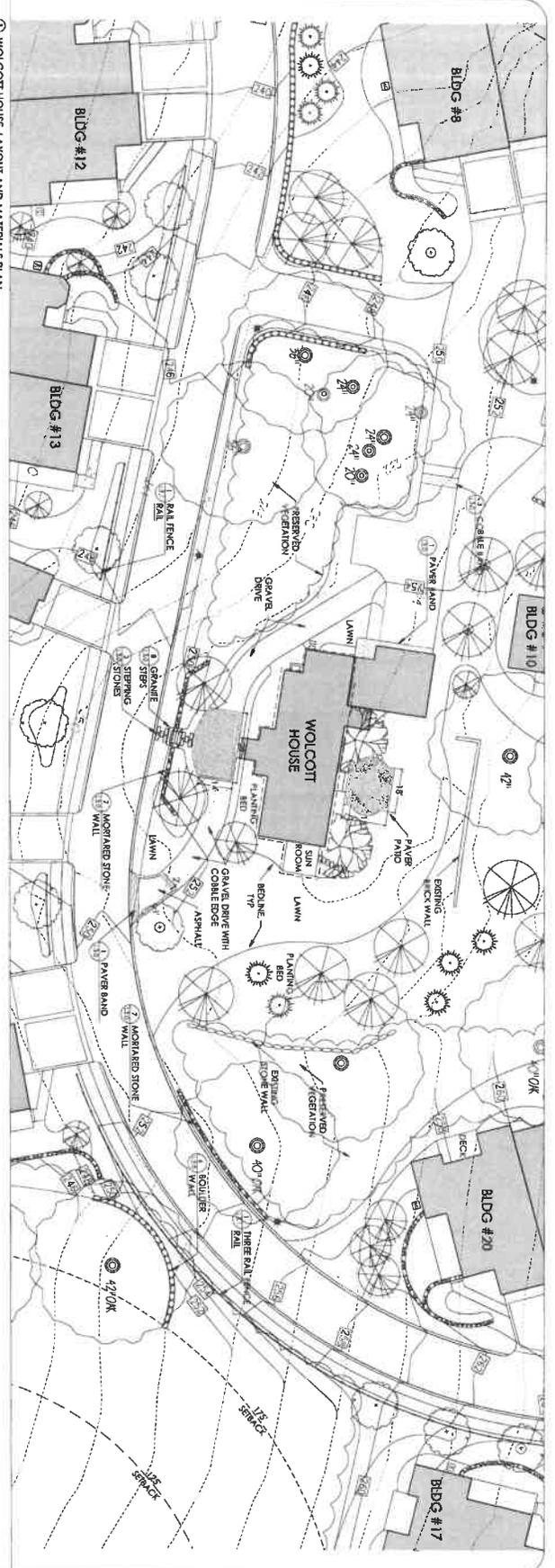
RYAN ASSOCIATES
 LANDSCAPE ARCHITECTURE AND PLANNING
 144 Moody Street, Building 4
 Waltham, MA 02453-3332
 ph: 781-314-0401
 www.ryan-assoc.com

SITE PLAN - SHEET 4
WOLCOTT WOODS
 MILTON, MASSACHUSETTS
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 80 BEHARRELL STREET, SUITE E
 CONCORD, MASSACHUSETTS 01742

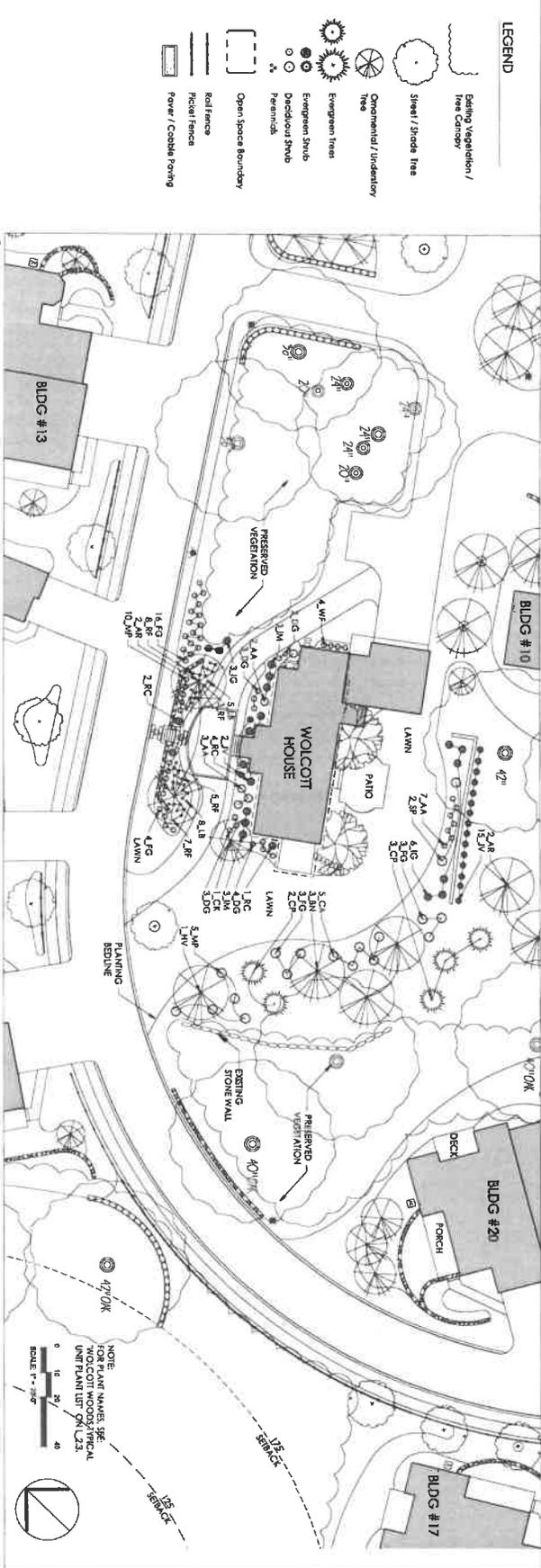
ALDUST 31, 2018
 SCALE:
 JOB NO.
 DATE REVISION:
 APRIL 1, 2019
L-14
 SHEET

DESIGNED BY: AA
 CHECKED BY: AA
 DRAWN BY: AA/ZK/JW





① WOLCOTT HOUSE LAYOUT AND MATERIALS PLAN



② WOLCOTT HOUSE PLANTING PLAN

NOTE: ALL PLANTS ARE TO BE PLANTED IN ACCORDANCE WITH THE WOLCOTT WOODS SPECIAL UNIT PLAN SET ON L.23.
SCALE: 1" = 40'



| NO. | REVISIONS |
|-----|-----------|
| | |
| | |
| | |



KEY PLAN

DRAWN BY: AA/24/AM

DESIGNED BY: AA

CHECKED BY: AA

RYAN ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING
144 Moody Street, Building 4
Waltham, MA 02453-5352
ph: 781-314-0401
www.ryan-assoc.com

RYAN ASSOCIATES

**WOLCOTT HOUSE
WOLCOTT WOODS**
MILTON, MASSACHUSETTS
PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
80 BEHARRELL STREET, SUITE E
CONCORD, MASSACHUSETTS 01742

DATE: AUGUST 31, 2018
SCALE:
JOB NO.
LATEST REVISION
APRIL 1, 2019
L-2.24
SHEET



KEY PLAN

DRAWN BY: AA/ZIV/JAW

DESIGNED BY: AA

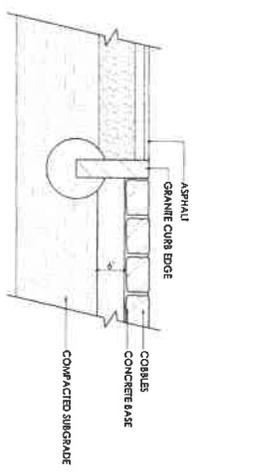
CHECKED BY: AA

RYAN ASSOCIATES
 LANDSCAPE ARCHITECTURE AND PLANNING
 144 Moody Street, Building 4
 Waltham, MA 02453-5332
 ph: 781 - 314 - 0401
 www.ryan-assoc.com

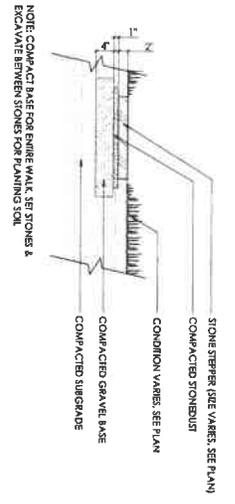
DETAILS
WOLCOTT WOODS
 MILTON, MASSACHUSETTS
 PREPARED FOR: WOLCOTT RESIDENTIAL, LLC
 89 BOWSHILL STREET, SUITE E
 CONCORD, MASSACHUSETTS 01742

JOB No. LAE17-RENSON
 DATE: August 1, 2019
 SCALE: AS SHOWN

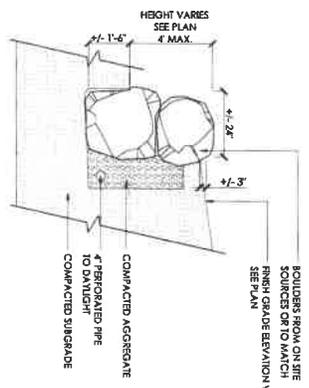
L-30
 SHEET



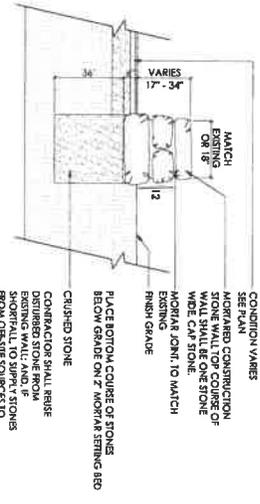
3 COBBLE STRIP
 L-30 | SCALE: 1" = 1'-0"
 SECTION



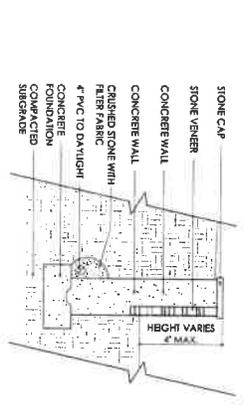
2 STEPPING STONE
 L-30 | SCALE: 1" = 1'-0"
 SECTION



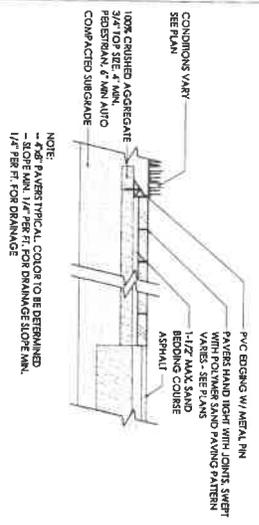
6 LANDSCAPE WALL - DRY STACKED BOULDERS
 L-30 | SCALE: 1" = 1'-0"
 SECTION



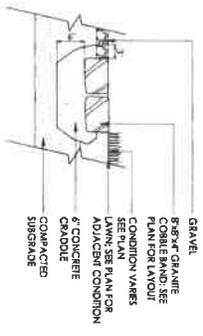
5 MORTARED WALL - FREE STANDING
 L-30 | SCALE: 1" = 1'-0"
 SECTION



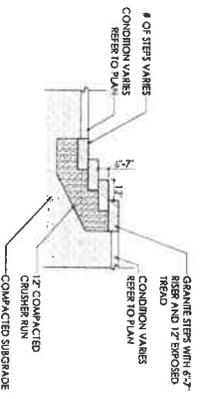
4 LANDSCAPE WALL - CONCRETE W/ STONE VENEER
 L-30 | SCALE: 1" = 1'-0"
 SECTION



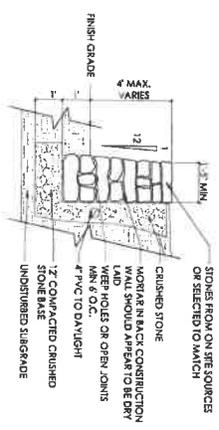
1 CONCRETE PAVERS
 L-30 | SCALE: 1" = 1'-0"
 SECTION



9 COBBLE EDGE
 L-30 | SCALE: 1" = 1'-0"
 SECTION



8 GRANITE STEPS
 L-30 | SCALE: 1" = 1'-0"
 SECTION



7 LANDSCAPE WALL - MORTAR WALL
 L-30 | SCALE: 1" = 1'-0"
 SECTION



WOLCOTT WOODS

CANTON AVENUE MILTON, MASSACHUSETTS
ARCHITECTURAL DESIGN SET

OWNER: WOLCOTT WOODS, LLC, 80 BEHARELL ST SUITE E, CONCORD, MA
ARCHITECT: GRAZADO VELLECO ARCHITECTS, 10 DOAKS LANE MARBLEHEAD, MA
LANDSCAPE ARCHITECT: RYAN ASSOCIATES, 144 WOODY STREET BLDG 4, WALTHAM, MA
CIVIL ENGINEER/SURVEYOR: MERRILL ENGINEERS, 427 COLUMBIA ROAD HANOVER, MA

LIST OF ARCHITECTURAL DRAWINGS

- 1 DRAWING INDEX AND UNIT TYPE LOCATIONS
- 2 DESIGN HOUSE PHOTOS
- 3 DESIGN HOUSE PLANS AND ELEVATIONS AT WOLCOTT CLUSTER
- 4 UNIT TYPE A MAIN ELEVATIONS AT DENNIS CLUSTER @ 1/4"=1'-0"
- 5 UNIT TYPE A ELEVATIONS AT DENNIS CLUSTER
- 6 WOLCOTT HOUSE PHOTOS
- 7 WOLCOTT HOUSE PLANS AND ELEVATIONS
- 8 UNIT TYPE A, B, C ELEVATIONS AT WOLCOTT CLUSTER @ 1/4"=1'-0"
- 9 UNIT TYPE A, B, C ELEVATIONS AT WOLCOTT CLUSTER
- 10 MANOR HOUSE PHOTOS
- 11 MANOR HOUSE PLANS AND ELEVATIONS
- 12 UNIT TYPE A AND C SINGLE FAMILY ELEVATIONS AT MANOR HOUSE CLUSTER
- 13 UNIT TYPES B, C AND D ELEVATIONS AT UPTON MEADOW
- 14 TYPICAL BLDG. WALL SECTIONS AND ROOF STRUCTURE



4.1.19

Cover Sheet with Index and Unit Type Locations

DWG: 2.14.19 FINAL DATE: 4.1.19

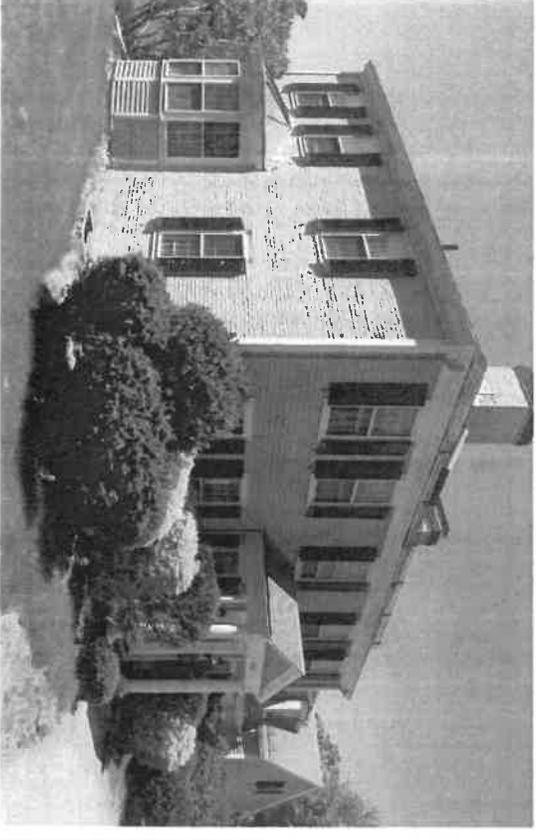
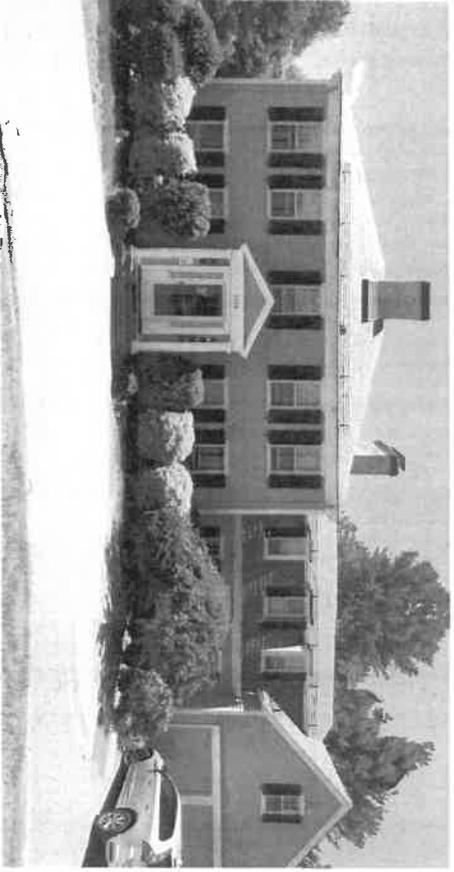
WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

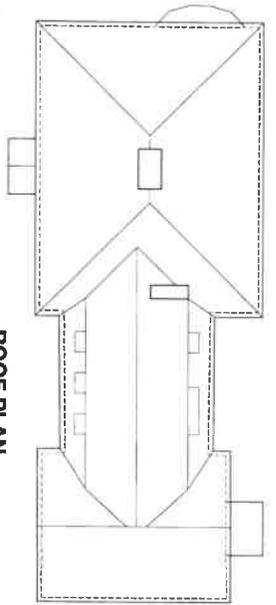
WOLCOTT WOODS, LLC
80 BEHARELL ST SUITE E,
CONCORD, MA

GRAZADO VELLECO ARCHITECTS, INC
10 DOAKS LANE MARBLEHEAD, MA

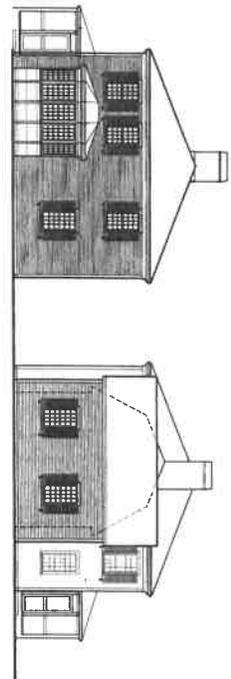
DEVENS HOUSE

1702 CANTON AVENUE MILTON, MA
EXISTING PHOTOGRAPHS



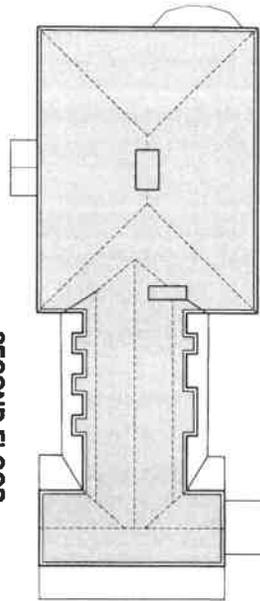


ROOF PLAN

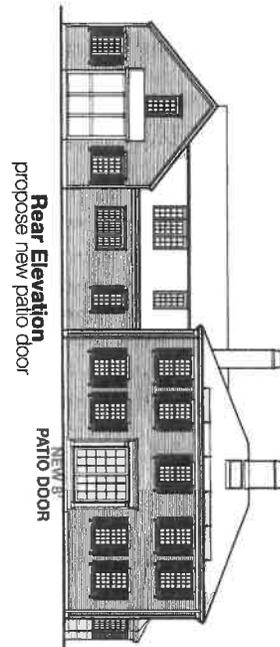


Left Elevation
no proposed modifications

Right Elevation
no proposed modifications



SECOND FLOOR
1900 SF

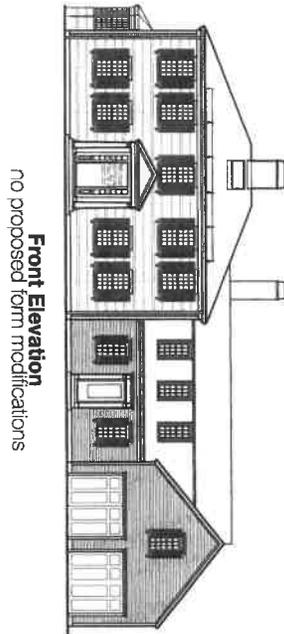


Rear Elevation
propose new patio door

NEW 8' PATIO DOOR



FIRST FLOOR
1840 SF



Front Elevation
no proposed form modifications

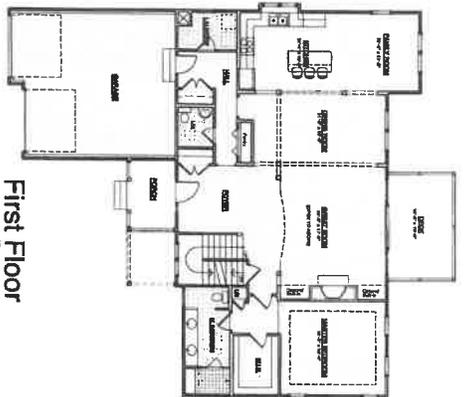
See Exhibit E for scope of Renovations

DEVENS CLUSTER DESIGN GOAL

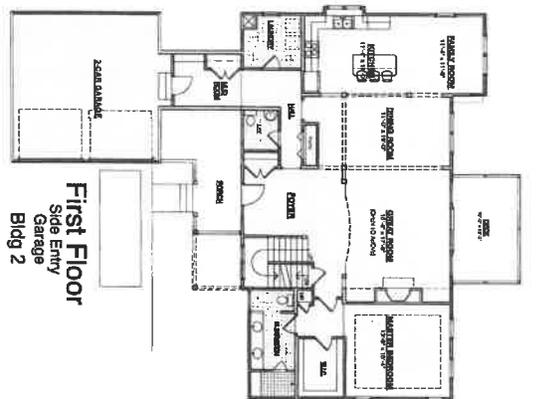
The concept is to create a grouping of 2 low-profile new single family homes that, together with the existing historic house, form a coherent cluster substantially hidden from view and constructed of similar materials, details and color.

CONSTRUCTION NOTES:

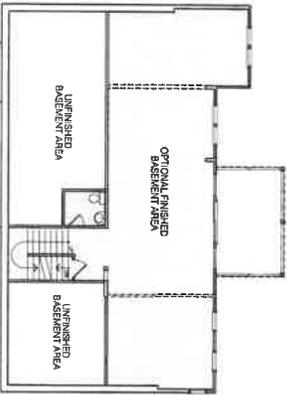
- UNIT TYPE A @ DEVENS HOUSE
- 10" poured concrete foundation
- 2x6 exterior wall construction
- fiber cement claddings and board and batten siding to match Devens house in species and color
- simulated divided lights, low E, insulated glass
- 3-lab asphalt, 25-year stringless to match color of Devens house, with standing seam roof accents
- composite porch decking and railing system
- aluminum half-round gutters, and round downspouts
- insulated fiberglass Thermalid Classic entry door
- carriage house style overhead garage doors



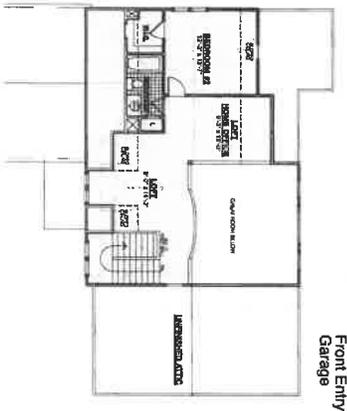
First Floor
Front Entry
Garage
Bldg 1



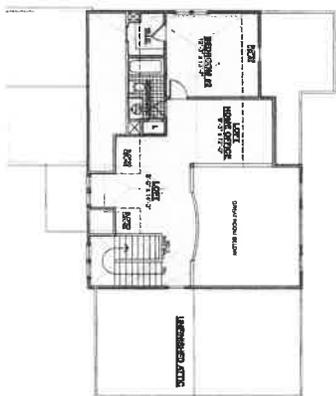
First Floor
Side Entry
Garage
Bldg 2



**Typical
Basement Level**



Second Floor
Front Entry
Garage
Bldg 1



Second Floor
Side Entry
Garage
Bldg 2

RESIDENT FLOOR AREA 1853 SF
SECOND FLOOR AREA 2172 SF
TOTAL Basement not to exceed 3025 SF
TOTAL ALLOWED CHANGE FLOOR AREA INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3000 SF

Unit Type A

Unit Type A Plans and Devens House Cluster

Scale: 1/8" = 1'-0"
Date: 1.24.19

Latest Date: 4.1.19

WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

WOLCOTT WOODS, LLC
80 BEHARELL ST SUITE E,
CONCORD, MA

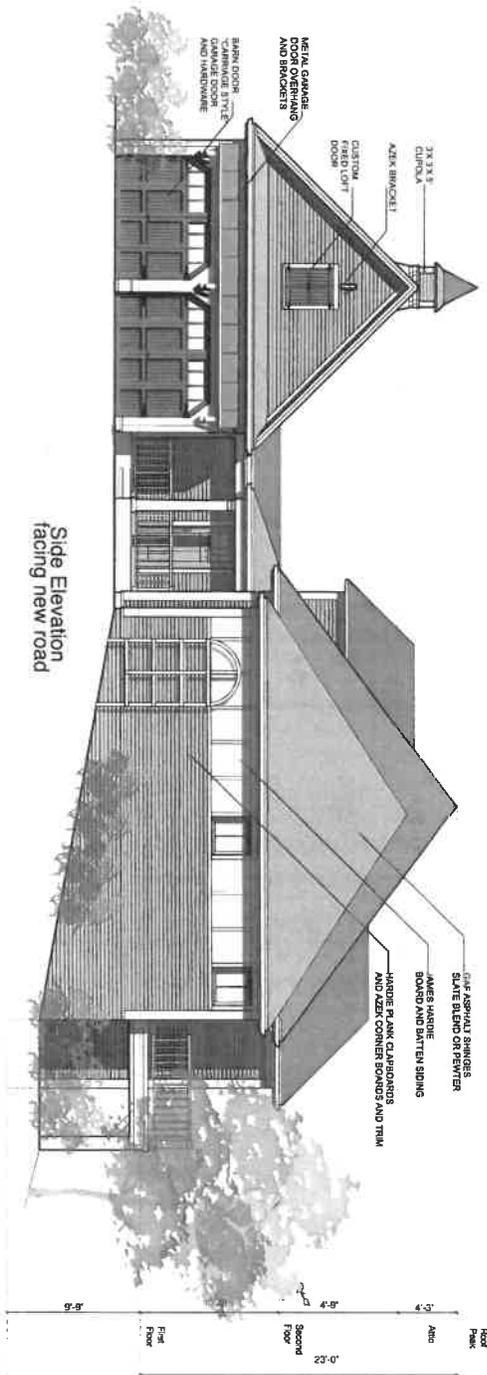
GRAZADO VELLECO ARCHITECTS, INC
10 DOAKS LANE MARBLEHEAD, MA

Notes:
1. All work shall conform to the latest editions of the applicable building codes.
2. All materials and workmanship shall be in accordance with the specifications and standards of the applicable building codes.
3. All dimensions shall be in feet and inches, unless otherwise noted.
4. All areas shall be finished to the satisfaction of the architect.
5. All work shall be completed within the specified time frame.
6. All work shall be subject to inspection and approval by the architect.
7. All work shall be subject to the terms and conditions of the contract.
8. All work shall be subject to the terms and conditions of the applicable building codes.
9. All work shall be subject to the terms and conditions of the applicable building codes.
10. All work shall be subject to the terms and conditions of the applicable building codes.

Front Elevation
with side-facing garage
(building #2)



Side Elevation
facing new road



Unit Type A

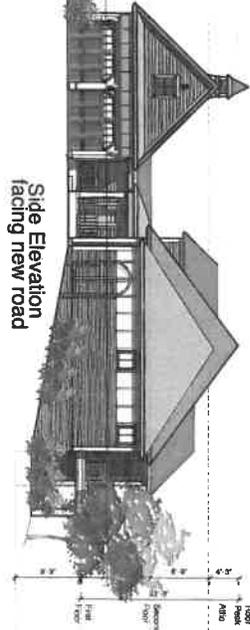
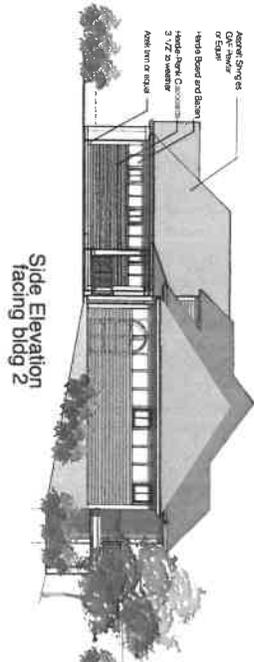
Unit Type A Elevations
Devens House Cluster
Scale: 1/4" = 1'-0"
Date: 1.24.19
Latest Date
4.1.19

WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

WOLCOTT WOODS, LLC
80 BEHARELL ST SUITE E,
CONCORD, MA

GRAZADO VELLECO ARCHITECTS, INC
10 DOAKS LANE MARBLEHEAD, MA

Project: Unit Type A Elevations
Drawing No: 19-001
Date: 1.24.19
Scale: 1/4" = 1'-0"
Author: [Name]
Checked: [Name]
Approved: [Name]



Unit Type A

Unit Type A Elevations
Devens House Cluster

Scale: 1/8" = 1'-0"
Date: 1.24.19

Latest Date
4.1.18

WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

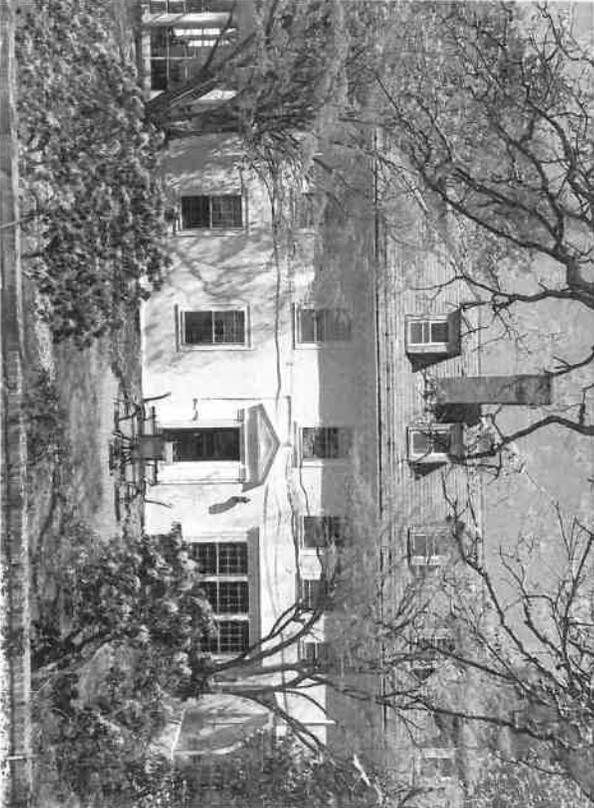
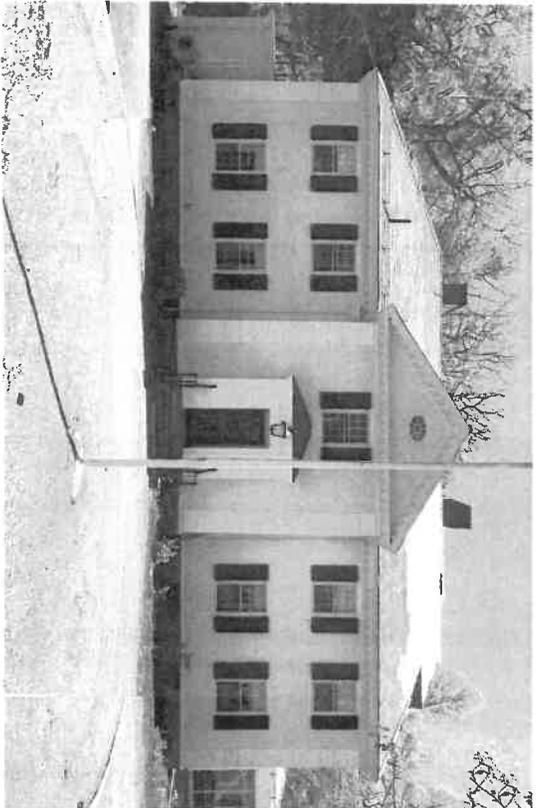
WOLCOTT WOODS, LLC
80 BEHARELL ST SUITE E,
CONCORD, MA

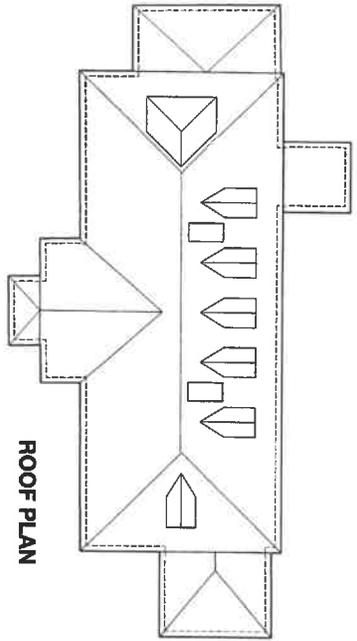
GRAZADO VELLECO ARCHITECTS, INC
10 DOAKS LANE MARBLEHEAD, MA

Notes:
1. All elevations are shown in black and white.
2. All elevations are shown in perspective.
3. All elevations are shown with landscaping.
4. All elevations are shown with a clear sky.
5. All elevations are shown with a clear ground plane.

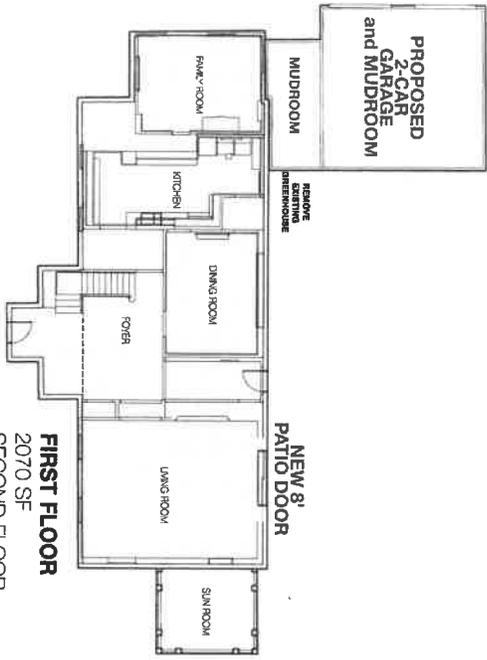
WOLCOTT HOUSE

1726 CANTON AVENUE MILTON, MA
EXISTING PHOTOGRAPHS

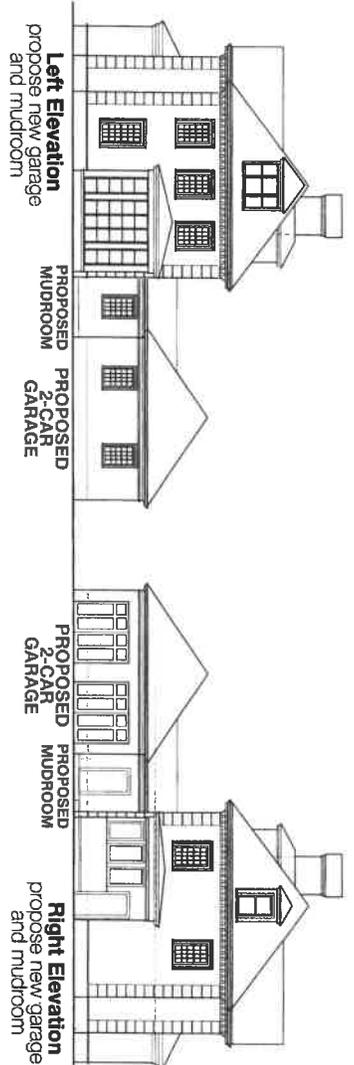




ROOF PLAN



FIRST FLOOR
2070 SF
SECOND FLOOR
1900 SF

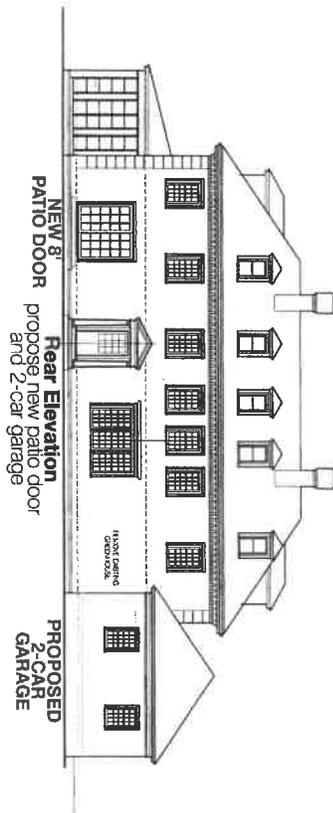


Left Elevation
propose new garage
and mudroom

PROPOSED MUDROOM
PROPOSED 2-CAR GARAGE

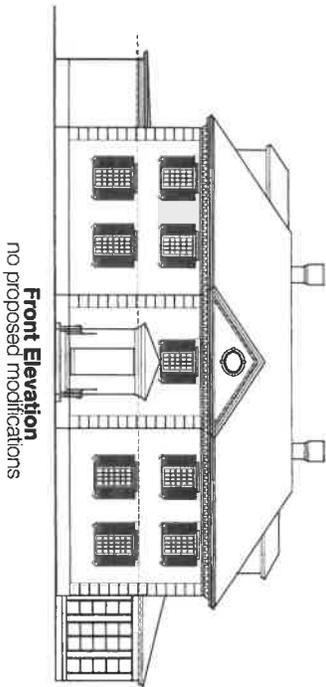
PROPOSED 2-CAR GARAGE
PROPOSED MUDROOM

Right Elevation
propose new garage
and mudroom

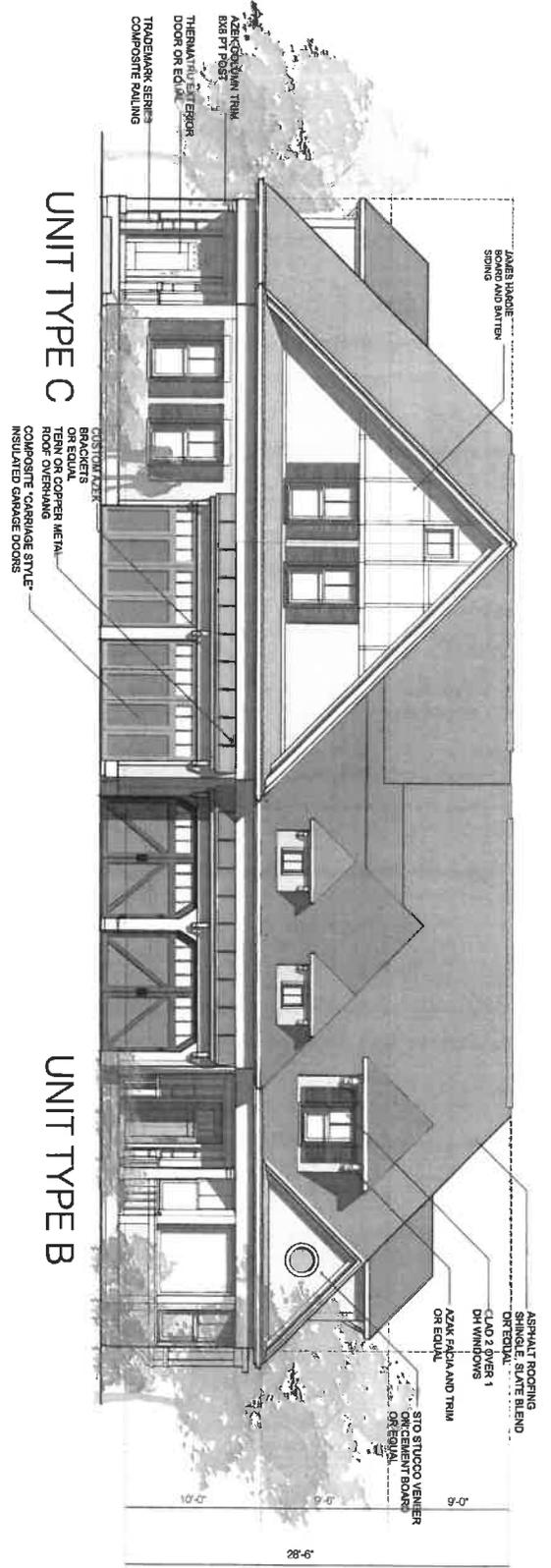


Rear Elevation
propose new patio door
and 2-car garage

PROPOSED 2-CAR GARAGE

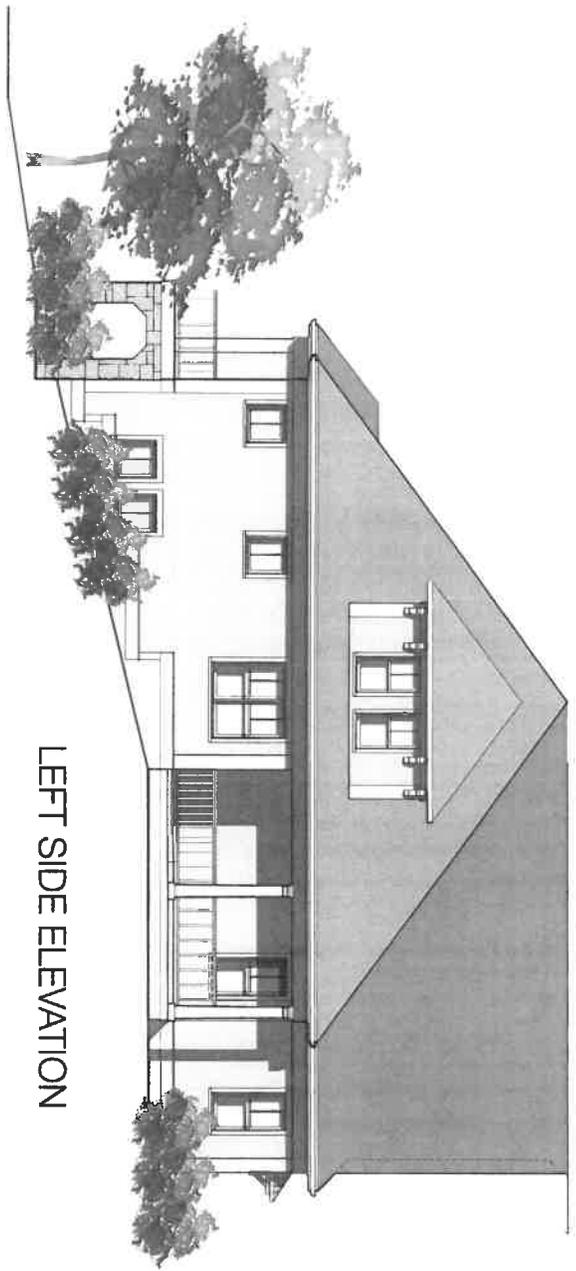


Front Elevation
no proposed modifications

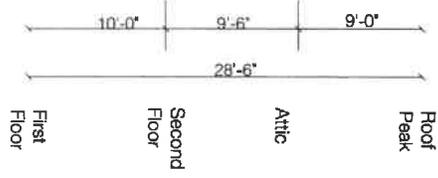


UNIT TYPE C

UNIT TYPE B

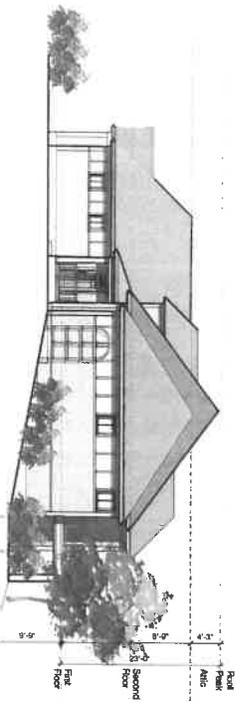


LEFT SIDE ELEVATION





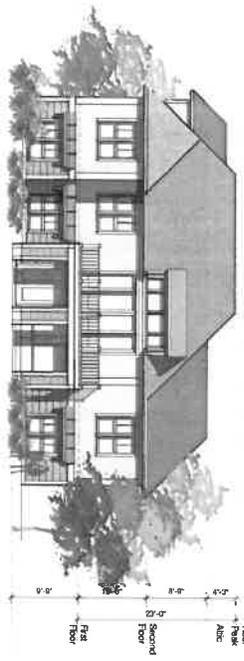
Front Elevation Facing Wolcott House



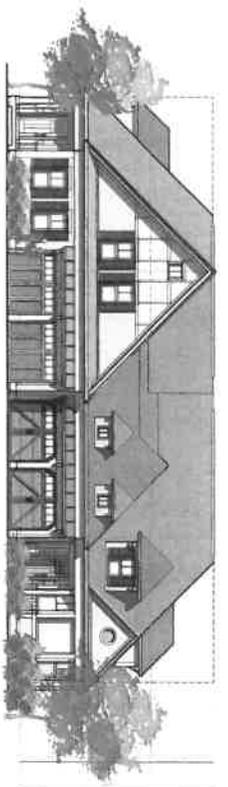
Right Elevation at Wolcott House



Left Elevation at Wolcott House



Rear Elevation facing Wooded area
Unit Type A



Unit Type C



Unit Type C LEFT SIDE ELEVATION



Unit Type B RIGHT SIDE ELEVATION



Unit Type B

REAR ELEVATION

Unit Type C

Units A, B and C Elevations
at Wolcott House Cluster
Date: 1/24/19
Scale: 1/8" = 1'-0"

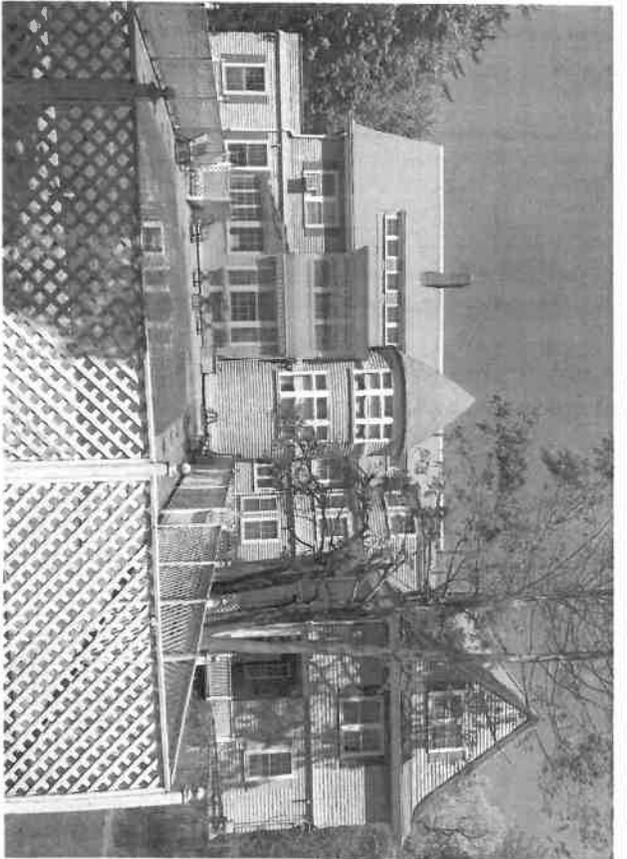
WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

WOLCOTT WOODS, LLC
80 BEHARELL ST SUITE E.
CONCORD, MA

GRAZADO VELLECO ARCHITECTS, INC
10 DOAKS LANE MARBLEHEAD, MA

MANOR HOUSE

1672 CANTON AVENUE MILTON, MA
EXISTING PHOTOGRAPHS



GRAZADO VELLECO ARCHITECTS, INC
10 DOAKS LANE MARBLEHEAD, MA

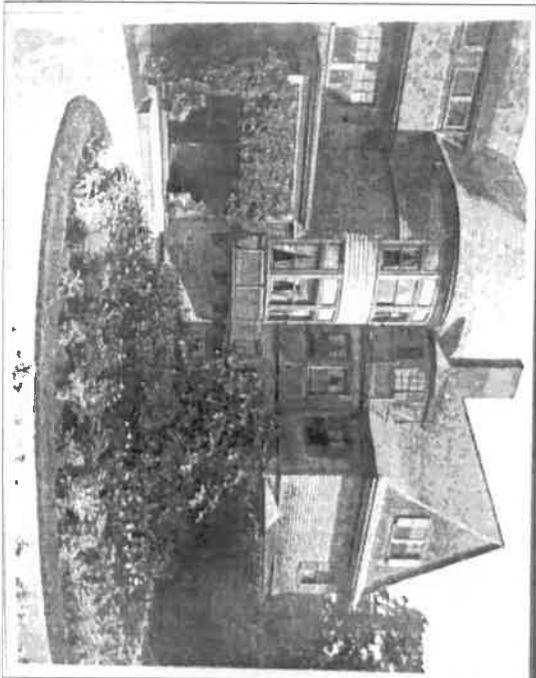
WOLCOTT WOODS, LLC
80 BEHARELL ST SUITE E,
CONCORD, MA

WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

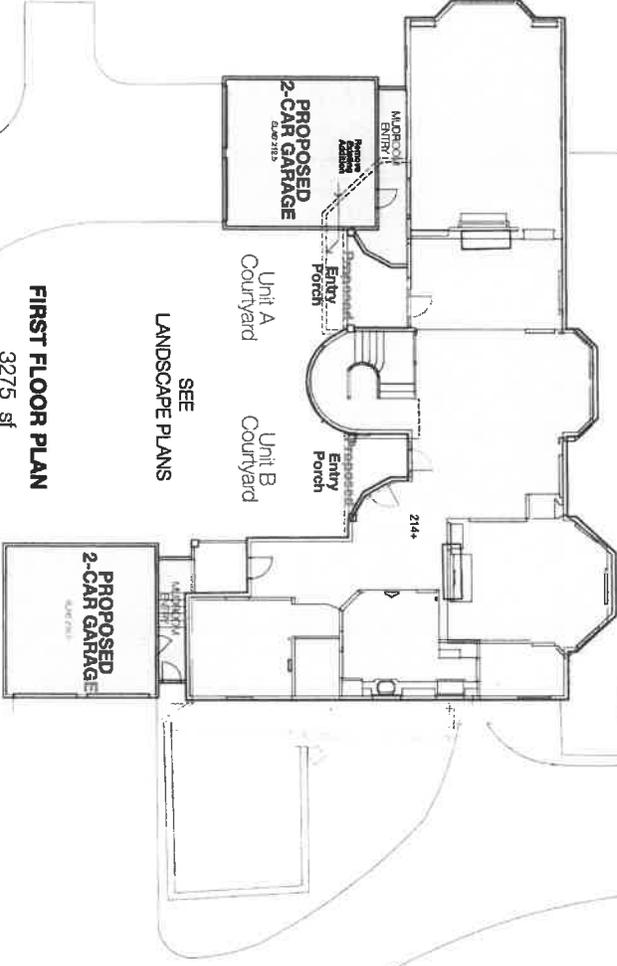
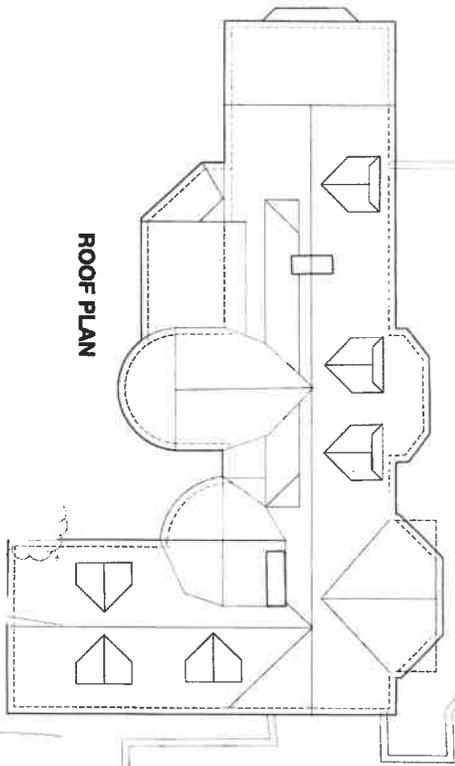
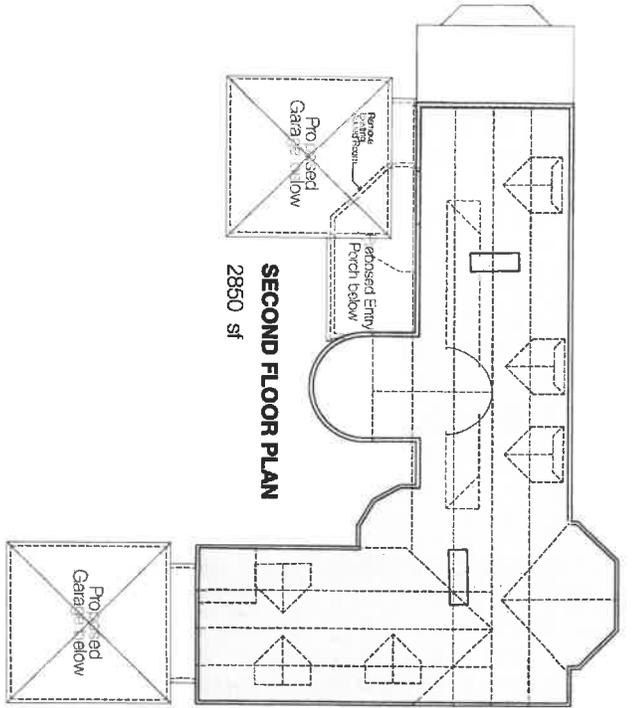
Photos of
Manor House

LAND: 1/28/16

LATEST DATE:
4/1/16



ORIGINAL HOUSE ENTRANCE



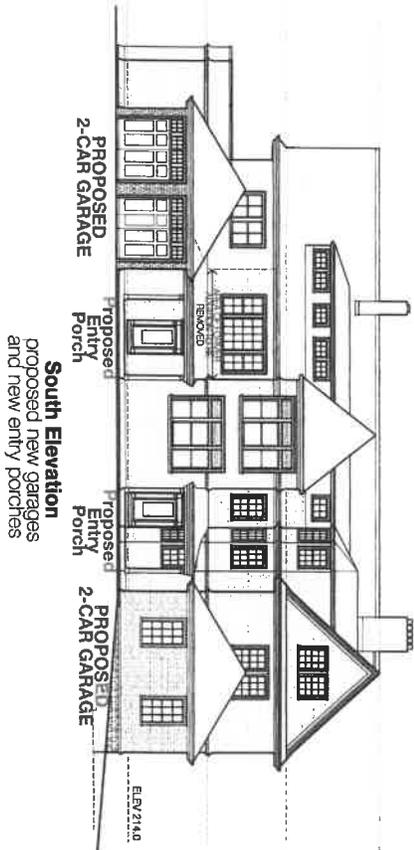
See Exhibit E for scope of Renovations



West Elevation
2 proposed garages

PROPOSED 2-CAR GARAGE and Mudroom Link

2 CAR GARAGE and Mudroom Entry

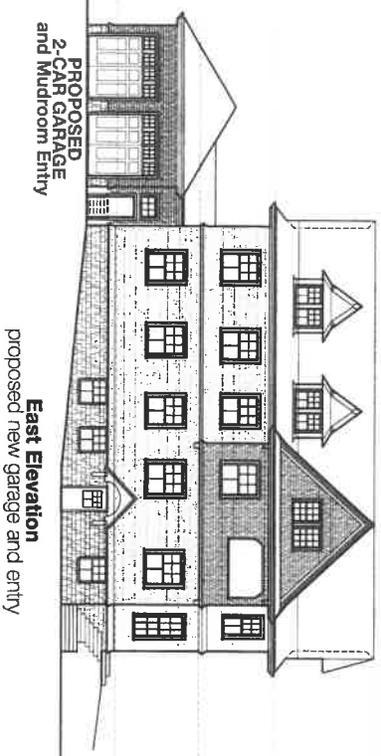


PROPOSED 2-CAR GARAGE

Proposed Entry Porch

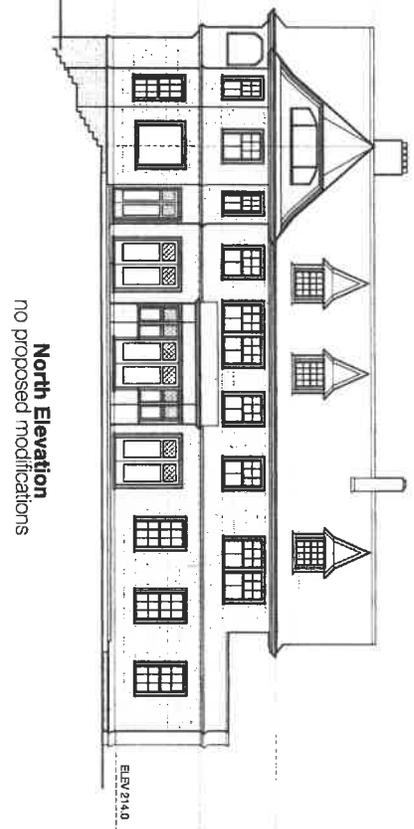
South Elevation
proposed new garages and new entry porches

PROPOSED 2-CAR GARAGE



PROPOSED 2-CAR GARAGE and Mudroom Entry

East Elevation
proposed new garage and entry



North Elevation
no proposed modifications

ELN 21410

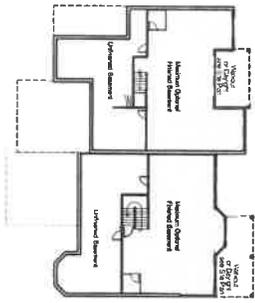
ELN 21410

UPPER MEADOW AND VARIOUS WOODED AREAS DESIGN GOAL

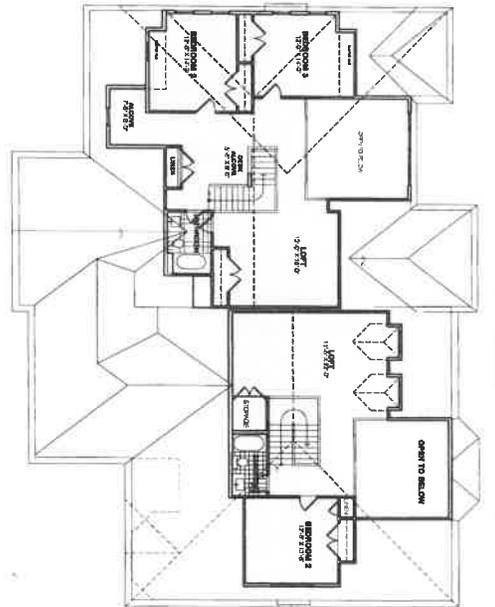
The concept is to create homes with **Type D** and **B** units with somewhat lower visual impact along the new road particularly in wooded areas. And to utilize stone veneer materials below the first floor in locations, such as the **UPPER MEADOW** at bldg 12 where the lower level is visible. In most locations the lower level faces wooded areas and as such is not a predominate image. The goal is to allow the natural vegetation and topography to be the focus of the experience. The palette of colors and textures will be inspired by these surroundings.

CONSTRUCTION NOTES:

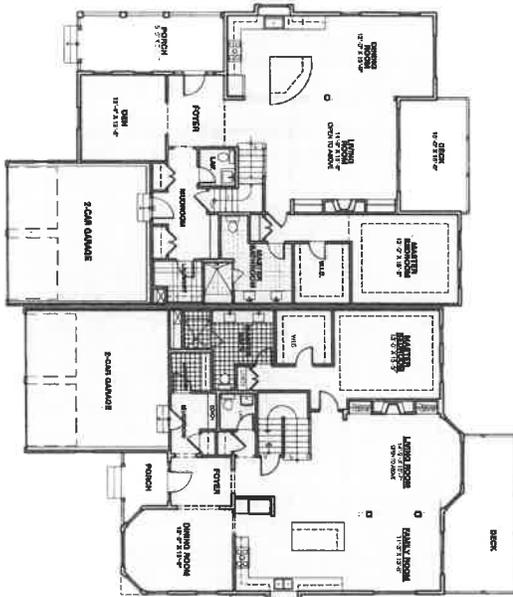
- UNIT TYPE **B** and **D** VARIOUS WOODED LOCATIONS
- 1'0" poured concrete foundation
- 2x6 exterior wall construction
- fiber cement clapboard, board and batten and shingle siding stained to blend with the adjacent woods
- 6" pvc corner boards, standing and running trim
- cedar wood double hung windows with 3" insulated overtop lights, CW E, insulated glass
- 3" insulated overtop lights, CW E, insulated glass
- of historic homes with standing seam roof accents
- composite porch decking and railing system
- aluminum half-round gutters and round downspouts
- insulated fiberglass Thermaltu Classic entry door
- carriage house style overhead garage doors



Basement
Unit Type D Unit Type B



Second Floor with Hip Roof

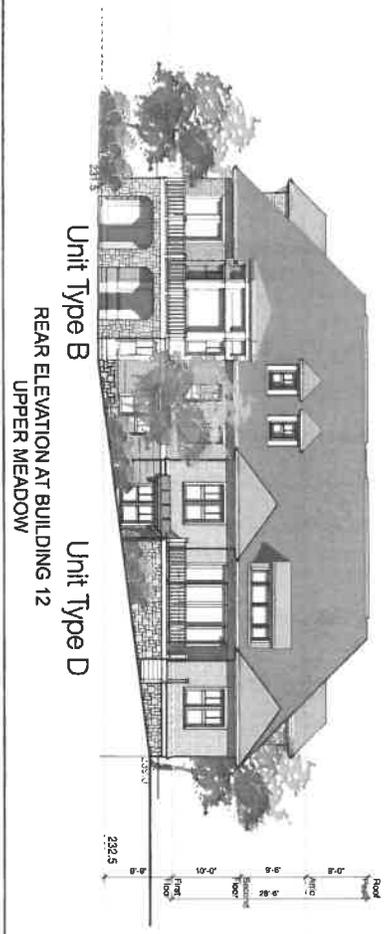
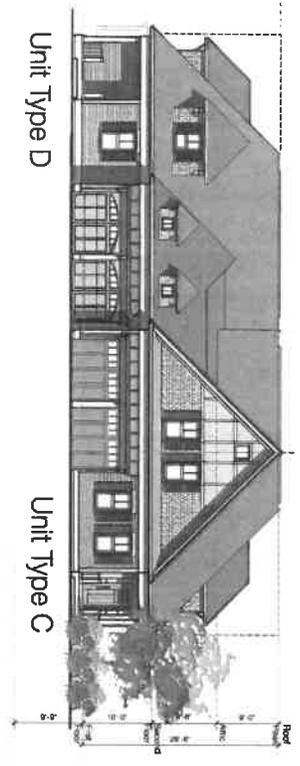
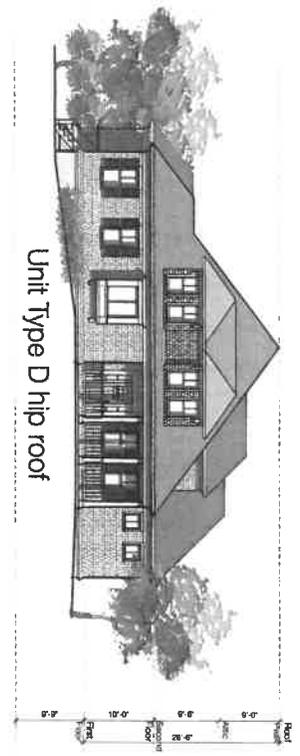
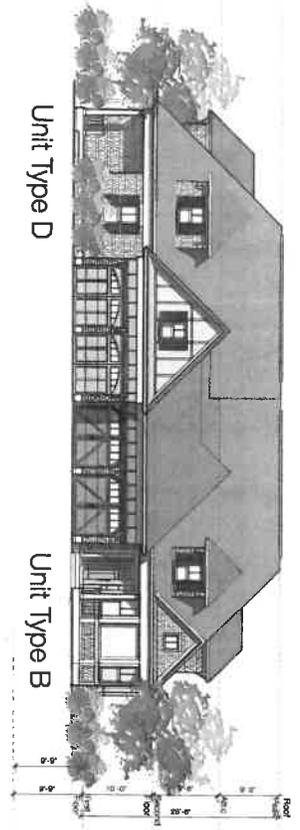


First Floor

Unit Type D
THREE BEDROOM
FIRST FLOOR AREA 1,705 SF
SECOND FLOOR AREA 1,000 SF
TOTAL Finished Basement NOT TO EXCEED 2,705 SF
MAX TO EXCEED 3,000 SF

Unit Type B
TWO and THREE BEDROOM
FIRST FLOOR AREA 1,700 SF
SECOND FLOOR AREA 1,000 SF
TOTAL Finished Basement NOT TO EXCEED 2,700 SF
MAX ALLOWABLE E. LEVEL FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3,000 SF

| | | | | | |
|----|---|--------------------|---|---|---|
| 16 | Unit Type D and B Various Upper Locations | | WOLCOTT WOODS CANTON AVENUE MILTON, MA | WOLCOTT WOODS, LLC 80 BEHARELL ST SUITE E, CONCORD, MA | GRAZADO VELLECO ARCHITECTS, INC 10 DOAKS LANE MARBLEHEAD, MA |
| | Scale: 1/8" = 1'-0" | Issue Date: 4.1.19 | | | |



| | | | | | |
|--|-----------------------|---|---|--|--|
| Unit Type DB and DC Elevations Scale: 1/8" = 1'-0" Date: 1.24.19 | Latest Date 4.1.19 | WOLCOTT WOODS CANTON AVENUE MILTON, MA | WOLCOTT WOODS, LLC 80 BEHARELL ST SUITE E, CONCORD, MA | GRAZADO VELLECO ARCHITECTS, INC 10 DOAKS LANE MARBLEHEAD, MA | <small> 1. All elevations are shown in black and white. 2. All elevations are shown in perspective. 3. All elevations are shown in elevation. 4. All elevations are shown in elevation. 5. All elevations are shown in elevation. 6. All elevations are shown in elevation. 7. All elevations are shown in elevation. 8. All elevations are shown in elevation. 9. All elevations are shown in elevation. 10. All elevations are shown in elevation. </small> |
| | 17 | | | | |

1/2" PORCH
DOWN SLOPE
FRONT DOOR PORCH AT
EASY ACCESS UNIT

GARAGE 3 1/2"
SLOPE
GARAGE WALL AT
EASY ACCESS UNIT

TYPICAL EXTERIOR WALL

EXTERIOR WALL @
KITCHEN WINDOW BAY

M BATH AT TYPE A

PORCH AT TYPE B

PORCH AT TYPE C

POSTAL STRUCTURE
(SEE SITE PLAN FOR LOCATION)

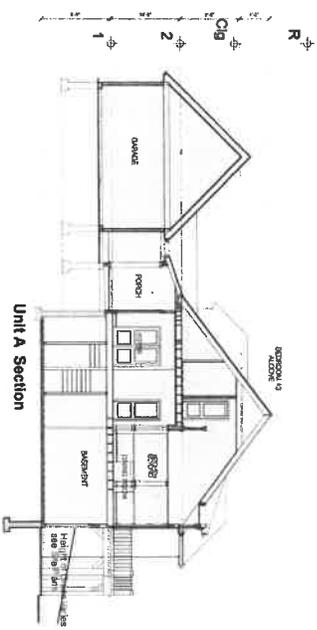
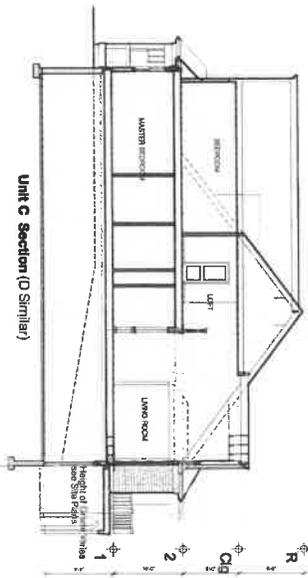
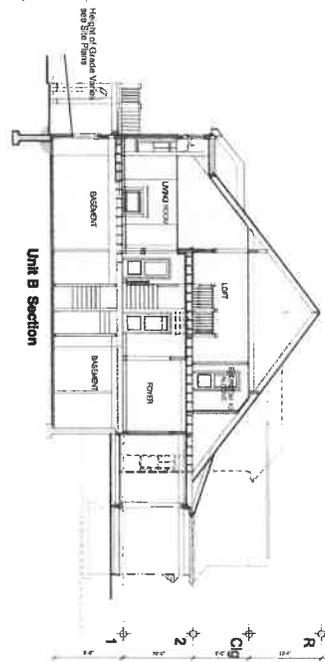
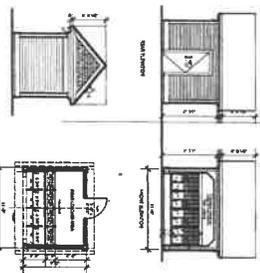


EXHIBIT B
Traffic Mitigation and Signage Plan

Proposed Traffic Mitigation Plan, prepared by Vanasse & Associates, Inc., dated 1.24.19

EXHIBIT C
Tree Preservation and Protection Requirements

EXHIBIT C
Wolcott Woods
Tree Preservation and Protection Requirements Plan

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In implementing the residential development of the Wolcott Estate property located at 1672, 1702, and 1726 Canton Avenue (the "Site"), to be known as "Wolcott Woods", (the "Project") the Wolcott Parties, their successors and assigns shall, through the implementation of best management practices ("BMPs"), commit to save as many of the significant existing trees, lawns and meadow areas, and other vegetation within the property as is reasonably possible. For these reasons, these landscape elements and trees shall receive special protection for the duration of the development of the Project and specifically during the initial construction phases. It shall be the primary goal of this plan that all such elements shall survive and thrive beyond the completion of the Project.

In an effort to catalog significant trees and other site elements (stone walls, buildings and other site features) the design team surveyed the Site and inventoried those landscape elements which are desirous and feasible of preservation. Specifically, a cataloging and hierarchy of significant trees was identified and are designated on a detailed plan titled "Tree Preservation Plan, (Sheet TP)", which details which trees are to be saved. A limit of work and site disturbance line was also established, as designated on the Construction Phasing and Erosion Control Plan (Sheets C9.1-9.4 of the Site Plan). The Tree Preservation Plan and the following written protection requirements shall be attached to and included with the "Conditions of Contract" for the Contractor and all subcontractors on the site.

For the Project, the term "significant" tree or trees ("Significant Trees") includes individual trees or groupings that are especially valuable as landscape elements, natural resource features or as natural buffers and which are subject to protection under this Plan. This may include:

- 1) Large and/or mature trees;
- 2) Botanically unique species; and
- 3) Well placed groupings or individuals that provide valuable screening.

In addition to these criteria, the Plan also establishes certain restricted development areas, including the Open Space No Disturbance Zone (75'), the Open Space No Building Zone (250') and Neighborhood Perimeter Buffer Zone (125'). No construction-related activities will be allowed within these zones with the exception of activities associated with new planting as detailed on the "Entrance Plan (Sheet L2.0 of the Site Plan)" and maintenance, or as defined in the Conservation Restriction to be granted to the Milton Conservation Commission. It is intended that the wooded areas within these zones will remain in a well-tended natural state, aside from the removal of certain invasive, noxious and rampant vines, such as Bittersweet, which threaten the existing significant trees, as well as the removal of dead, diseased or dangerous trees or shrubs in order to assure the healthy maintenance of the wooded environment in the buffer areas and plantings. New plantings for screening and a wooded visual effect shall be permitted as needed.

The Owner, Contractor and Subcontractors and the condominium association of the Wolcott Woods community, shall take the following actions:

I. DEFINITIONS

Clearing. The removal or causing to be removed, through either direct or indirect actions, of trees, shrubs and/or topsoil from the site, or any material change in the use or appearance of the Property. Actions to be considered as “clearing” include, but are not limited to: causing irreversible damage to roots or trunks; destroying the structural integrity of vegetation; and/or filling, excavating, grading or trenching in the root area of a tree which has the potential to cause irreversible damage.

Grading. Any excavating, filling, clearing or the creation of impervious surface, or any combination thereof, which alters the existing surface of the Property.

II. SUBMITTALS

- All of the specifications contained in this Tree Preservation and Protection Plan (including the Tree Preservation Plan, Sheet TP) shall be attached as conditions of relevant contract documents.
- Document and Specifications.
- Qualification data for firms and persons specified in the “Quality Assurance” section shall demonstrate adequate capabilities and experience. Contractors should include lists of completed projects with names and addresses of Architects and Owners when relevant.
- Insofar as possible, certification shall be made over the duration of the Project by a Qualified Arborist that all significant trees to be retained have been properly protected during and after construction, and that the trees were promptly and properly treated and repaired if and when damaged. The Owner/Applicant shall provide annual certification by the Arborist to the Building Commissioner for the duration of the Project, with a copy of such certification provided to the Planning Department.
- Reasonable maintenance recommendations for care and protection of trees affected by construction shall be provided by the Arborist and these recommendations shall be followed after completion of construction.

III. QUALITY ASSURANCE

- The Owner shall engage an experienced tree service firm that has successfully completed tree protection and trimming work similar to that required for this Project and shall retain an experienced Arborist on the Project site as required, to ensure protection of the significant trees.
- The Arborist shall be certified by the International Society of Arboriculture and by the Massachusetts Arborist Association.

- All tree pruning standards (both root pruning and branch pruning) shall comply with the American National Standards Institute publication “A 300”, except where more stringent requirements are specified by the Arborist.
- Before commencing tree protection and trimming, the Contractor and any subcontractor shall meet with representatives of the Owner, Arborist, Architect and Landscape Architect. Tree protection and trimming procedures will be carefully reviewed prior to the start of any construction activities and all requirements established shall be carefully implemented during and after construction.

IV. PRODUCTS AND MATERIALS

- Any required Drainage Fill shall be selected crushed stone, or crushed or uncrushed gravel, washed, ASTM D 448, size 24 with 90-100% passing a 2 -1/2” sieve, and not more than 10% passing a 3/4” sieve. Topsoil shall be fertile, friable surface soil, containing natural loam and complying with ASTM D 5268. Topsoil shall be free of stones larger than 1” in any dimension and free of other extraneous or toxic matter harmful to plant growth.
- Filter Fabric shall be manufacturers’ standard nonwoven, pervious, geotextile fabric of polypropylene, nylon, or polyester fibers.
- Fencing used for tree protection or to mark the limit of construction/disturbance shall be a minimum four-foot (4’) brightly colored contractor’s snow fence, carefully secured and supported by steel posts placed a minimum of eight (8’) feet on center. For especially vulnerable groupings or individuals in close proximity to construction activity, rigid metal fencing is preferred. The Contractor shall submit product literature for fencing construction to the Owner’s representative and Arborist/Landscape Architect for approval. Location of fence shall be approved in the field by the Owner, Arborist and Landscape Architect.
- In addition to protective fencing, individual temporary signs will be prominently displayed immediately adjacent to all trees and other areas which are fenced. Signs will be constructed to withstand all weather conditions and will be securely installed on wooden posts (minimum 2” X 4”) at a minimum height of 6’ above grade, immediately behind and adjacent to construction fencing. The signs shall read as follows: “No construction activity of any kind allowed in this area. Damage to trees and other vegetation subject to Significant Fine.” Contract documents shall provide for imposition of such a fine.
- The Contractor will submit product literature for temporary signs and posts to guide construction. Location of signs shall be approved by the Owner, Arborist or Landscape Architect.

V. EXECUTION-PROTECTION OF EXISTING VEGETATION

- THE MANOR HOUSE LAWN, ESKER, WETLAND AREAS AS WELL AS ALL PROTECTIVE BUFFERS AND SETBACK ZONES WILL BE SIGNED WITH

MULTI-LINGUAL “NO ENTRY ALLOWED” SIGNAGE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

- Trees, vines, ground cover and shrubs to be saved outside the “limit of construction/disturbance” shall be protected with temporary construction fencing and signage designated in the preceding section. This temporary fencing shall be provided during all construction activities.
- All installed protective fencing shall be accompanied by the signage specified in the preceding section.
- The required temporary fencing shall be installed at the drip line (outer perimeter of branches) of the trees and groups of trees. Certain trees may not be able to be protected around the entire drip edge due to required construction activities, but every effort shall be taken to fence these trees to the greatest extent possible. If trees which cannot be fenced at the drip edge may be subject to vehicle movement above the root systems, those areas will be protected to the maximum reasonable extent from soil compaction by a double-layer of plywood, or other suitable protective matting.
- The Arborist shall monitor all tree protection activities, including fencing, branch and root pruning, fertilization, moving and other similar protection activities and shall submit to the Building Department and Planning Office an affidavit citing that all protective measures have been established prior to the commencement of tree removal or clearing activities and specify best practices to be followed.
- All areas within protective fencing shall be maintained free of debris and no trees or shrubs so protected shall be damaged by burning, pumping of water, by cutting live roots or branches or by any other means. No protected trees shall be used for crane stays, guys or other fastenings. Vehicles shall not be parked where damage may result to trees to be saved, including the root systems of those trees. No construction materials shall be stored beneath the trees to be saved or within the protective fencing. All reasonable efforts shall be taken to prevent soil compaction over protected root systems. If necessary, protective matting will be utilized to provide protection against soil compaction.
- The condition and integrity of the required construction fencing and signage will be maintained in good condition. If fencing or signage is inadvertently knocked over or damaged, it will be replaced forthwith and any damage to protected trees or other vegetation will be immediately reported to the Owner, Arborist or Landscape Architect and shall be remediated whenever possible.
- It is recognized that certain significant trees designated on the plan are at high risk due to construction activities required in and around their immediate vicinity. Although every reasonable effort shall be made to save such trees, if it is documented in the opinion of the Arborist, that during construction so much of the trees’ root system needs to be removed that the trees will very likely pose a public safety hazard due to future wind-throw or deterioration, those trees may then be removed during construction. Since some trees prove quite tolerant of heavy construction activities, trees will be given reasonable opportunity to remain on site, and will only be removed when there is an obvious public safety hazard.

- Relevant contract documents shall provide that in the event of damage to or removal of any Significant Trees, defined in the Bylaw as 10" DBH or greater, the Wolcott Parties shall be assessed a damage penalty at \$300 per caliper inch, which amount shall be deducted from the Contract amount and paid to the Town for deposit into the Cooperative Tree Planting Account. In addition to said fine, those trees will also be replaced with a "tree spade" size tree of the same species, at the Wolcott Parties' sole expense. Other existing shrubs, vines and ground cover to be saved which have been clearly marked by protected fencing and signage, and which have, in the opinion of the Owner, Arborist or Landscape Architect, become damaged, shall be replaced with plants of equal size and similar species. All expenses incurred shall be paid by the Wolcott Parties without additional cost to the Town of Milton.
- All temporary fencing and signage shall be maintained continuously throughout the construction, until all work in the vicinity of the protected trees and vegetation has been completed. Temporary tree protection fencing may be removed just prior to the spreading of loam, or shortly before the Owner's and Architect's inspection for substantial completion.
- The Owner shall abide by all of the terms of this Tree Preservation and Protection Requirements Plan, throughout the entire build-out of the Project, including the replacement, as mandated, of significant trees which become irreparably damaged in the opinion of the Arborist, or that die due to construction related activities, all at the sole expense of the Owner, with no cost to the Town of Milton.

VI. DISPOSAL OF WASTE MATERIALS

- Burning is not permitted on the Site unless fully authorized by the Milton Fire Department and acknowledged and agreed to by the Owner. If existing trees or other vegetation to be saved are damaged by such burning, the fines and/or replacement plantings required under Section IV shall apply.
- All excess excavated material, including removed and displaced trees and stumps and excess chips shall be completely removed from the Site and properly disposed of in a licensed and regulated facility that accepts such materials. No such materials shall be left on the property. Also, as previously stated, no materials of any kind will be placed inside any area restricted by the protective fencing and signage.

VII. NEW LANDSCAPE PLANTINGS

- No additional plantings are defined on the Tree Preservation Plan (Sheet TP). Separate Landscape Plans have been prepared, which define new landscape plantings to be installed at road entry ways, in and around the individual building pods and in the perimeter buffer zone areas.
- Required specifications for the new plantings shall be as specified in the Landscape Plans. Those specifications include:

1. All proposed planting locations shall be staked carefully as shown on the Landscape Plans for field review by the Owner, Arborist and Landscape Architect prior to installation.
2. Contractor shall verify locations of all utilities and notify owner's representative of any conflicts.
3. No plant material shall be installed until all grading and construction has been completed in the immediate area.
4. A 3" deep composted woodchip/leaf mulch shall be installed under all trees and shrubs and in all planting beds as shown on the Landscape Plans and as may be directed by owner's representative.
5. All trees shall be balled and burlapped, unless otherwise noted, or approved by the Arborist as equally likely to thrive.
6. Final quantities for each plant type shall be as shown on the Landscape Plan and this number shall take precedence in case of any discrepancy between the quantity shown on the plant list and on the plan.
7. Any proposed plant substitutions must be approved in writing by the Arborist as superior to those specified.
8. New landscape materials shall be of a type and species indigenous to the local area.
9. All plant materials installed shall meet or exceed the specifications of the "American Standards for Nursery Stock" by the American Association of Nurserymen.
10. All plant materials shall be guaranteed for one year following the date of installation and date of final acceptance by the owner's representative in writing, whichever date is later.
11. Any areas designated "loam and seed" shall receive 6" of loam and specified seed mix. Lawns over 3:1 slope shall be protected with erosion control fabric.
12. Any areas without loam cover of subsoil shall be loamed and seeded.
13. All mulch materials shall be certified organic. No unnaturally dyed mulches shall be used.

EXHIBIT D
Construction Management and Phasing Requirements

EXHIBIT D
Wolcott Woods
Construction Management & Phasing Requirements
Wolcott Residential, LLC
Owner/Applicant

Introduction:

Wolcott Residential, LLC (“WRC”), its successors and assigns, shall develop a 54 unit residential townhouse community, the “Project”, located on the Carberry property at 1672, 1702 & 1726 Canton Avenue. Access to the Project shall initially be from the existing 1702 (middle) driveway entrance along the property’s Canton Avenue frontage. Upon the cutting in of the Project’s new project entrance, construction vehicles will utilize this access point exclusively.

Construction of the Project shall be managed so as to minimize impacts to the community, abutting property owners and local resource areas. As part of the construction process, this Construction Management & Phasing Plan (“Construction Management Plan”) shall guide all aspects of the development of this Project.

This Construction Management Plan shall guide all contractors working on the Project. It shall be the responsibility of the contractors to become familiar with the plan as well as the requirements set forth in the Storm Water Pollution Prevention Plan (SWPPP). In addition, the WRC owner’s representative and the general contractor shall be responsible for overseeing all work on the project to control and mitigate impacts to the surrounding community and direct abutters from the construction activities. Once the WRC project management team is in place, it shall provide the Town Building, Planning and Engineering Departments, and the Neighborhood Association with the names of the responsible individuals for this project and provide phone numbers and 24/7 contact information in order for them to be contacted. Responsible individuals shall sign an acknowledgement of the requirements of this Construction Management Plan, Tree Preservation & Protection Requirements Plan and the Special Permit.

Within a reasonable time of regulatory permits required to develop this Project being obtained, the owner’s representative and general contractor shall begin site preparation work for the Project. This Construction Management Plan is intended to be a flexible document. As necessary, it can be reviewed and updated, based upon the applicable requirements of the permits and a detailed review of the onsite conditions by all members of the WRC construction team, with input from appropriate Town officials and agencies and approval of the Planning Board. It is estimated that site work will begin in the third quarter of 2019.

Pre-Construction Site Coordination:

Pre-construction activities will include site visits to review specific existing conditions and the required control measures for tree protection and environmental considerations. Pre-construction meetings will be held with all parties involved with this Project including the Town Engineering,

Fire, Police, Inspectional Services and Planning Departments, and local utility companies. In addition, all immediate abutting property owners, as well as members of the Blue Hill Neighborhood Association shall be notified by email **48 hours prior to** commencement of site work, particularly work involving tree clearing and the hauling of soil materials into or out of the site. It is at these meetings that responsible parties for all construction activities will be identified and their contact information will be forwarded to the appropriate Town authorities.

Prior to construction activities, an on-site meeting will be held with the site subcontractor, the architect, the Arborist and Merrill Engineering to review the scope of the Tree Preservation & Protection Requirements Plan and to establish and coordinate the installation of Temporary Construction Fencing Program.

After the Project team is familiarized with the site and the construction program, the Tree Preservation & Protection Requirements Plan, the Storm Water Pollution Prevention Plan and the Temporary Construction Fencing Program shall be implemented. These documents provide controls to protect trees to be saved during site construction, to provide and establish erosion controls and to provide temporary drainage structures for sedimentation and storm water management.

Initial Construction Activities

Project Access:

- The primary access route for construction vehicles to the site will be from Route I-93 onto Route 138 and Canton Avenue.
- Construction vehicles exiting the site shall return to I-93 via Canton Avenue and Route 138.
- Signage: A left turn only sign shall be installed at the Canton Ave. construction entrance to direct construction traffic toward I-93.
- **THERE SHALL BE NO CONSTRUCTION ACCESS TO OR FROM THE SITE VIA HEMLOCK DRIVE.**
- A temporary, "No Construction Vehicle Access" sign shall be located at both ends of Hemlock Drive during project buildout.
- Trips during peak traffic times shall be minimized and no queuing or idling of trucks shall be permitted along any of the Project access routes.
- Truck routes and timing shall be selected and scheduled to avoid conflicts with school bus transportation including bus stops and major bus routes as identified by the school department.

Work Hours:

Hours of operation shall be 7 am to 4:30 pm daily, Monday through Friday, and Saturdays from 9 am to 3 pm. The importation or exportation of fill materials is specifically limited to non-holiday weekdays between the hours of 9 am and 3 pm. Wherever possible, other deliveries shall be made after the morning commuting hours and before the afternoon commuting hours. Entities making such deliveries shall be so notified.

Construction Signage:

All construction signage describing limit of work boundaries, parking/staging area designation, traffic routing and safety precautions shall be in English, Spanish and Portuguese.

Employee Parking:

Construction parking shall be on site under the control of the owner's representative and general contractor, who will provide an onsite employee parking in predetermined and prescribed Staging Areas by phase. These areas shall also include edge of roadway, driveways, and in future building footprint areas. No equipment, materials, staging or worker (employee) parking is permitted within the drip line of retained trees, groves of trees or outside of the defined Limit of Work areas. No employees of either the general contractor or the subcontractors shall be permitted to park on public roadways surrounding the project. Most construction workers should be onsite by 7:30 am and most should leave the site prior to peak afternoon traffic periods. An orientation shall take place with employees to review safety rules, routes to and from the site, hours of operations, lunch trash disposal and noise controls.

Project Construction Controls:

WRC shall have an onsite representative (the "owner's representative") present daily during construction. The owner's representative shall be responsible for managing the general contractor, who, in turn shall oversee construction during the entire construction period of the project, from the initial pre-construction meeting to the final walk through with the owner. The owner's representative shall also be the liaison to the Town, property abutters and representatives of the Blue Hill Neighborhood Association. The owner's representative will provide to appropriate Town agencies and officials written reports on the progress of construction and an update on prospective construction activities on a quarterly basis, which will be posted on the Town's website.

Communication between the design team, consisting of the project architects, project site/civil engineers, project structural/geotechnical engineers, arborist, the construction team, including the general contractor's staff, site contractor and sub-contractors and WRC, shall be established early in the Project timetable. As the Project develops in pre-construction, the owner's representative and the general contractor shall be involved on a weekly basis along with the entire project team. The final construction documents and plans shall be developed with input from the project team and, as approvals are obtained, the bid process shall be initiated with approved work packages. Communications with the subcontractor market shall identify all project specific issues as well as the scope of work. Just prior to the start of construction, a partnering meeting shall be conducted involving all members of the total project team at which the project shall be reviewed in its entirety and goals shall be set by the team and shall be monitored throughout construction.

Tree Protection:

Protective fencing shall be placed around all trees that are planned to be saved as shown in the Tree Preservation & Protection Requirements Plan. WRC shall implement the requirements of Tree Preservation & Protection Requirements Plan prior to mobilizing on the site. This shall include pruning of branches and roots as necessary, fertilization, and clearing of adjacent trees

not to be preserved in order to erect protective chain link fence and flagging, all of which shall be performed under the supervision of the licensed arborist. A meeting shall take place at the site with the Arborist, Merrill Engineering, Town officials and the contractors to review requirements in the plan. No equipment, materials, staging or worker (employee) parking is permitted within the drip line of retained trees, groves of trees or outside of the defined Limit of Work areas.

Erosion Control:

Concurrent with implementation of the Tree Preservation & Protection Requirements Plan, the general contractor and the site contractor shall review the Storm Water Pollution Prevention Plan (SWPPP) and prepare the National Pollutant Discharge Elimination System (NPDES) permit application for submission to EPA. Prior to the beginning of any construction activities, silt fences, staked haybale barriers and wheel wash and dust control measures shall be installed, as shown on the plans and in accordance with the SWPPP. The erosion control barriers will be inspected on a regular basis and after periods of rains of one half inch or more. During excavation and rough grading, siltation basins and temporary drainage swales shall be constructed to effectively direct runoff from disturbed areas, and reduce the amount of runoff from the construction areas. Where water flow is concentrated, appropriate crushed stone check dams shall be installed as well as haybale check dams, as required. Stockpiled materials shall be properly stabilized as required in the SWPPP. WRC and its contractor shall be responsible to street sweep Canton Avenue as is required by site conditions and as directed by Town Officials.

Construction Staging:

In accordance with the Tree Preservation & Protection Requirements Plan and SWPPP are in place, temporary construction staging areas will be established within the area of each building pod or pods that will next go under active construction. Site clearing and the installation of temporary construction entrances to each such building pod shall be undertaken with care given to maintain the requirements of the Tree Preservation & Protection Requirements Plan and the SWPPP. Any required demolition of the existing building structures shall occur in accordance with the applicable local and state regulations.

Concurrently with the installation of project infrastructure, including roadways and utilities, connections to the municipal water and sewer systems within Canton Avenue and Brush Hill Road/Blue Hill Avenue shall be undertaken. During work on the new water system, adequate water service and fire protection shall be maintained within the surrounding community, in consultation with appropriate Town agencies and officials.

Temporary Utility Setups:

Any temporary utility connections that are required shall be installed to insure that water and other services are available to the neighborhood during construction. The owner's representative and general contractor shall coordinate these efforts as required to insure uninterrupted service.

Construction Phase:

Demolition:

It is understood that several buildings, garages and/or outbuildings exist on site that will be demolished. Prior to the demolition of any building Wolcott Residential shall properly terminate any and all utility services (sewer, water, gas and electric, if any), conduct a full environmental assessment of the buildings to establish the presence of hazardous materials, perform a pest survey and apply for and receive a duly issued Building Permit of the demolition of each structure.

Site Development Phase:

The first phase of construction shall involve clearing, grading and associated site infrastructure work necessary to complete Wolcott Woods Lane to a 'binder stage'. This work will involve tying into existing utilities in Canton Avenue and Blue Hill Avenue/Brush Hill Road (sewer, water and electric. Rough grading and tree removal associated with this work shall be conducted in accordance with the SWPPP and the Tree Preservation & Protection Requirements Plan. Protective fencing will be placed around all the drip lines of all trees that are to remain. This fencing will be inspected by the Project arborist on a regular basis in order to insure maximum tree protection. Reasonable dust control measures, including regular watering, shall be taken to minimize air-borne dust and to keep any such dust on site.

Noise:

Reasonable measures shall be taken to control unnecessary noise during construction activities. Idling of trucks shall be expressly prohibited. If radios, CD players or other such devices are in use, the volume shall be limited to keep the sound on site. In conducting their activities, insofar as reasonably possible, workers shall be respectful of the rights of neighboring residents to quiet enjoyment of their properties.

Earth Deposit and Removal:

Due to the topography of the site and the provision of underground storm water facilities and other utilities, both the import and export of soil will be required during project construction. Based on an engineering analysis of the site WRC prepared a separate table that graphically describes to volumes of material to be removed and the volume to be deposited. The table is attached hereto.

Wherever practical, earth materials will be re-utilized on the site. All excess material that cannot be used on-site shall be transported offsite. The delivery and/or removal of materials shall extend over the projected two year construction period. The delivery and/or removal of materials shall primarily occur between 9 am and 3 pm to avoid impacting traffic during the morning and afternoon peak times and to avoid periods when school busses are active.

Site Clearing:

Clearing and grubbing shall proceed initially along the proposed site roadways on a staggered basis in accordance with the attached Construction Management and Phasing Schedule (Sheets C.4.1 to C4.4) as such schedule may hereafter be revised with notice to the Planning Board. Only clearing necessary for the efficient management and completion of the building pods under construction shall be undertaken. Silt fencing, temporary drainage swales, haybale check dams and staked hay bales etc. shall be installed as shown on appropriate plans to prevent sediment runoff and define the limits of work. All stockpiled soil shall be stabilized. Permanent slopes

with gradients in excess of three-foot horizontal to one-foot vertical will be stabilized with erosion control fabric. Dust shall be controlled.

All vegetative debris shall be chipped on site except for the logs hauled off as marketable lumber. Stumps shall be removed or ground up on site without undue noise. Wood chip material shall be used for erosion controls on exposed slopes prior to their stabilization by revegetation. The loam shall be stripped, screened and stockpiled with dust controlled as the site construction progresses. At the designated areas containing trees to be preserved, where foundation cuts are in close proximity to the root structure of the trees, an earth retention system shall be used to minimize any movement of the root structure. The system depends on the depth of the cut and the proximity of the base of the tree. Typically, if a 45 degree angle can be achieved from the drip edge of the tree to the bottom of footing, earth retention may not be required, but in any event erosion of the slope shall be prevented under direction of the Arborist.

Foundations:

The construction of each building shall be subject to the issuance of building permits by the Building Commissioner. Once building permits are obtained for one or more buildings, placement of building foundations will be located by survey prior to the commencement of excavation so as to be located as shown on the sheet entitled Site Layout Plan dated August 31, 2018, Sheets C3.1 to C3.4 of the Site Plan). To further ensure that the buildings shall be located as so shown, the excavated foundation hole and footings shall be ‘pinned’ by survey and an “as-built survey plan” shall be provided to the Building Department prior to the request for the “Foundation Inspection”. This protocol shall insure that each building has been placed in conformity with the Site Layout Plan and that the required side line and buffer line setback dimensions are met.

Stormwater:

Storm water runoff during construction shall be controlled using a combination of temporary drainage structures prior to the installation of the permanent systems in accordance with the SWPPP. Existing and proposed catch basin inlets shall be protected using sediment traps, silt sacks, and staked hay bales. All stormwater control systems shall be inspected and maintained regularly to ensure that the system is functioning correctly throughout the construction process.

Utilities:

Site utilities, including any temporary service connections, shall be constructed in a coordinated fashion so as not to impede or interrupt services, including storm drainage and sewer to residents. The owner’s representative and general contractor shall coordinate the efficient installation of all drainage, water and sewer installations as well as all private utility services (telephone, cable, electric, etc.).

Building Construction Phase:

The progress of building pod construction will be subject to market conditions. The Management and Phasing Schedule shall be revised as may be necessary to reflect such conditions. Build-out of the site will begin with Building 1 adjacent to the Devens House and proceed around the site in a counter clockwise fashion. It is anticipated that no more than four building pods will be actively under construction at any given point of time with, for example, one building pod being

weather tight with interior buildout (finishes) work progressing with the fourth building pod being at foundation/framing stage of work. A nine month build cycle is projected for each building pod. Building pod site grading and landscape work shall take place simultaneously with the buildout of the individual units insofar as weather permits.

The renovation and rehabilitation of the Manor House, Wolcott Mansion and Devens House is anticipated to occur over the course of project buildout. Wolcott Residential shall be required to properly maintain each building, both prior to and during renovation from weather degradation, vandalism and neglect.

Rodent Control: The Owner/Applicant will contract with a licensed pest control contractor. Rodent control measures will be in place prior to and during demolition and construction activities. The program will include performance of extermination and control procedures. Waste containers will be placed at worker gathering locations and emptied on a daily basis. Litter cleanup will be performed on a daily basis.

Portable Sanitary Facilities: Portable sanitary facilities will be provided on site at locations appropriate to the stage of construction. The facilities will be maintained on a regular basis to prevent off-site odor migration.

Construction Waste: The Owner/Applicant will be responsible for processing and recycling of construction waste and will contract with a licensed waste hauler having off-site sorting capabilities. All construction debris will be taken off-site by the waste hauler, sorted as either recycled debris or waste debris and sent to the proper recycling center or waste facility.

Dust and Wind Control: Dust control will be implemented as necessary. At least one mobile unit will be available to distribute water to control dust on the project area.

Materials Storage: The following good housekeeping practices will be followed on site during construction:

- Store only enough product required to do the job at each Phase.
- All materials stored on site will be stored in a neat, orderly manner in their appropriate containers and adequately protected from the environment.

Trailer storage may be appropriate for materials that may be potential contaminants or otherwise hazardous. Hazardous materials and all other materials will be stored in accordance with manufacturer or Material Safety Data Sheet (MSDS) specifications.

Full Project buildout is projected at 48-60 months, weather and market conditions permitting.

Attachments:

Project Development Schedule
Earth Deposit and Removal Table

**Wolcott Estate
Project Development Schedule**

| Time Period | Activity |
|--|--|
| Sept '18 – May '19 (180 day period – approx.) | Site Plan Submission & Special Permit Review Period |
| June '19 | Project Capitalization, Buy Out and Start - up |
| Aug '19 | Site Mobilization, Erosion Control, Tree Preservation |
| Sept '19 – Dec '20 | Phase I & II Road Construction Clearing, grubbing, drainage and utility and sub-base preparation Existing Building Demolition & Carriage Barn relocation |
| Nov'19 – June '20 | Phase I Unit Construction |
| July '20 – Dec '20 | Continued Phase II Road Construction |
| Sept' 20 – Dec '21 | Phase II Unit Construction |
| Sept '21 – Dec '21 | Phase III Road Construction |
| Nov '21 – Dec '22 | Phase III Unit Construction |
| June '22 – Mar'23 | Phase IV Road Construction |
| March '22 – June '24 | Phase IV Unit Construction |

Construction Management & Phasing

Earth Deposit and Removal Table

Due to the topography of the site and the provision of underground storm water facilities and other utilities, both the import and export of soil will be required during project construction. Based on an engineering analysis of the site WRC projects the following:

| <u>Construction Activity</u> | <u>Cut</u> (CY) | <u>Fill</u> (CY) | <u>Total Import/Export</u> <u>Volume (CY)</u> |
|-------------------------------------|----------------------------------|-----------------------------------|--|
| Roadway construction including | | | |
| drainage infrastructure | 9,218 | 8,799 | -419 |
| Total Roadway Construction | | | -419 |
| Buildings 1-31 | 20,784 | 14,008 | -6,776 |
| Total Building Construction | | | -6,776 |
| Overall Site Total | | | 7,195 Export |

Wherever practical, earth materials will be re-utilized on the site. All excess material that cannot be used on-site shall be transported offsite. The delivery and/or removal of materials shall extend over the projected two year construction period. The delivery and/or removal of materials shall primarily occur between 9 am and 3 pm to avoid impacting traffic during the morning and afternoon peak times and to avoid periods when school busses are active.

EXHIBIT E

Standards for the Retention of Historic Buildings

EXHIBIT E

STANDARDS FOR RETENTION OF HISTORIC DWELLINGS

The Milton Historical Commission met with the developer of the Carberry/Wolcott property (Wolcott) several times to review Wolcott's plans for the redevelopment of three historic structures. Wolcott, the Commission and the Planning Board have agreed that the following standards and specifications shall apply:

A. **The Manor House.** The Manor House was built in 1875 and enjoys a prominent position on the property. It is a magnificent structure and should be maintained, understanding that it will be converted from a single family dwelling into two condominium units. In particular, the Commission recommends that the following design and construction criteria be applied to its restoration:

(1) On the exterior facades facing northerly (to Canton Avenue), easterly (to Carberry Lane) and westerly (to the Devens House), the following criteria shall apply:

(a) No exterior façade or roof alterations shall be made along the northerly (Canton Avenue), easterly (Carberry Lane) and westerly (Devens House) elevations. Existing wall openings, windows, doors and/or porches shall be maintained in their present design and/or configuration.

(b) New insulated windows and doors, (except for the main entrance door(s) by JELD-WEN (Siteline Clad-Wood), or product of equal or greater specifications and historic characteristics and with acceptance by the Historical Commission, will be used for replacement in the existing openings which shall follow the same shape, size and mullion pattern of the existing windows and doors. The existing main entrance door(s), surrounds and hardware shall be preserved and refurbished.

(c) At the easterly elevation the existing granite steps and iron rail accessing the front porch/deck area will be retained and restored, as required, with existing or new stone that shall match the existing materials as closely as is practicable. The adjacent 'pocket garden' along the easterly side of the building shall also be retained and restored as required.

(d) The existing front porch/patio shall be repaired and or replaced with composite decking materials to mirror the existing materials.

(e) The building's façade shall be repaired and/or replaced, as necessary, with pre-dipped (stained) white cedar shingles.

(f) The exterior façade running trim – corner boards, water-table, gable rakes, windows, corner boards, lintels, shutters, doors (except current main entrance door), surrounds, transoms, fanlights, door casings, and similar items – will be replaced with the same size, design, form, character, profile and style. The use of composite, CPVC, is acceptable. Shutters should be in a style and size appropriate to old windows and be mounted clear of the casings using projected hinges.

(g) The roof will be stripped and replaced with a minimum 25 year three-tab asphalt shingle. The shingle color shall match the existing roof color, to the degree practicable, as determined by Wolcott and reviewed by the Commission and approved by the Planning Board.

(h) The gutters and drain leaders shall be replaced to match the existing gutters and drain leaders, to the extent reasonably practicable.

(j) Chimney(s) shall be repaired, as necessary, but should remain in their present height and configuration.

(2) On the southerly side (opposite Canton Avenue) the following criteria shall apply to the Manor House restoration:

(a) Wolcott shall remove the existing swimming pool and associated deck area and create an entry courtyard to mimic the building's original courtyard entry to the extent practicable.

(b) Wolcott will attach two 2-car garages, located at each end of the existing building, as depicted on the building plans, Sheets 12-14 of the Architectural Plans in the Special Permit document set. Garages and garage doors shall be designed and sited as to minimally impact and not unnecessarily detract from the historic building and include architectural elements consistent with the features of the Manor House itself.

(c) Wolcott shall create distinct entryways into each condominium. The entryways shall flank the existing circular stairway. The "sleeping room" located to the left of the circular stairway shall be removed and its original window configuration shall be restored.

(d) The repair, replacement, design, materials and colors of the exterior siding, windows and doors, exterior trim and roof wall shall be done in the same manner as the other three façades, as outlined in subparagraph (1), above.

(3) While the parties acknowledge that the interior renovations are outside the scope of the Commission's review, the Commission understands that Wolcott accepts the Commission's recommendations and agrees to use its best efforts to retain the front hall with its elaborate colonial revival staircase, classical wainscoting and the center entrance fireplace.

B. The Devens House. The Devens House, which was built in 1940, will be retained as a single family dwelling. It is understood that the following criteria shall apply:

(1) No exterior façade or roof alterations shall be made to the Devens House with one exception: the removal and replacement of an existing exterior living room door at the rear of the house with an 8' JELD-WEN Custom Service patio door with simulated divided lite muntins as depicted on the building plans: Sheets 2 and 3 of the Architectural Plans contained in the Special Permit document set. Existing wall openings, windows, doors and/or porches shall be maintained in their present design. The original center entrance/entry porch will be retained.

(2) All existing trim shall be retained and restored where feasible or be replaced, as needed, in CPVC to match existing profiles. Shutters should be in a style and size appropriate to the windows and to the dwelling and hung clear of the casings using projecting hinges.

(3) New insulated windows and doors by JELD-WEN (Siteline Clad-Wood), or product of equal or greater specifications and historic characteristics and with acceptance by the Historical Commission, are proposed for replacement in the existing openings. The new replacement windows shall follow the same shape, size and muntin pattern of the existing windows. The existing main entry door(s) surround and hardware shall be retained, refurbished, and preserved.

(4) The façade clapboard siding will be removed and replaced with a Hardi-Plank cementitious board painted clapboards. The clapboard shingle color shall match the existing siding color, to the degree practicable.

(5) The existing roof will be removed and replaced with a minimum 25 year, three tab asphalt roof shingle. The shingle color shall match the existing roof color, to the degree practicable.

(6) The chimney(s) shall be repaired as necessary and remain at the same height and configuration as currently exists.

(7) The screened porch enclosure located at the rear of the two-car garage shall be retained and rehabilitated.

(8) The existing entry court yard accessing the home and its garage shall be maintained in its present form and augmented with a revised landscape planting plan.

C. **The Wolcott House.** The Wolcott House shall be maintained and preserved as a single family dwelling. In that regard, it is understood that following criteria shall apply to the design and construction associated with the Wolcott House:

(1) At the northerly (to Canton Avenue) and westerly elevations, no exterior façade or roof alterations shall be made. Existing wall openings, windows, doors, dormers and/or porches will be maintained in their present design and/or configuration.

(2) At the southerly (rear) elevation an existing greenhouse structure will be removed and a living room patio door accessing the rear yard area will be added. Except for these alterations, no exterior façade or roof alterations shall be made. Existing wall openings, windows, doors, dormers and/or porches shall be maintained in their present design.

(3) At the rear easterly elevation, a new two car garage and access breezeway/mudroom addition will be attached, as shown on Sheets 6 and 7 of the Architectural Plans in the Special Permit document set. Design elements, exterior trim, stucco siding and roofing materials and detailing shall match and respect, as closely as is practicable, the architectural form, character, style and color of the existing building.

(4) The slate roof will be retained and restored, or replaced in kind, as needed.

(5) New insulated windows and doors (except main entrance door) by JELD-WEN (Siteline Clad-Wood), or product of equal or greater specifications and historic characteristics and with acceptance by the Historical Commission, shall be installed for replacement in the existing openings which shall follow the same shape, size and muntin pattern of the original windows. The main entrance door, surround and hardware shall be retained, refurbished and preserved.

(6) All existing exterior architectural detailing will be retained and restored, where feasible, or replaced as needed in CPVC to match existing profiles. Shutters should be of appropriate size and style for the old windows, and be hung clear of the casings using projecting hinges.

(7) The existing stucco façade will be repaired/replaced, as required.

(8) The existing chimneys will be repaired as necessary but will be retained at their original

height and configuration.

D. **Additional Recommendations.** The Commission's additional recommendations as noted below shall also apply:

(1) To the extent not identified above, existing exterior ornamental elements and other architectural details shall be retained. These include scroll applique on peak dormers, flared shingling at the base of exterior walls, rounded lead windows in turret, and iron gate with lantern at base of terrace stairs on the Manor House and any other original or old architectural elements and designs.

(2) Existing Buildings/Documentation. The Commission and the Planning Board understand that other outbuildings on the property will be demolished; as such the Commission will not exercise its demolition delay review on receipt of an application for demolition. The Commission acknowledges that Wolcott shall provide photographic documentation of all existing buildings, including buildings to be demolished, walls and fences, and the landscape and landscape elements prior to the beginning of any development activities.

(3) Review Prior to Construction. Wolcott shall meet with the Commission prior to the application for building permits for work related to the Wolcott, Devens and Manor House(s) to review the proposed construction drawings to ensure that all design considerations contained herein are consistently and fully incorporated in said drawings before they are submitted to the Inspectional Services Department for a Building Permit. Changes proposed subsequent to the issuance of a Special Permit shall be submitted to the Historical Commission for review and the Planning Board for approval.

EXHIBIT F
Draft Conservation Restriction

CONSERVATION RESTRICTION

I. GRANTING CLAUSE

The undersigned, Wolcott Residential LLC, a Massachusetts limited liability company, of 80 Beharrell Street – Suite E, Concord, Massachusetts 01742 (“Grantor”), acting pursuant to Sections 31, 32 and 33 of the General Laws of Massachusetts, hereby grant to the Town of Milton Conservation Commission, having a mailing address at 525 Canton Avenue, Milton, Massachusetts 02186, its successors and permanent assigns (“Grantee”), in perpetuity and exclusively for conservation purposes, the following described Conservation Restriction (the “Restriction”) on the land located in Milton, Norfolk County, Massachusetts described as the Open Land in Exhibit A attached hereto and incorporated herein by reference (the “Premises”).

II. PURPOSE; DESCRIPTION OF PREMISES AND HIERARCHY OF OPEN LAND

A. Purpose. This Restriction is defined in and authorized by Sections 31-33 of Chapter 184 of the Massachusetts General Laws and otherwise by law. Its purposes are to assure that the Premises, which consist of approximately 28.648 acres of land area, will be retained predominantly in its natural, scenic and/or open condition and will prohibit any use of the Premises that will significantly impair or interfere with the conservation values of the Premises.

B. Description of Premises. As shown on Exhibit A, the Premises is a substantial portion (approximately 28.648 acres) of a large lot (the “Parcel”) of land containing 47.05 acres that sits at the base of the Great Blue Hill. The Parcel rises from an elevation 150’ at its northerly corner (proximate to the Manor House driveway/Canton Avenue intersection) to elevation 300’ at its highest point in the southerly corner abutting the Blue Hill Reservation. This change in elevation occurs over distance of approximately 2,100’, as the site rises and plateaus from low to high. There are a number of significant features that are visible as one travels along Canton Avenue and which are worthy of preservation. They include the Manor House Lawn, the Devens and Upper Meadows, a wooded glacial esker, wooded successional, an intermittent stream, stone walls and other features. The Grantor is pursuing a Planned Unit Development on the property in accordance with the Great Estate Planned Unit zoning bylaw (the “Bylaw”) adopted by the Town in 2017. The Bylaw provides that at least 60% of the land be dedicated to an open space perpetual land use covenant; this Restriction covers approximately 60.88% of the Parcel.

C. Hierarchy of Open Land. In accordance with the Bylaw, the Grantor has proposed a hierarchy of permitted and prohibited uses as are authorized by the Bylaw, based in part on their location relative to setbacks from Canton Avenue and abutting properties shown on Exhibit A, as follows:

- (1) Within the area shown as the Open Space No Disturbance Zone (75'), land use activities shall be limited to the abandonment and subsequent infill of the existing middle driveway and construction of a new main roadway, associated support infrastructure, including but not limited to installation and maintenance of stormwater detention structures for the new access roadway, installation and connection of utilities (water, sewer, electric, etc.) to municipal utilities for the new access roadway and the Project, the construction and maintenance of a pervious walking path running parallel to Canton Avenue inside the stone wall, entry landscaping, signage and lighting, and the removal of dead, dying or invasive vegetation.
- (2) Within the area shown as the Open Space No Building Zone (250'), activities shall be limited to the construction of the new main roadway and associated utility infrastructure, the removal and infill of the existing middle driveway, the installation of stormwater detention structures, the installation and coursing of other Project-required utilities, periodic mowing/maintenance of the Manor House Lawn and the Devens Meadow, and maintenance and infill of the Pine Grove located to the southwest of the new main access roadway.
- (3) Within the area shown on the southwesterly side as the Neighborhood Perimeter Buffer (125'), activities shall be limited to removal of that portion of the existing driveway to the Wolcott House that is located above the driveway spur to 1776 Canton Avenue. The Beech Grove and Pine Woods shown within the Buffer shall be retained in their existing condition.
- (4) Within the area shown on the northeasterly side as the Neighborhood Perimeter Buffer (125'), activities shall be limited to removal of an old non-functional tennis court, a dwelling and freestanding garage structure, the planting of new vegetated buffer screening, the maintenance of the intermittent stream (as such may be approved by the Grantee in its regulatory capacity), and preservation of the Esker and Esker Woods. The Upper Woods and the Upper Woods Path areas shall be retained in their existing condition.
- (5) Within the Rear Setback Area (50'), activities shall be limited to the installation and maintenance of a trail head accessing the abutting DCR lands, including a small parking area of pervious materials, to the Carberry Trail in accordance with DCR specifications. The Upland Woods areas shall be preserved in their existing condition. The Intermittent Stream shall also be maintained (as may be approved by the Grantee in its regulatory capacity).
- (6) Within the remainder of the Open Land, all reasonable steps shall be taken to minimize the impacts to the Open Land. Significant trees and groves of trees, included the Center Woods and Pine Grove areas, shall be retained and preserved unless deemed to be a public threat or nuisance. Underground utilities, including sewer and stormwater detention structures are permissible, but shall be sited to avoid impacts to such trees and groves to the extent practicable. The Manor House Lawn, the Devens Meadow and the Upper Meadow will undergo periodic mowing and maintenance.

III. PROHIBITED AND PERMITTED ACTIVITIES AND USES

A. Prohibited Acts and Uses. Subject to the exceptions, reserved rights and permitted uses set forth in Paragraphs II.C and III. B, the following acts and uses are prohibited on the Premises:

- (1) Construction or placing of any building, tennis court, mobile home, swimming pool, new road, sign, fence, billboard or other advertising display, poles, antennas, windmills, solar panels or other temporary or permanent structures on or above the ground of the Premises;
- (2) Dumping or placing of soil or other substances on the ground of the Premises as landfill, or dumping or placing of vehicle bodies or parts, junk, trash, refuse, solid or chemical waste or unsightly or offensive materials whatsoever, or the installation of underground storage tanks;
- (3) Cutting, removal or destruction of trees, grasses, shrubs or other vegetation;
- (4) Mining, excavating, dredging or removal of loam, peat, sand, gravel, soil, rock or other mineral substances or natural deposits except as necessary for proper drainage or soil conservation and then only in a manner which does not impair the purposes of this Restriction;
- (5) Any commercial or industrial use or any institutional use inconsistent with the purposes of this Restriction;
- (6) Use of motorized vehicles of any nature or kind, including but not limited to cars, trucks, motorcycles, all-terrain vehicles and snowmobiles, except such as may be reasonably required by police, firemen or other governmental agents in carrying out their lawful duties and except for cars, truck and farm vehicles used for purposes permitted by this Restriction;
- (7) Use of the Premises except for passive outdoor recreational purposes such as walking and nature study or other purposes which permit the Premises to remain predominantly in its natural condition;
- (8) Activities detrimental to drainage, flood control, water or soil conservation, water quality, erosion control, or archeological conservation; or
- (9) Acts or uses which in the reasonable opinion of the Grantee are detrimental to preservation of the Premises in its present condition.

B. Exceptions to Otherwise Prohibited Acts and Uses: Reserved Rights. All acts and uses not prohibited in Paragraph A are permissible. Notwithstanding the provisions of Paragraph

A, the following acts and uses are permitted, but only if such uses and activities do not materially impair the purposes of this Restriction or other significant conservation interests:

- (1) Periodic mowing and maintenance of the Manor House Lawn, the Devens Meadow, the Upper Meadow and other areas, as shown on Exhibit A;
- (2) Maintenance and repair of existing fences and stone walls;
- (3) Maintenance and repair of underground utilities, including drainage structures intended to receive and manage stormwater from Wolcott Woods Lane, which are located as shown on Exhibit A;
- (4) Maintenance and repair of water, sewer and other utility lines, which are located as shown on Exhibit A;
- (5) Installation and maintenance of walking paths and a small parking area to be located proximate to the Carberry Trail on the abutting Blue Hill Reservation;
- (6) Selective cutting or pruning of dead trees only to prevent, control or remove an imminent hazard;
- (7) Selective cutting or pruning of live or dead trees, brush and other vegetation in accordance with an overall maintenance plan approved by the Grantee with the goals of preventing, controlling or removing hazards, disease, insect damage, fire damage, storm damage or invasive species or promoting a health ecosystem; and
- (8) Any activities designed to enhance the ecological or natural historical value of the Premises or to enhance the awareness of such values, including but not limited to the creation of walking trails and footpaths.

The exercise of any right reserved by the Grantor under this Paragraph B shall be in compliance with the then-current zoning special permit applicable to the Premises; and all other applicable federal, state and local laws.

C. Notice and Approval. Whenever notice to or approval by the Grantee is required under the provisions of Paragraphs A or B hereof, the Grantor shall notify the Grantee in writing not less than forty-five (45) days prior to the date the Grantor intends to undertake the activity in question. The notice shall describe the nature, scope, design, location, timetable and any other material aspect of the proposed activity in sufficient detail to permit the Grantee to make an informed judgment as to its consistency with the purposes of this Restriction. Where the Grantee's approval is required, the Grantee shall conduct a hearing grant or withhold is approval in writing within forty-five (45) days of receipt of the Grantor's written request therefor.

IV. ACCESS

The Grantee, through its duly designated officers, members, employees, representatives or agents, shall have the right to enter the Premises at reasonable times and in a reasonable manner for the purpose of inspecting the Premises, determining compliance with the terms of this Restriction and preventing, abating or remedying any violations thereof. Except as aforesaid, no rights to enter the Premises are granted to the Grantee, the public or to any other person.

V. LEGAL RIGHTS AND REMEDIES OF THE GRANTEE

A. Legal and Injunctive Relief. The rights hereby granted shall include the right to enforce this Restriction by appropriate legal proceedings and to obtain injunctive and other equitable relief against any violations, including, without limitation, relief requiring restoration of the Premises to its condition prior to the time of the injury complained of (it being agreed that the Grantee may have no adequate remedy at law), and shall be in addition to, and not in limitation of, any other rights and remedies available to the Grantee.

B. Actions to Prevent or Remedy Violations. The Grantee shall have the right to take appropriate actions to prevent, abate or remedy violations of this Restriction.

C. Reimbursement of Costs of Enforcement. The Grantor, and thereafter the successors and assigns of the Grantor, covenants and agrees to reimburse the Grantee for all reasonable costs and expenses (including without limitation counsel fees) incurred in enforcing this Restriction or in remedying or abating any violation thereof, provided that such costs and expenses are determined by a court of competent jurisdiction to have been incurred as a result of a violation caused by the Grantor.

D. Grantee's Disclaimer of Liability. By its acceptance of this Restriction, the Grantee does not undertake any liability or obligation relating to the condition of the Premises.

E. Non-Waiver. Any election by the Grantee as to the manner and timing of its right to enforce this Restriction or otherwise exercise its rights hereunder shall not be deemed or construed to be waiver of such rights.

F. Acts Beyond Grantor's Control. Nothing contained in this Restriction shall be construed to entitle the Grantee to bring any action against the Grantor for any injury to or change in the Premises resulting from causes beyond the Grantor's control, including, but not limited to, fire, flood, storm and earth movement, or from any prudent action taken by the Grantor under emergency conditions to prevent, abate or mitigate significant injury to the Premises or the Grantor's abutting property or property of others abutting the Premises resulting from such causes.

VI. SUBSEQUENT TRANSFERS

The Grantor agrees to incorporate the terms of this Restriction in any deed or other legal instrument by which it divests itself of any interest in all or a portion of the Premises or any of the units within the condominium which abut the Premises. The Grantor shall notify the Grantee

in writing at least thirty prior to conveying of the Premises, but the failure of the Grantor to do so shall neither impact the validity of this Restriction or limit its enforceability in any way, nor impair the validity of any such transfer by the Grantor.

VII. BINDING EFFECT; INTERPRETATION

A. Running of the Benefit. The benefits of this Restriction shall be deemed to be in gross and the Grantee shall have the right to assign its interests herein to a "Qualified Organization" as defined in Section 170(h)(3) of the Internal Revenue Code, as amended, provided that such assignee shall also be an eligible donee of a conservation restriction as set forth in Chapter 184, Section 32 of the General Laws of Massachusetts, and provided further, that as a condition of such assignment, the assignee is required to hold this Restriction and enforce its terms for conservation purposes. The Grantee shall notify the Grantor in writing at least thirty (30) days in advance of any such assignment, but the failure of the Grantee to do so shall not impair the validity of this Restriction or limit its enforceability in any way.

B. Running of the Burden. The burdens of this Restriction shall be deemed to run with the Premises and shall be enforceable in perpetuity against the Grantor, the Grantor's successors in title to the Premises, and any person holding any interest therein, by the Grantee, its successors and assigns and its duly designated officers, directors, members, employees or agents as holders of this Restriction.

C. Termination of Rights and Obligations. Notwithstanding anything to the contrary contained herein, the rights and obligations under this Restriction of any party holding any interest in the Premises terminate upon transfer of that party's interest, except that liability for acts or omissions occurring prior to transfer, and liability for the transfer itself if the transfer is in violation of this Restriction, shall survive the transfer.

D. Prior Encumbrances. This Restriction shall be in addition to and not in lieu of any other restrictions, encumbrances or easements of record affecting the Premises.

E. Execution of Instruments. The Grantee is authorized to record or file any notices or instruments appropriate to assuring the perpetual enforceability of this Restriction; and the Grantor on its behalf and on behalf of its successors and assigns, appoints the Grantee to be its attorney-in-fact to execute, acknowledge and deliver any such instruments on its behalf. Without limiting the foregoing, the Grantor and its successors and assigns agree themselves to execute any such instrument upon request.

F. Severability. If any provision of this Restriction shall to any extent be held invalid, the remaining provisions shall not be affected.

G. Non-Merger. No future assignment of the Grantor's or the Grantee's interest in the Premises or future acquisition of any additional interest in the Premises by the Grantor or the Grantee shall cause this Restriction to merge with the fee or have the effect of causing any of the terms hereof to be rendered unenforceable by reason of the so-called "doctrine of merger."

H. Counterparts. This Restriction may be executed in multiple counterparts, and shall constitute a single agreement, whether or not all signatures appear on a single counterpart hereof.

I. Effective Date. This Restriction shall be effective when the Grantor and Grantee have executed it, the administrative approvals required by Section 32 of Chapter 184 of the General Laws have been obtained, and it has been recorded, or, if registered land, has been registered.

J. Recording. The Grantor shall record this instrument in timely fashion in the Norfolk County Registry of Deeds.

[The remainder of this page is left intentionally blank.]

DRAFT

IN WITNESS WHEREOF, the said Wolcott Residential, LLC has caused this Conservation Restriction to be signed under seal this ____ day of _____, 2018.

WOLCOTT RESIDENTIAL, LLC a
Massachusetts limited liability company

By: _____
Name: John C. Dawley
Its: Manager

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss. _____, 2018

On this ____ day of _____, 2018, before me, the undersigned notary public, personally appeared John C. Dawley, proved to me through satisfactory evidence of identification, which was a drivers license, to be the person whose name is signed on the preceding document and acknowledged to me that he signed it voluntarily for its stated reason.

Notary Public
My Commission Expires:

APPROVAL BY GRANTEE

We, the undersigned majority of the members of the Milton Conservation Commission, hereby certify that at a meeting duly held on _____, 2018, the Commission voted to accept this Conservation Restriction and agreed to be bound by its terms.

DRAFT

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss. _____, 2018

On this ___ day of _____, 2018, before me, the undersigned notary public, personally appeared the members of the Milton Conservation Commission, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the persons whose names are signed on the preceding document and acknowledged to me that they signed it voluntarily for its stated reason.

Notary Public
My Commission Expires:

APPROVAL BY THE MILTON BOARD OF SELECTMEN

We the undersigned being a majority of the Selectmen of the Town of Milton, Massachusetts, hereby certify that at a meeting duly held on _____, 2018, the Selectmen voted to approve the foregoing Conservation Restriction to the Milton Conservation Commission pursuant to M.G.L. c. 184, s. 32.

Milton Selectmen

DRAFT

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss. _____, 2018

On this ___ day of _____, 2018, before me, the undersigned notary public, personally appeared the members of the Board of Selectmen, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the persons whose names are signed on the preceding document and acknowledged to me that they signed it voluntarily for its stated reason.

Notary Public
My Commission Expires:

APPROVAL BY SECRETARY OF ENERGY AND ENVIRONMENTAL AFFAIRS

The undersigned Secretary of the Executive Office of Energy and Environmental Affairs of the Commonwealth of Massachusetts hereby certifies that the foregoing grant of Conservation Restriction to the Milton Conservation Commission has been approved as being in the public interest pursuant to M.G.L. c. 184, s. 32.

Date: _____

Secretary of Executive Office of Energy
and Environmental Affairs

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss. _____, 2018

On this ____ day of _____, 2018, before me, the undersigned notary public, personally appeared _____, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding document and acknowledged to me that he signed it voluntarily for its stated reason.

Notary Public
My Commission Expires:

EXHIBIT A

The granted Premises consist of a parcel of vacant land shown as _____, “Conservation Restriction – Approximately 28.648 acres)” on a plan entitled “_____” by _____, dated _____, 2018, revised _____, 2018 and recorded herewith in the Norfolk County Registry of Deeds as Plan ___ of 2018 in Plan Book _____. For the Grantor’s title, see Deeds of _____ to this Grantor dated _____, 2016 and recorded in said Registry of Deeds at Book _____, Page _____ and Deed of _____ to this Grantor recorded in said Registry of Deeds at Book _____, Page _____.

DRAFT

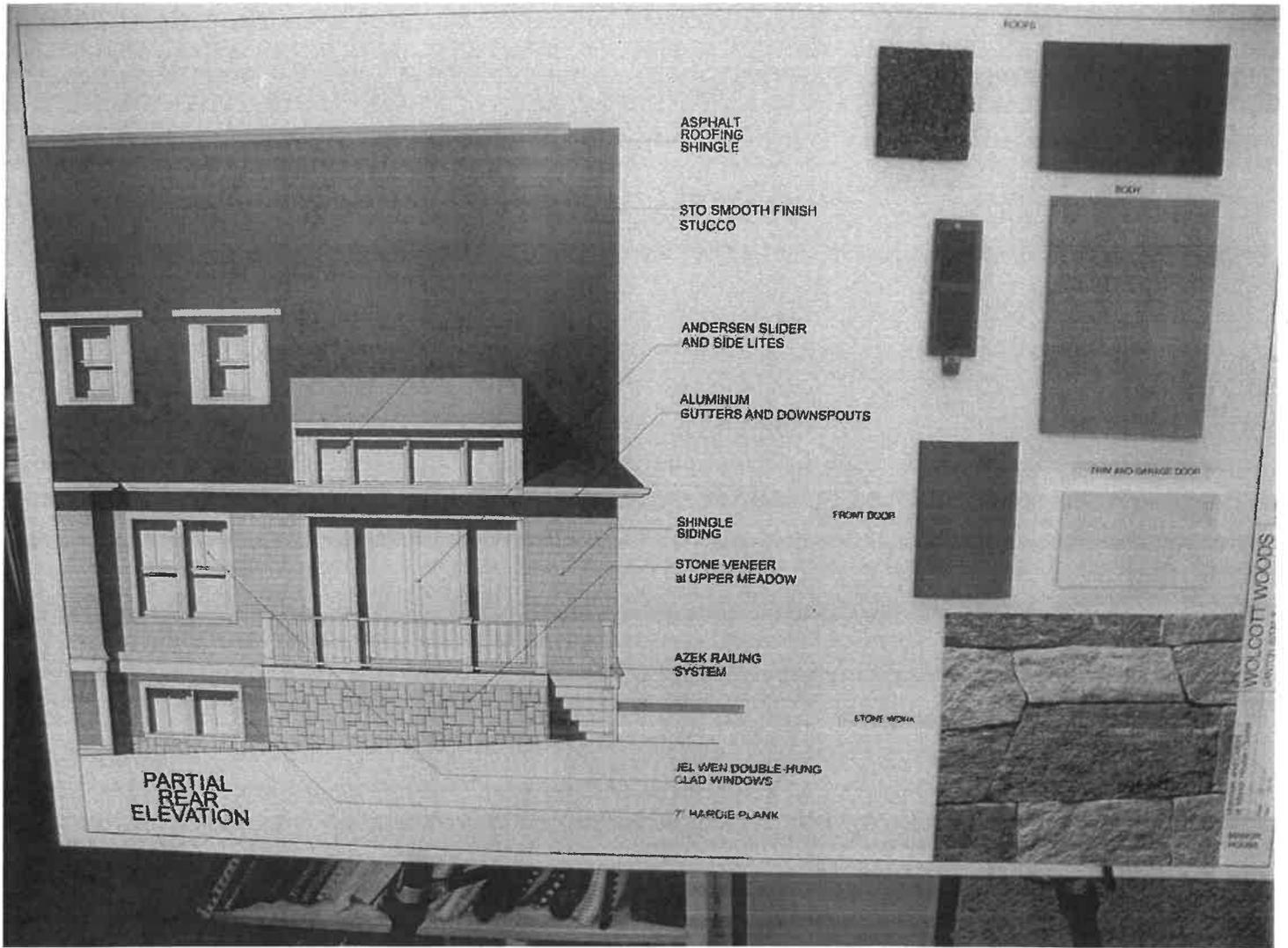
EXHIBIT G
Color and Material Boards



2. Materials and Colors at Wolcott House Cluster (Partial Front Elevation)



3. Materials and Colors at Devens House Cluster (Garage Elevation)



4. Materials and Colors at Manor House Cluster (Partial Rear Elevation)

EXHIBIT H
Other Plans and Reports on file with the Application with the
Town of Milton Planning Department

The following documents were submitted with the Application and were considered by the Planning Board:

1. Engineering Report: Roadway Design, Drainage Calculations and Stormwater Management Plan, prepared by Merrill Engineers and Land Surveyors, Inc. (“Merrill”), dated August 2018
2. Construction Phase Best Management Practices Operation and Maintenance Plan, prepared by Merrill, dated August 31, 2018
3. Long-Term Best Management Practices Operation & Management Plan and Pollution Prevention Plan, prepared by Merrill, dated August 31, 2018
4. Transportation Impact Assessment, prepared by Vanasse & Associates, Inc. (“VAI”), dated September 2018
5. Draft Local Initiative Program Application for Local Action Units
6. Draft Master Deed and Declaration of Trust for Wolcott Woods Condominium Association

The Application was supplemented with the following documents which were considered by the Planning Board:

7. Supplemental Memorandum prepared by the Applicant dated November 1, 2018
8. Comment Letter prepared by John Thompson, P.E., dated November 8, 2018
9. Supplemental Comment Letter prepared by John Thompson, P.E., dated November 29, 2018
10. Response Letter prepared by Merrill, dated January 11, 2019
11. Comment Letter of the Milton Bicycle Advisory Committee, dated December 20, 2018
12. Peer Review Report(s) concerning traffic and stormwater prepared by Stantec Consulting Services, Inc. (“Stantec”), dated October 18, 2018
13. Follow-up Memorandum on Stormwater prepared by Stantec, dated January 10, 2019
14. Supplemental Traffic Analysis prepared by VAI, dated January 11, 2019
15. Responsive Memorandum on Traffic prepared by Stantec, dated January 10, 2019
16. Memo prepared by Merrill concerning Open Space calculation, dated January 23, 2019
17. Memo prepared by Beals + Thomas, dated January 24, 2019
18. Supplemental Memo prepared by the Applicant in response to Beals + Thomas memo, dated February 8, 2019

Insofar as these documents impose requirements by the Town or constitute agreements between the Owner/Applicant and the Town, such requirements and agreements shall be enforceable obligations of the owner/applicant under these Permits.